

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, NOVEMBER 4, 2015 AT 7:00 P.M. AT THE VILLAGE POLICE STATION BUILDING, 7760 QUINCY STREET, IN THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Special Meeting August 26, 2015 (APPROVE)
 - C. Minutes - Village Board Meeting September 14, September 28, and July 13, 2015
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-05: (Richard Styczynski for Elite Tutoring Place - 876 75th Street) Petition for a special use permit to allow a commercial school.
 - A. PUBLIC HEARING
 - B. DISCUSSION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-06: (ROC Willowbrook, LLC) Petition for a special use permit for approval of a Preliminary and Final Planned Unit Development.
 - A. PUBLIC HEARING
 - B. DISCUSSION
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

VILLAGE OF WILLOWBROOK
STAFF REPORT TO THE PLAN COMMISSION

Meeting Date: November 4, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-05: Special Use/Elite Tutoring Place;

Petitioner: Richard Styczynsk, Elite Tutoring Place with permission from the property owner, Wingren Plaza Ventures

Action Requested: Special use for a Commercial School pursuant to 9-6B-2.

Location: Willowbrook Plaza Shopping Center (Formerly Wingren Plaza)
 876 75th Street
 Northeast corner of 75th and Route 83

PINs: 09-26-202-014

Existing Zoning: B-2

Existing Land Use: Mixed Use Retail

Property Size: Approximately 3.6 acres

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Bakers Square	B-4
<i>South</i>	Gas Station & Multi-Tenant Industrial	B-2 & M-1
<i>East</i>	Vacant	M-1
<i>West</i>	Patio Retail Center	B-2

Documents Attached:

1. Standards for Special Use
2. Special Use Application Details
3. Business Plan
4. Plat of Survey
5. Willowbrook Plaza Brokerage Sheet/Tenant Listing

Necessary Action by Plan Commission: Make a recommendation to the Mayor and Village Board. A sample motion can be found on Page and 5 of this report.

Site Description: The Willowbrook Plaza shopping center is located on the northeast corner of 75th and Route 83 on property containing about 3.6 acres. There is 51,350 square feet of gross leasable space within the shopping center building, and the site contains 210 parking spaces, with 166 spaces in front of the center and 44 spaces along Quincy.



History and Proposal:

The applicant, with the property owner's permission, is requesting approval of a special use to allow a 1,125 square foot commercial school (Elite Tutoring Place of Willowbrook) to operate in tenant space 870 in the Willowbrook Plaza Shopping Center. This unit is one of the vacant spaces between Papa Johns and Orange Theory.

Elite Tutoring Place of Willowbrook is a new business offering tutoring primarily to elementary, middle and high school students in various subjects as well as preparation for standardized tests. They intend to operate Monday through Friday from 3:30 PM to 9:30 PM, and on Saturday from 8:00 AM to 2:00 PM. They plan to have 3 employees in the building at any given time, and serve up to six (6) students per hour. Customers who are old enough to drive will park and walk into the location. Parents bringing younger children to the facility will be instructed that they must park and walk their children into the building. They will be instructed that they are not allowed to stop in the fire lane to drop off, nor can they wait in the fire lane to pick up a child.

Staff Analysis

Parking

This shopping center is currently nearly 40 percent vacant, with the majority of the vacancy occurring along the Quincy Street Frontage. At the current time, parking is not a problem...especially given the mentioned vacancies and the fact

that the Village measures parking based on the cumulative requirements for specific uses. Parking for the proposed use is required based on the number of employees and students the facility will handle. The Zoning Ordinance requires 1 space for every 2 employees plus 1 space for every 3 students. With 3 employees and up to 6 students per hour, the use has a parking requirement of 4 parking spaces, which is comparable to what would be required if the space were occupied by most retailers. The shopping center was designed with enough parking to accommodate standard retail in all spaces, with some excess parking to accommodate larger parking generators if necessary.

This shopping center is somewhat unique in that it has two frontages. The main retail frontage is visible to both Route 83 and 75th Street. There are 166 parking spaces to serve 35,679 square feet of space that has access to this frontage. This combination of space and parking is sufficient for a mix of retailers that require between 4 and 5 parking spaces per 1,000 square feet. Staff is satisfied that this proposed special use will not have a negative impact on parking now or in the future. Special analysis would only be required with a larger parking generator such as a restaurant or other public assembly type of use.

The dropping off and picking up of children is always a concern with any commercial school in a retail shopping center. Given that some young children will be utilizing this facility, it will be important that parents or responsible adults park before escorting young children into the school. Furthermore, because these uses sometimes create problems when students are picked up after class if parents decide to park or wait in their cars along the curb in front of the storefront, staff recommends that any special use approval for this use be conditioned up the required installation of "No Parking/No Waiting" signs along the drive aisle immediately in front of the storefront.

Appropriateness of Use:

The shopping center is zoned B-2, Community Shopping District. While this zoning district includes sixty-two (62) listed "Permitted Uses", only ten (10) of them are for non-retail types of uses. In other words, the B-2 District is intended primarily to provide retail shopping opportunities for the community. With the exception of Papa John's and Men's Wearhouse, this center has become a service oriented commercial center. While these uses do not help support the local sales tax which Willowbrook relies on, it may be unrealistic at this point to assume that most retailers would find the space suitable. Instead, this use will fill a long standing vacancy and bring people to the center, which may help to re-invigorate the center.

Utilities:

The proposed use will not alter the approved utility service plan.

Landscaping:

The proposed use will not alter the approved landscape plan, however it is noted that the center is not currently in compliance with its previously approved landscape plan. Staff will work with the management company to correct this situation as the center continues to be leased out.

Wetland/Stormwater Management: The proposed use will not alter the approved stormwater management plan.

Standards:

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use. The applicant's responses are provided in Attachment 1. A list of the special use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: An 1,125 square foot commercial school in space number 870 will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare if approved with recommended conditions.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: While staff has always expressed concern about the loss of retail space to non-retail users, traditional retailers are not currently part of this center. Additionally, this space is relatively small and not well-suited for many traditional retail uses.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: While retail is preferred, certain non-retail uses are "permitted" in the zoning district. The proposed special uses will therefore not impede development of the surrounding area.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The shopping center is already provided with existing utilities, access roads, drainage and other facilities.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: A condition that patrons of this business not be allowed to park or wait in the drive aisle immediately in front of the store is being made to mitigate any possible circulation problems within the center.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The proposed special use itself conforms to all other applicable regulations of the district in which it is located.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Finding: This applicant has not requested approval in the past to locate in this shopping center.

Staff Recommendation:

The proposed tutoring use in this location will help fill a vacancy and bring additional life to the shopping center. Additionally, it will not generate any negative impacts on the center as long as people do not park and/or wait in the fire lane in front of the business. The applicant has stated he will advise his customers of this policy, and a condition that appropriate signage be added is included as part of the sample motion provided. Staff supports the requested Special Use and recommends the Plan Commission approve the following sample motion:

Based on the submitted petition and testimony presented, the special use for a 1,125 square foot commercial school in space 870 in the Willowbrook Plaza Shopping Center for Elite Tutoring Place of Willowbrook meets the standards for a special use as outlined in the staff report prepared for the November 4, 2015 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 15-05 subject to the following conditions:

1. The special use granted herein only applies to the 1,125 square foot space in Space 870.
2. A "Fire Lane/No Waiting or Parking" sign shall be posted along the curb immediately in front of the Elite Tutoring school in a location recommended by the Village of Willowbrook prior to the issuance of a certificate of occupancy.
3. The special use shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval of the special use by the Village Board.

Standards for Special Use Permits

9-14-4.5: Variations:

The property will not require any variations to the Zoning Ordinance of the Village of Willowbrook.

9-14-5.2: Standards:

- A. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Response: The establishment will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the community.

- B. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Response: The special use of this property will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

- C. That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Response: This establishment will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

- D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

Response: The establishment will ensure that adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

- E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Response: The establishment confirms that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

- F. That the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Response: The establishment will in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

G. Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

Response: The establishment does not plan to alter any conditions in the area.

A handwritten signature in black ink, appearing to read "Richard Styczynski", with a long horizontal flourish extending to the left.

Richard Styczynski

Special Use Permit Application Details

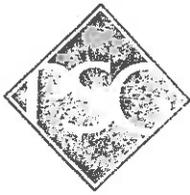
October 9, 2015

Application	Completed
Application and Plan Review Fees	Completed
Proof of Ownership	See attached Deed
Legal Description	See attached Deed and / or attached Survey
Plat of Survey	See attached
Site Plan	See attached
Traffic Regulation Agreement & Traffic Control Plan	Customers who are old enough to drive themselves will park in the parking lot and walk into the location. Those who are getting driven by a parent or another person will be instructed to park in an open parking space and walk the child in to the location. They will be instructed that they are not allowed to stop in the fire lane to drop off, nor can they park in the fire lane to pick up a child.
Landscape Plan	Existing, no changes being made.
Photometric Plan	Existing, no changes being made.
Construction Schedule	One month for interior enhancements.
Property Owner List	See attached

Business Plan

Description: The Elite Tutoring Place will offer tutoring primarily to elementary, middle and high school students in various subjects as well as preparation for standardized tests.

- **Hours:** We plan to be open from 3:30 pm – 9:30 pm Monday through Friday and 8:00 am – 2:00 pm on Saturdays.
- **Employees & Students** We plan to have one teacher in classroom 1, one teacher in classroom 2 and the other room will be used for individual test taking and studying. We expect to have one manager and two instructors on site as our regular staff. We hope to have between 2 and 6 students per hour.
- **Schedule & Flow:** Students have a one hour time slot for their lesson (beginning at 3:30). We will have 2 classroom areas, a conference room /classroom and an office. As the session ends the students will exit and the next group will start.



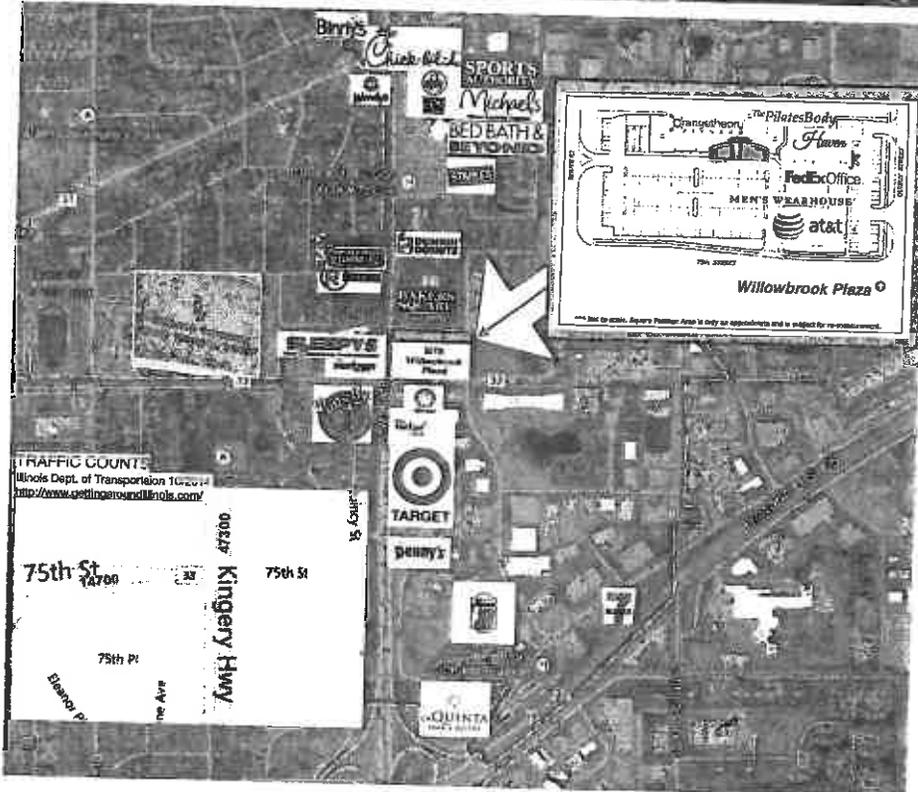
Property Solutions Group

Brokerage | Management | Development

Willowbrook Plaza

NEC 75th and Kingery Hwy
Willowbrook, IL 60521

312-262-1400



Willowbrook is known for its exceptional services, low taxes and convenience to the metro Chicago region. Located at the intersection of Route 83 (Kingery Highway) and 75th Streets, it is surrounded by national, regional, and local credit tenants. It is positioned conveniently to the regional business center of Oak Brook and the I-88 corridor, a quick 15 mile drive east along I-55 to Midway International Airport.



Roxanne Gardner
Managing Broker
Edward Muldong

Deals@PSGre.com

"Willowbrook's prime location and accessibility to many regional destinations makes it an attractive location for residents, office / commercial companies and light industrial businesses such as Turtle Wax, whose corporate headquarters are located in Willowbrook."

willowbrookil.org

Property Solutions Group LLC is a licensed Illinois Real Estate Company with Roxanne Gardner as the Managing Broker. Property Solutions Group LLC fully supports the principles of the Fair Housing Act (Title VII of the Civil Rights Act of 1968) and Article 9 of the Illinois Human Rights Act, as amended, which generally prohibits discrimination against protected classes of people in the sale, rental, and financing of real estate. To the best of our knowledge, the information contained in this Marketing Brochure is accurate; however, we make no guarantee, warranty or representation regarding the accuracy of its contents. It is your responsibility to independently confirm its accuracy and completeness. Any projections, opinions, assumptions, or estimates used are for example only and do not represent the current or future performance of the property. The value of this transaction to you depends on tax and other factors which should be evaluated by your tax, financial, and legal advisors. Tuesday, June 19, 2012





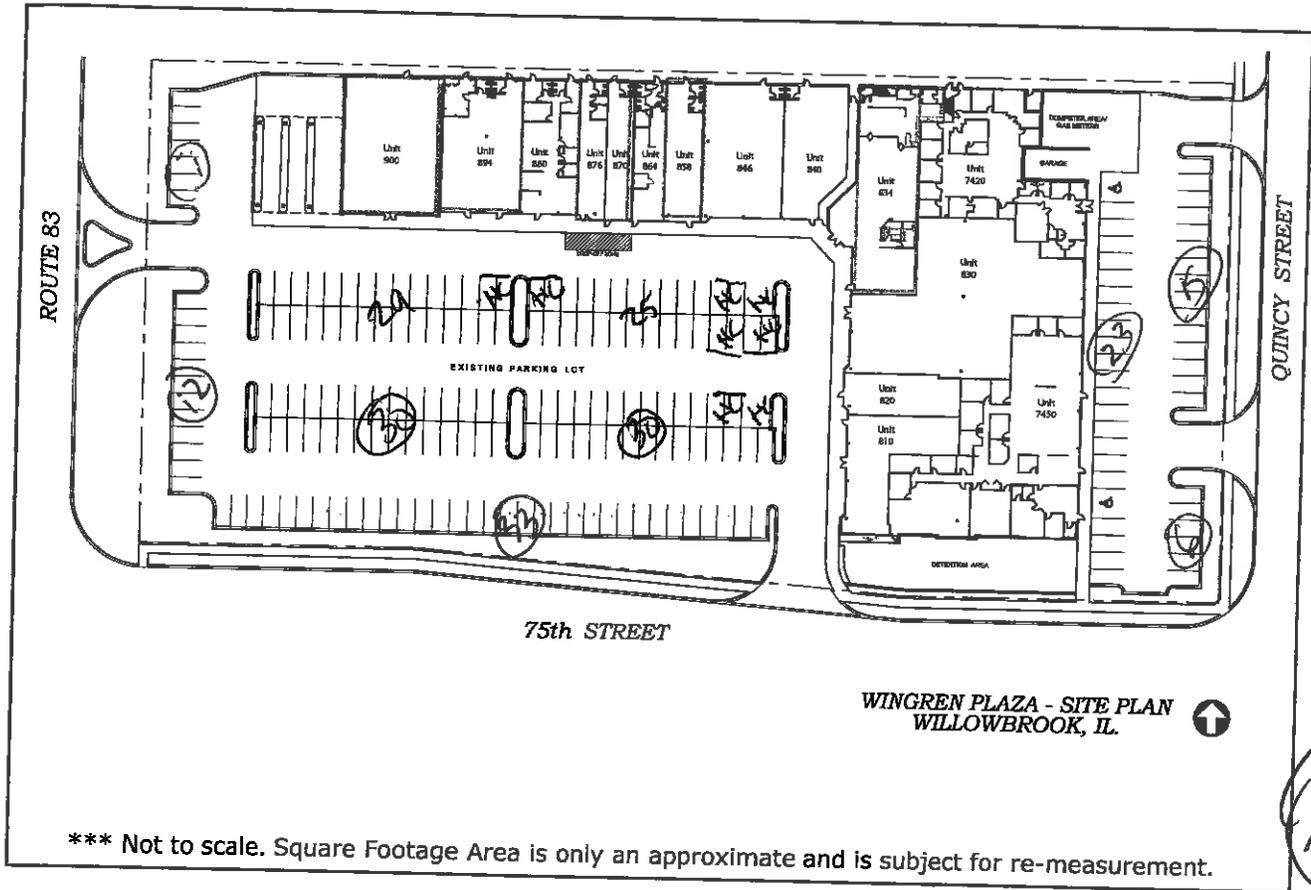
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Brokerage | Management | Development

Willowbrook Plaza

NEC 75th and Kingery Hwy
Willowbrook, IL 60521

312-262-1400



*** Not to scale. Square Footage Area is only an approximate and is subject for re-measurement.

210

UNIT	TENANT	SIZE
900	Available	3,943 2,320
894	Orange Theory	3,063
880	Chiropractor	2,274
876	Available	1,110
870	Available	1,125
864	Papa John's Pizza	1,300
858	Available	1,504
846	Salon Suites	3,101

UNIT	TENANT	SIZE
840	Pilates Studio	2,235
834	Nail and Day Spa	4,600
830	FEDEX Kinko's	7,260
820	Men's Wearhouse	1,260
810	ATT Wireless	2,904
7450	Available	8,290
7420	Available	5,061
TOTAL SQUARE FEET		51,350

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Meeting Date: November 4, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-06: ROC Storage Northwest Corner of Quincy and Executive

Petitioner: ROC Willowbrook LLC.

Action Requested: Approval of a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD

Location: East side of Quincy between 75th/Willowbrook Center Parkway on the north and Executive Drive on the south

PINs: 09-28-403-28 and part of 09-28-403-027

Existing Zoning: M1

Existing Land Use: The north property is improved with a multi-use industrial building. The south property is vacant.

Property Size: 15.434 Acres

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Vacant Property North of 75th	M1
<i>South</i>	Stone Wheel	M1
<i>East</i>	Multi-Tenant Industrial	M1 & OR
<i>West</i>	5 Lots/Buildings	M1 & OR

Documents Attached:

- Exhibit 1. Color Building Elevations (2 Sheets)
- Exhibit 2. Concept Wall Signage Exhibit (1 Sheet)
- Exhibit 3. ROC Industrial PUD Plat (2 Sheets)
- Exhibit 4. ROC Industrial Subdivision (2 Sheets)
- Exhibit 5. Landscape Plan (1 Sheet)
- Exhibit 6. Photometric Plans (3 Sheets)
- Exhibit 7. Building A details (10 Sheets)
- Exhibit 8. Building B details (14 Pages)
- Exhibit 9. Final Engineering (15 Pages)

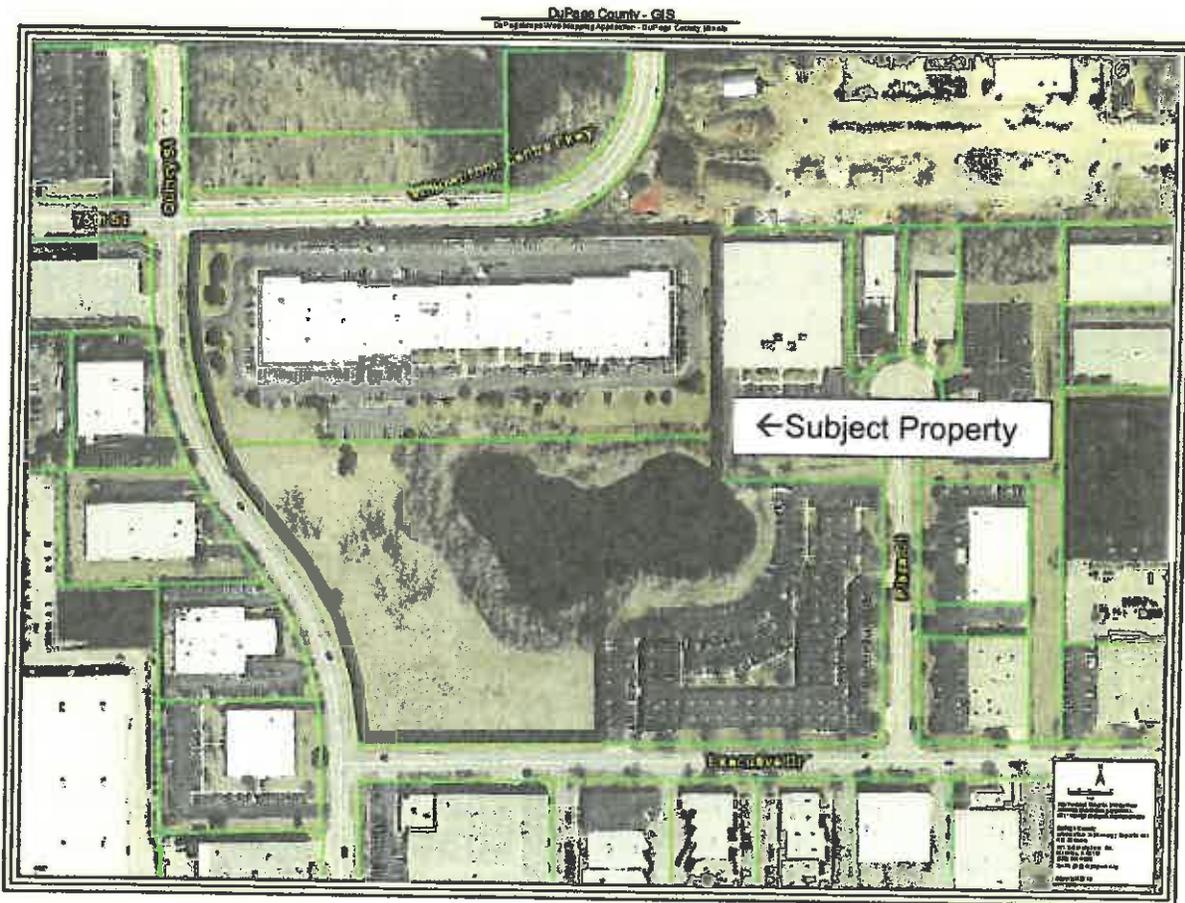
Necessary Action by Plan Commission: Conduct Public Hearing and provide direction to staff and applicant on details raised in the staff report, and direct applicant to prepare changes and/or final documents for final consideration at a future (next) meeting.

Site Description:

The subject property is located on the east side of Quincy Avenue between 75th Street/Willowbrook Centre Parkway on the north and Executive Drive on the south. The site is currently improved with one 94,976 square foot multi-tenant building at the north end of the site with site access from Quincy. Located south of the existing building is large undeveloped grassed and treed area and about two thirds of a large pond, which provides detention volume for these properties, as well as properties in the Plaza Court subdivision to the east.

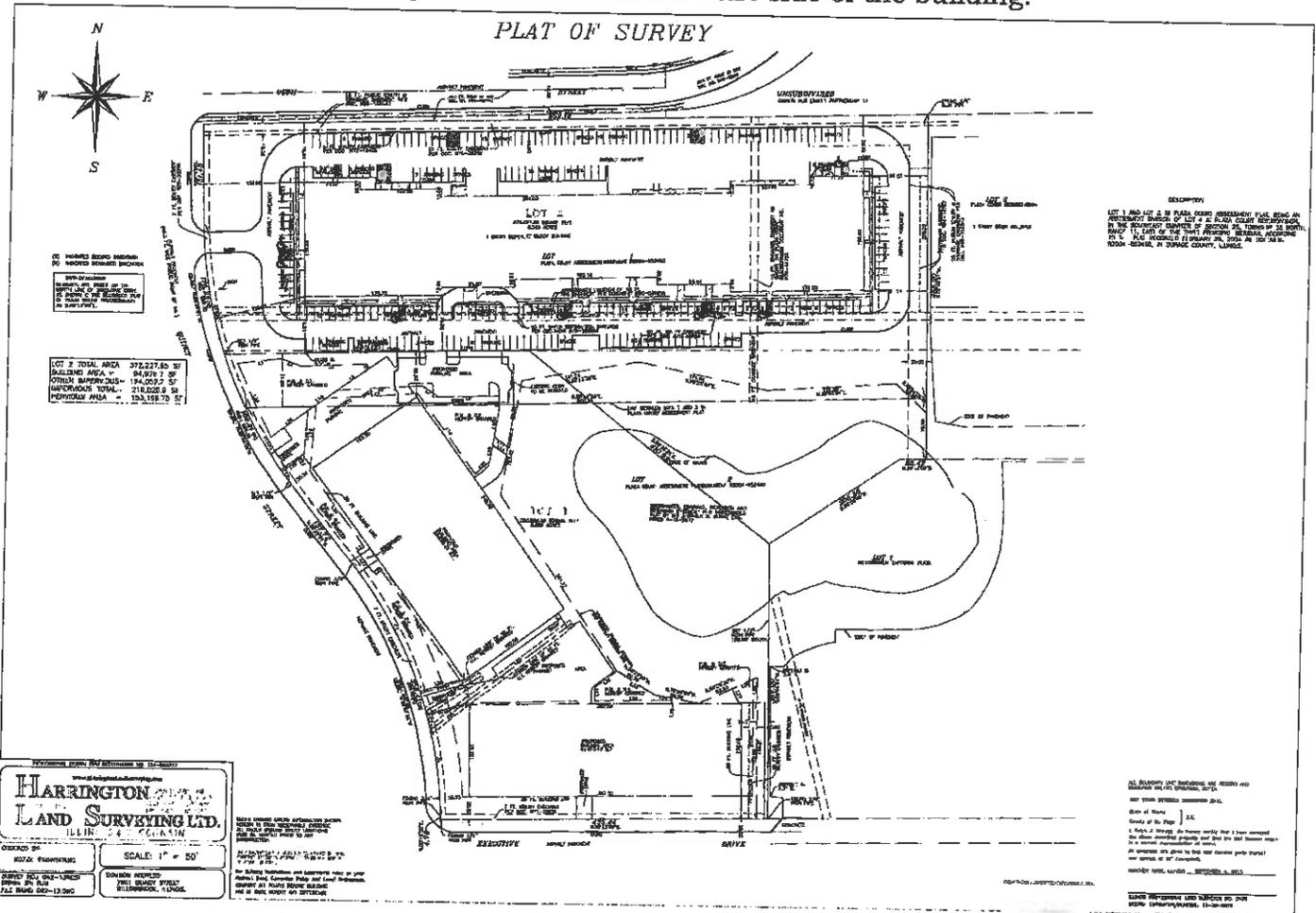
History and Proposal:

The applicant wishes to subdivide and receive PUD approval so that the existing building can be maintained on its own new separate lot. This lot would involve the shifting of an assessment lot line shown located just below (south) of the parking lot to the north, so that the smaller parking lot would become part of the improvements on the new southern lot.



The applicant proposes to build two (2) buildings on a newly created southern lot. As can be seen in the picture below, each of the two new lots will include part of the pond. A larger copy of this image is provided as an attachment. Note that one of the new buildings would parallel and front Quincy, while the southern building would parallel Executive and have frontage on both Quincy and Executive Drive. The new northern building is intended for "drive-in" general goods storage and will contain 55,656 square feet. Access to this building will be possible via a shared access

point through the existing parking lot of the building to the north and full access drives on both the north and south sides of the building. Patrons wishing to purchase a storage space will enter the parking lot on the south side of the building to access the office area, which will be in the southwest corner of the north building. Patrons wishing to store their goods within this building will enter the building in their cars from the north side of the building which provides access to a garage door located on the east side of the building. Once they are finished, they will exit the building through an exit-only garage door to Quincy located midpoint in the building. The second building is intended for the storage of automobiles. It will contain 44,410 square feet. Access to the building will be via Quincy, located between the two buildings. Patrons will be able to drive into the building on the north, and out of the building on the south side to Executive Drive, where the driveway aligns with the access drive to the business across the street. The east side of this building also has a "fire lane" emergency only access drive on the east side of the building.



A larger version of this drawing is attached as Exhibit 3

Staff Analysis

Bulk Regulations and PUD Standards

PUDs may depart from the strict conformance with the required density, dimension, area, height, bulk and other regulations for the underlying zoning district and other provisions of the Zoning Ordinance to the extent specified in the preliminary plat and document authorized the PUD so long as it will not be detrimental to or endanger the public health, safety and general welfare, except that there are no exceptions for complying with 7 of the 12 PUD Standards which will be discussed in more detail at the next meeting as part of the findings and recommendation by the Plan

Commission. The departures are identified as "exceptions" and outlined in any approving ordinance. A list of the underlying bulk requirements for which "exceptions" are being requested is provided in the table below.

Regulation	Required/Allowed	Provided
Lot 1 West Building Setback	40'	Minimum 30' (varied per plan)
Lot 1 South Building Setback	40'	30'
Lot 1 East Parking Setback	10'	5' for Fire Lane Only.
Lot 1 North Parking Setback	10'	0' (varied per plan)
Lot 1 Driveway to lot line	Minimum 70'	5' (fire lane only)
Lot 1 Minimum Foundation Lscape	7'	Minimum 0' (per plan)
Lot 1 Loading Space	1 for each building	None
Lot 1 Dumpster	1 enclosed and landscaped	None
Lot 2 South Parking Setback	10'	None
Lot 2 Parking	269	237
Spacing between driveways	Minimum 400'	310' between 2 northern drives
Driveway Centerline	Not < 70' from lot line	22.5 (only fire lane from east line per plan)
Landscaping		Per plan

Access, Circulation, and Parking Lots

As shown and discussed above, there are two main parking lots being added as part of the new development. The new northern parking lot will be accessed and located on the north side of the new north building. The parking lot will be accessible via a new driveway on Quincy, located about 310 feet south of the existing driveway serving the existing building on the north end of the property. The new north parking lot will also be accessible via the existing parking lot that serves the north building. Staff is recommending the end landscape islands be extended into the existing parking lot on Lot 1 to better define the cross connection and protect parked cars from turning movements. The cross connection between the existing and the new buildings will be covered by a new "cross access easement" allowing the perpetual cross-over between the two properties even if ownership on one or both lots changes in the future. There are a total of 53 parking spaces in the new north parking lot.

The second new parking lot will be located between the two new buildings, south of the lot discussed above. Patrons wishing to lease space in either of the two new buildings will use this parking lot to visit the leasing office located in the southwest corner of the north building. This lot will also be the primary entrance point for patrons who lease space in the south building to store their automobiles. There are a total of 18 parking spaces in the new south parking lot.

It is important to note that the location on both buildings where vehicles exit the building provides only a short distance between the building and the street, about enough for one car. Staff is recommending a condition that the flow through the building be mandated so that these doors may only be used to exit the building since reversing the flow and utilizing these doors to enter the buildings would cause backups in the public streets if more than one vehicle was waiting to enter the building.

Parking and Loading Space Requirements

Because this project involves the relocation of an existing lot line that effectively reduces parking for the existing building located on the north side of this lot, parking is evaluated for the existing building as well as the two new buildings:

- Existing Building Parking Requirement.** The existing building on the north side of the project provides 237 existing parking spaces, excluding those spaces in the small lot extension on the south, which contains 29 parking spaces. The developer intends that these new spaces will be redeveloped and incorporated on the lot with new construction. It is therefore necessary to evaluate whether the remaining existing parking adequately serves the existing building on the north end of this property.

The parking table below summarizes the Zoning Ordinance parking requirement for the existing 7501 Quincy building. This building accommodates nine tenants, most of whom are a hybrid of office, warehouse, and distribution uses, so while the table selects "the best" use classification for each tenant, it's likely that each use isn't solely a true "office" or "warehouse" user.

**Parking Calculations for 7501 Quincy
 (Tenants, Square Footages and Employee Data provided by Owner)**

Unit	Tenants	Sqft	Parking Use Type (1)	Emp	Sqft Park Calc	Emp Park Calc	Required Parking
100	Remprex	17,688	1	40	78.61		79
10	Carrier Corp	10,152	2	9	7.77	6	8
130	King Koil A	20,000	2	15	14.33	10	14
	King Koil B	6,797	1		30.21		30
140	Denbur, Inc	3,610	2	2	3.41	1.333333	3
145	South Side Control	3,835	2	2	3.56	1.333333	4
150	Those Funny Little People	3,883	2	2	3.59	1.333333	4
160	Rimkus	16,884	1	13	75.04		75
175	Federal Heath Sign Co	5,065	1	7	22.51		23
180	LaForce, Inc.	6,500	1	12	28.89		29
	TOTALS	94,414		102			269
	Available Parking						237

Surplus/(Deficit) (32)

(1) Parking Use Type

1 = Office = 1 space for every 225 square feet

2 = Warehouse, Storage and Mail Order Establishments = Greater of 4 spaces + 1 space for every 1,500 sq ft 4,500; or 1 space for every 1.5 employees'

The table concludes that based on a strict ordinance interpretation, the building requires 269 parking spaces, while only 237 are provided. This may be why the additional 30 spaces were constructed south of the existing southern lot in the past. It is interesting to note that the 269 space parking requirement is 167 parking spaces more than the total number of employees reported by the owner.

A recent count of actual cars on a Google map image counted 94 cars on the site, which might indicate an actual parking requirement closer to the number of employees. The site may be over-parked, and the Plan Commission should ask the applicant to clarify the actual

parking need for this building. If the Plan Commission deems appropriate, a maximum employee limitation could be placed on the 7501 Quincy building as a means to better regulate parking. This is possible given the flexibility afforded by the Planned Unit Development process. If this condition is imposed, it would be up to the owner to provide employment data to the Village with each new tenant occupancy. The alternative would be to leave things status quo, especially given that a cross access and shared parking agreement is in place that allows for shared access and parking of the new lot located on the north side of the north building.

2. **New Construction Parking Requirement.** The Zoning Ordinance does not provide a specific parking requirement for a "self-storage" use. The closest use defined in the ordinance is "Warehouse, Storage, Wholesale and Mail Order Establishments", which requires the greater of 1 space for every 1.5 employees, or 4 spaces plus 1 additional space for every 1,500 square feet over 4,500 square feet. With 100,066 square feet of space in the two new buildings, this calculation requires 69 parking spaces, while 71 total parking spaces are provided on both the north and south sides of the building. Because patrons use this site primarily to either store a car in the south building or to arrive in their car, drive into the building and unload items into a storage locker, there is no real need to provide code compliant parking spaces for this use. In this regard, the site is probably over-parked. It is not uncommon for these types of uses to lease these spaces for the storage parking of trailers, RVs, and other vehicles. This is specifically prohibited in the M-1 zoning district, and will be included as a condition of approval as part of the PUD
3. **New Construction Loading Requirement.** The Zoning Ordinance requires one loading space for each of the two new buildings, however none are provided given the inside loading function of this particular use. The only concern with granting this exception given the design of the project is that there is no room to add loading spaces if at any point in the future this property is sold for a use other than a self-storage facility. The Plan Commission should consider whether conditions on future use should be imposed on this approval.

Stormwater Management

Detention for this property was provided in the past, when the owner made improvements to the existing pond to provide additional storage. It was determined at that time that the additional storage could be utilized for the future development of this southern vacant property. This is why there is no new stormwater feature included with this development. The pond improvements, however, do not meet the "bmp" requirements of the DuPage County Stormwater Ordinance, which is why "rain gardens" are incorporated into the design of Lot 1. The Village Engineer has evaluated the latest set of Civil Engineering documents for compliance with the County Ordinance and is satisfied that conditions are met.

Comprehensive Plan:

Similar to many of the surrounding properties, the Comprehensive Plan recommends industrial uses for this site. This development pattern was established when development began in the area and this site is one of only a couple of new development site remaining in the "industrial" area. Unfortunately, many of the industrial uses were constructed at a time with little regard to adequate provision of off-site loading, so many existing buildings in the park must use the public streets to wait and/or to maneuver into the loading dock areas. This is particularly prevalent along Quincy and the section of Executive Drive adjoining the subject property. This is why the developer was asked to ensure minimal traffic impacts on these adjoining streets. The proposed project's design

meets this objective, but only if the vehicular flow through the buildings is directed on way...with the overhead doors along both street frontages only being used for exiting purposes. This is very important and will be memorialized as a condition of approval.

As a use that caters to the general public who have mostly home based goods to store, a self-storage facility is not specifically a use that is listed in the M-1 District. Although it has become apparent over the last couple of years that there is interest in properties in this area for non-traditional/non-industrial uses, the Village must exercise care when introducing these uses so as not to negatively impact the uses the area was planned for. While managing traffic and minimizing the interaction between business truck traffic and commercial automobile traffic is important as discussed above, so is maintaining the image of the area as a business/industrial park. Traditional self storage facilities like the one on Frontage Road would not be appropriate here visually, with all the overhead doors. The proposed "drive-in" storage facility works well in this location. On the other hand, the appearance of this project should be decidedly industrial, with great care taken not to allow an overly commercialized appearance. There are two facts about these types of indoor storage facilities that are fairly consistent in the industry; they're big and they like to utilize large portions of the building elevations for corporate identity. See the pictures below. This project has been designed appropriately to function well and in harmony with its surroundings, but in order for the Plan Commission to make a finding that this use is consistent with the Comprehensive Plan, it will also be important that the overly commercialized appearance be regulated, while still providing appropriate opportunities for visibility and image. This has been somewhat overlooked so far, while everyone was working so hard to make the project function properly on the property. Elevation details are too limited at this point to ensure an appropriate design and use of the building's elevations, and for this reason, staff is recommending these details be discussed at the meeting, direction provided and that these details be memorialized in document revisions for final PUD consideration at the next meeting. Additional information is provided below under "Elevations."



Use:

The property is zoned M-1, which lists the following as a permitted use:

“Any production, manufacturing, assembling, processing, cleaning, servicing, testing, repair or storage of materials, goods or products and business offices accessory thereto, which conforms with the performance standards set out in Chapter 9 of this Title.” Chapter 9 mostly deals with typical noise, vibration, glare, and odor issues that can accompany some industrial uses. It is important to note that the M-1 District also includes the following standards, which will apply to this development:

- (A) **Outdoor Storage:** All operations, activities and storage shall be conducted wholly inside a building or buildings. The outdoor storage of trucks, buses and other vehicles is expressly prohibited.

The Village interprets this to prohibit the outdoor storage of vehicles in the parking lot by lease holders or for storage of vehicles for the purpose of renting vehicles or trailers for moving purposes.

- (B) **Retail Sales:** Except for medical cannabis dispensaries as provided in section 9-8-2 of this chapter, no retail sales or services shall be permitted except as incidental or accessory to a permitted use.

The Village normally would interpret that the retail sales of boxes or other storage/moving supplies in the leasing office would be permitted.

- (C) **Dispensing Of Gasoline:** Dispensing of gasoline from underground storage tanks on premises shall be limited to the requirements of vehicles necessary to the conduct of a permitted use.

The dispensing of gasoline will not be allowed on this site.

- (D) **Service Of Vehicles:** Service and maintenance of vehicles shall be permitted only such as is necessary to the conduct of a permitted use.

The servicing of vehicles will not be allowed on this site.

- (E) **Exterior Lighting:** Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent property, in compliance with the requirements of section 9-9-8 of this title.

- (F) **All Premises:** All premises shall be furnished with all weather, hard surface walks, and except for parking areas, the grounds shall be landscaped.

- (G) **Residential District:** If the lot adjoins a residential district, screening shall be provided at the lot line sufficient to protect on a year round basis the privacy of the adjoining residential uses.

- (H) **Residential Purposes:** No building shall be used for residential purposes. (Ord. 97-O-05, 1-27-1997)

Landscaping:

Existing landscaping on the site is limited mostly to the edge of the pond and in some scattered area within the vacant lot. The owner has complied with initial requests to preserve and enhance the existing landscaping along the pond, and some material between the existing a new development as possible. All interior plant materials will be cleared for development.

In addition to preserving perimeter pond landscaping, new landscaping is being provided around all edges and in the parkway. It is not possible to meet the code compliant landscaping requirements of the Zoning Ordinance because the plan incorporates "rain gardens" in many of the open areas around the perimeter as a means to comply with the "bmp" (best management practice) requirements DuPage County Stormwater Ordinance as discussed above. These rain gardens typically consist of variety of native grasses and perennials that, once established, are not mowed and appear more native. The purpose of these grasses is to slow down and clean stormwater before it enters the sewers. The plans call for all of these areas to be seeded, however staff recommends a mix of seeds and plugs for the 2 rain gardens visible along Quincy, as this will ensure immediate as well as long term functional benefits. The Landscape Architect commented this was done, however it needs to be clarified as staff was unable to understand where the detail was added in the plans. The plans should also be revised to clarify that all areas not planted with rain garden or plant materials shall be sodded.

The plan is also not code compliant with regard to foundation landscaping in a couple of areas. The code requires a mix of deciduous and evergreen shrubs in a 7' landscape strip. The north sides of both new buildings, the east side of the south building, and the elevations next to the pond areas do not have foundation landscaping. These areas are typically less visible from the street or have been screened by other means. Finally, the following additional modifications to the Landscape Notes are required:

1. Modify note number 5 to indicate substitutions must also be approved in writing by the Village of Willowbrook prior to delivery of material.
2. Modify note number 7 to indicate the Village must also inspect and approve the material prior to installation.
3. All parkways and the non-rain garden turf area north of the north parking lot on Lot 1 shall be sodded.
4. Landscaping around the monument sign shall be revised with materials more compatible with materials in the rain garden. An elevation would be helpful. This is discussed in more detail below under "Monument Signage"

Snow Removal:

There appears to be ample opportunities to manage snow without impact the parking on the site.

Garbage:

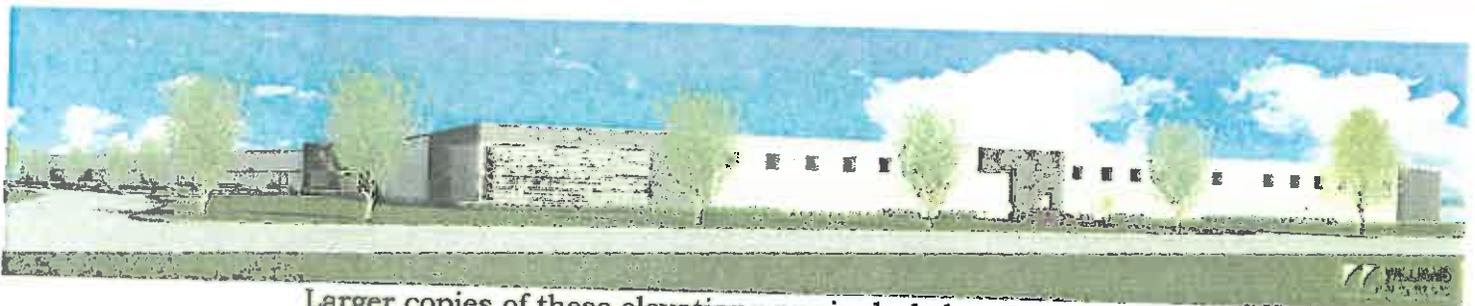
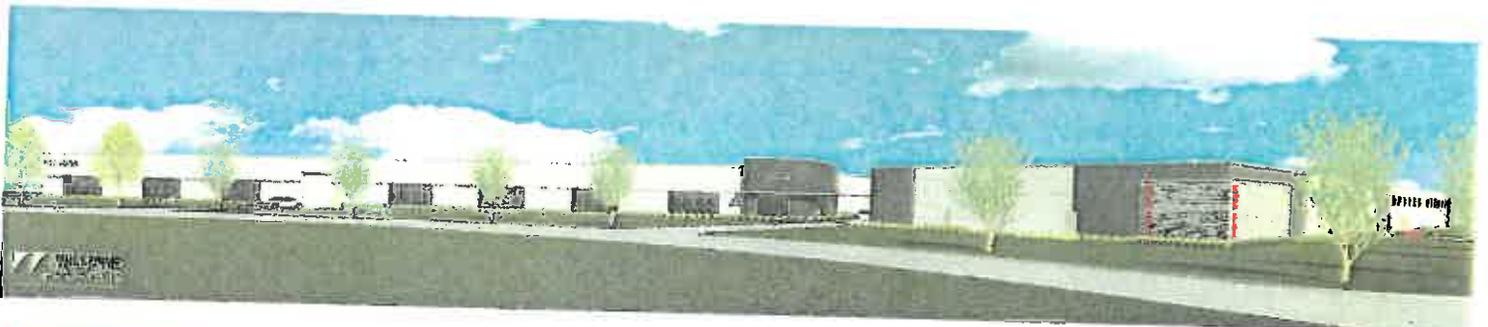
The new construction site does not provide for any outside enclosed dumpster area. The owner contends that providing any kind of dumpster outside is an invitation for everyone who leases space to use them for more than just their residual garbage. Furthermore, the owner says its office use will produce very little garbage, and that it would prefer to handle any garbage generated by the office or by necessary removal of items from abandoned spaces by taking it out and bringing inside on garbage day after pick up. This can be accommodated as part of the PUD, however staff has concerns. Specific information about garbage handling is provided on Sheet C-12 of the plans. It

provides details that up to a 2 yard dumpster will be utilized and moved in and out by office staff on garbage day, but it does not indicate where outside. This should be indicated on the plans and staff recommends it be in the northeast corner of Lot 1, as there is not another appropriate site to wheel out a 2 yard dumpster.

Staff also recommends a permanent outdoor location for an enclosed dumpster be identified and required in the future if outside garbage containers are consistently utilized outside more than just on pick-up days. One possible alternate location would be at the northeast corner of the site, where vehicles would enter the driveway to access the northern building.

Elevations

Elevation plans and color elevation drawings are provided for both building. Both buildings propose to use 10" insulated pre-cast panels with painted accent stripes. The north building (Building A) is 23' tall and includes a taller element (25') at the southwest corner near the office. The south building (Building B) is a continuous 23' tall building. The north building incorporates a series of spaced storefront type windows, which help break up the long expanse of building. Given that these windows are likely not intended as storefront windows, they should incorporate reflective glazing that does not allow visibility into the building. Storage facilities are notorious for utilizing "windows" as additional signage areas by placing brightly lit faux storage units behind the windows. With 7 large windows spaced along the Quincy frontage, this should not be allowed, except perhaps in the windows near the office. If something other than reflective glazing is utilized, additional details should be provided. Instead of typical "storefront" windows, Building B incorporates 4x4 square windows placed between 12' and 16' high along the façade. It is assumed these windows are more functional and intended to provide natural light into the car storage building. The windows are likely a more practical way to provide light without encouraging vandalism to the vehicles stored inside. Building B also incorporates something different on the corner with no details. The color elevation implies something very different, but staff cannot comment due to the lack of details.



Larger copies of these elevations are included as Exhibit 1

Staff recommends some additional architectural details in both buildings to help break the long horizontal lines. The difference in color and the slightly higher elevation near the office in Building A helps, but additional relief should be utilized on both buildings...especially Building B, which has no change in vertical elevation. Lighting details should be incorporated on the elevation plans, showing the location of proposed wall packs. It is also necessary that elevation plans be better coordinated with civil and landscape plans so that required "man doors" include necessary sidewalk additions (if required) and landscape modifications.

Staff is satisfied with the use of black, white and grey tones for the building color, as shown in the colored elevation, however these details need to be specified on the elevation drawings. Overhead door colors should also be specified. Modifications to building material or color should only be allowed for signage areas to allow appropriate branding. This is discussed in more detail below under "Signage".

Wall Signage:

Up to 100 square feet of wall signage is permitted on both buildings. The latest details show a wall sign near the office, along the Quincy frontage on Building A, and a wall sign on the south elevation of Building B, along the Executive Drive Frontage. The Sign on Building A needs to be revised so that the height of the largest element of the sign is indicated (which is larger than 27").

The latest elevation for a wall sign on the south elevation of Building B also exceeds the 100 square foot limitation, and is also shown placed upon the building material that was not defined very well on the elevation drawings as discussed above. Additional details are required for both the sign and the building material, before support can be provided, especially given that the final operator of this facility has not been identified. Failing to require specific details on this corner may be viewed as an invitation to incorporate more "corporate identity" than the Village may be willing to support.

Monument Signage:

Sheet C-12 provides details for the proposed monument sign, which is proposed to be located near the office, on the north side of the south parking lot. The proposed double faced sign will be situated in the middle of the rain garden which is at a lower grade. As a result, the base of the sign is about 4' high. This rain garden area is heavily planted with native plants, grasses and perennials so it is not clear how landscaping around the sign will work. Grading and landscaping details as part of the elevation detail would be helpful. It is unclear how the proposed signage landscaping will be incorporated with the rain garden landscaping. Additionally, in lieu of the aluminum covering, the base of the sign needs to incorporate the same material as the building in order to comply with the Zoning Ordinance.

HVAC and other Utilities

The location of HVAC and other utilities should be identified. If they are at grade level and visible to the street, they should be screened. If they are on the rooftop, they should also be screened depending on their size and location. Screening details, if necessary, should be provided on the plans

Public Improvements

The only public improvements required as part of this project are the extension of the sidewalk along Quincy and new and replacement parkway trees, which are provided on the plans.

Summary

Staff is generally supportive of the use and the proposed design layout on the site. Efforts so far have focused very successfully on making this product work physically on this site, and there are only minor modifications in that regard that are required. Additional efforts, however, are required to ensure the intended uses on and within the property are fully understood and to finalize details on materials and elevation details and signage or identity as discussed in this report. This is a relatively large project in a very visible and well-traveled part of the community, and additional efforts from the Village and the developer are required to solidify details that ensure the end product will be successful for the end use while remaining compatible with the industrial environment it will share with its neighbors, which ensures compatibility of this project with the Comprehensive Plan. Staff therefore recommends the Plan Commission conclude the public hearing if all testimony is concluded, but that the Plan Commission continue its final consideration of its recommendation to its next meeting to allow an opportunity for these important plan details to be more carefully discussed, understood, and memorialized in revised plans and documents.

EXHIBIT 1



WILLIAMS
ARCHITECTS
A Division of Williams & Morrow, Inc.

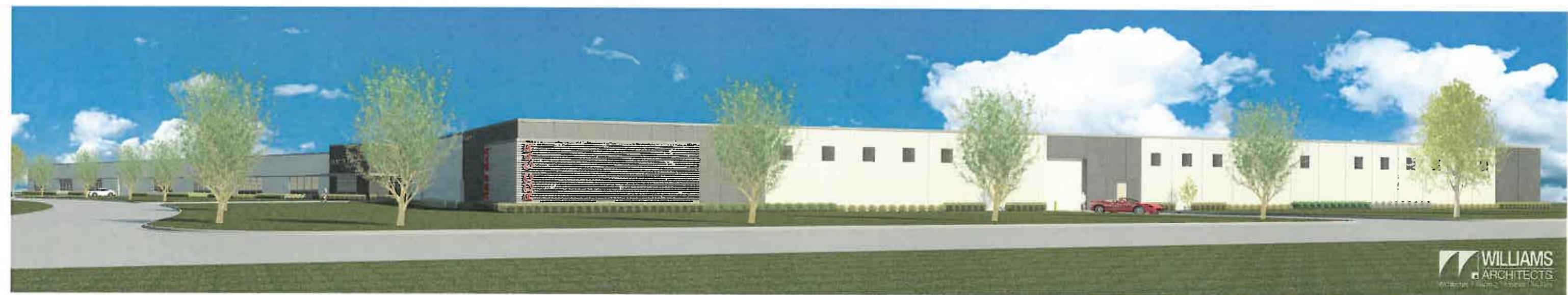
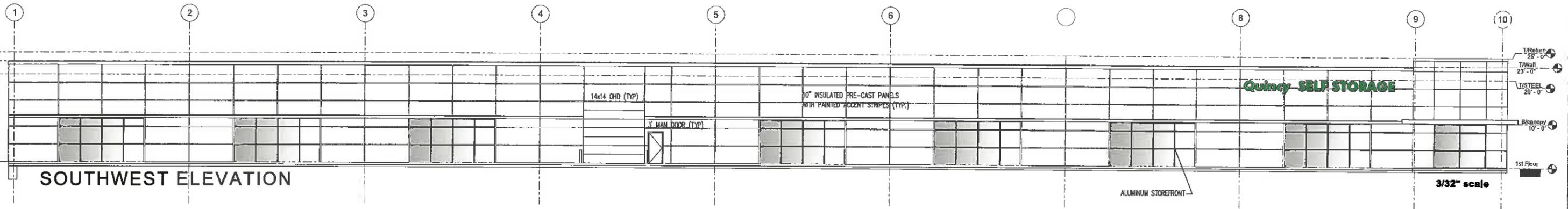


EXHIBIT 2

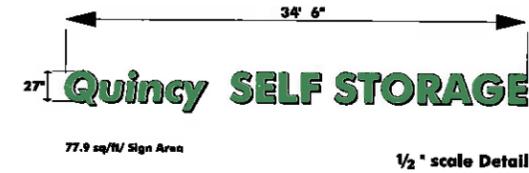
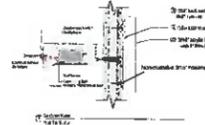
Building A

UL Listed Channel Letter Displays

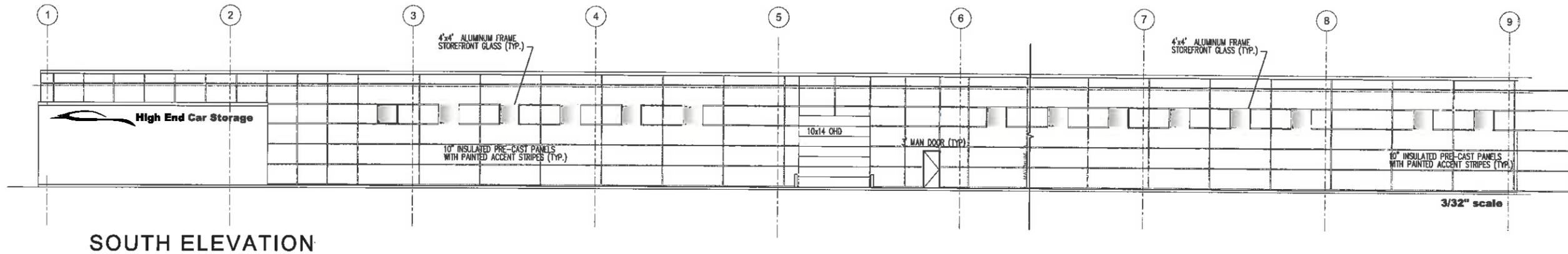


7601 Quincy Street Willowbrook IL.

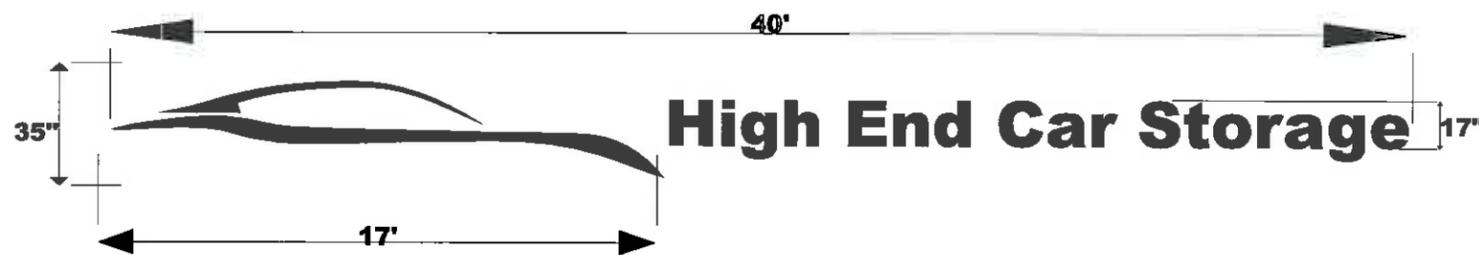
UL Listed Flush Mounted Channel Letter Display
Typical Flush Mount Channel Letters with LED's



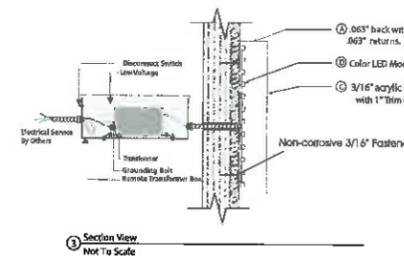
Building B



SOUTH ELEVATION



Typical Flush Mount Channel Letters with LED's



SCALE	AS NOTED	PROJECT NUMBER	14246
REV	DATE	DESCRIPTION	
0	10/21/15	BUILDING A CONCEPT PLANS	
DRAWN BY:	JRH		
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS			
Page	A1.0		

EXHIBIT 3

ROC INDUSTRIAL P.U.D.

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 09-26-403-027
09-26-403-028

SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
335 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527



BASE OF BEARINGS
BEARINGS ARE BASED ON THE NORTH LINE OF EXECUTIVE DRIVE AS SHOWN ON THE RECORDED PLAT OF PLAZA COURT RESUBDIVISION AS S 89°13'09"E.

(R) INDICATES RECORD DIMENSION
(M) INDICATES MEASURED DIMENSION

AREA IS EQUAL TO:
675,318.34 SQUARE FEET OR 15.434 ACRES

P.U. INDICATES PUBLIC UTILITY EASEMENT
D.E. INDICATES DRAINAGE EASEMENT

LINE DIMENSIONS

NO.	BEARING	DISTANCE
L1	N.84°15'13"E	60.08
L2	S.68°11'13"E	28.63
L3	N.88°27'29"E	84.27
L4	S.35°00'00"E	6.80
L5	S.55°00'00"W	49.94
L6	N.87°11'01"E	109.00
L7	S.54°07'36"E	24.88
L8	N.89°21'36"E	79.08
L9	S.00°43'03"W	22.57
L10	S.10°19'40"W	31.70
L11	S.54°07'36"E	25.28
L12	S.10°31'04"W	11.07
L13	N.54°07'36"W	25.05
L14	S.10°19'40"W	21.87
L15	S.48°21'19"W	25.25
L16	N.35°00'00"W	129.82
L17	S.87°11'01"W	118.42
L18	S.55°00'00"W	14.52
L19	S.05°15'47"W	8" 81
L20	S.35°00'00"E	122.70
L21	S.58°00'00"W	10.77
L22	S.35°17'40"E	33.78

LINE DIMENSIONS

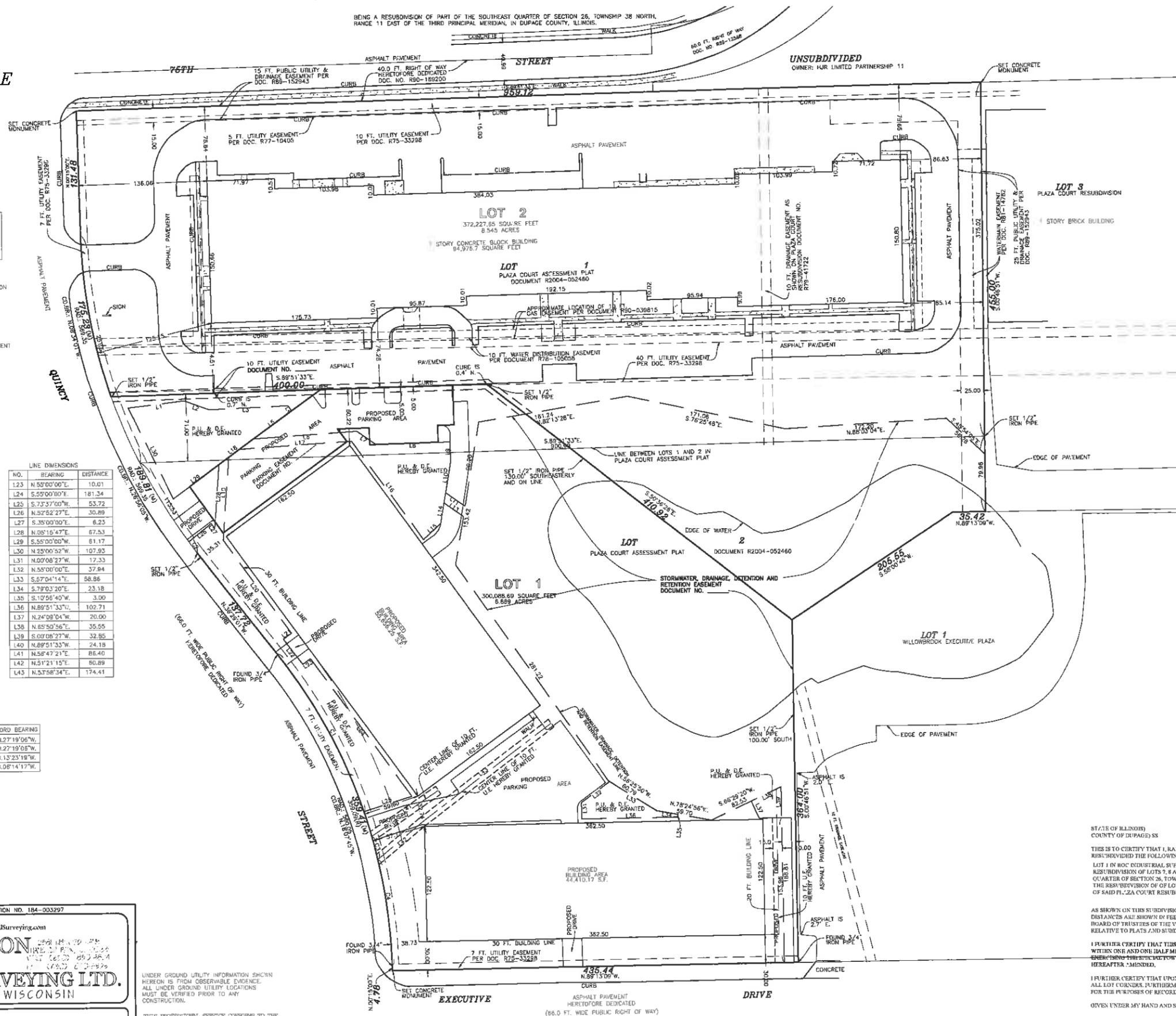
NO.	BEARING	DISTANCE
L23	N.55°00'00"E	10.01
L24	S.55°00'00"E	181.34
L25	S.73°37'00"W	53.72
L26	N.52°52'27"E	30.89
L27	S.35°00'00"E	6.23
L28	N.09°15'47"E	67.53
L29	S.55°00'00"W	81.17
L30	N.25°00'52"W	107.93
L31	N.00°08'27"W	17.33
L32	N.55°00'00"E	37.94
L33	S.57°04'14"E	58.86
L34	S.79°03'20"E	23.18
L35	S.10°56'40"W	3.00
L36	N.89°51'33"W	102.71
L37	N.24°08'04"W	20.00
L38	N.85°50'56"E	35.55
L39	S.00°08'27"W	32.85
L40	N.89°51'33"W	24.18
L41	N.58°47'21"E	86.40
L42	N.51°21'15"E	80.89
L43	N.53°58'34"E	174.41

CURVE DIMENSIONS

NO.	ARC LENGTH	RADIUS	CHORD BEARING
C1	181.70	560.05	N.27°19'06"W
C2	14.55	569.35	N.27°19'06"W
C3	25.42	560.05	N.13°23'18"W
C4	114.37	560.05	N.08°14'17"W

USE AREA TABULATION

LAND AREA	
NO. OF BUILDINGS - 2	
NO. OF DWELLING UNITS - NONE	
NO. OF DWELLING UNITS PER ACRE - NONE	



STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, RALPH J. MARUGG, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 246, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 7, 8 AND 9 IN WILLOWBROOK EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF LOT 2 IN THE RESUBDIVISION OF LOT 3 IN WILLOWBROOK EXECUTIVE PLAZA, FOREMENTIONED, ACCORDING TO THE PLAT OF SAID PLAZA COURT RESUBDIVISION RECORDED MAY 22, 1979 AS DOCUMENT R79-41722 IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND RESUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR WITHIN ONE AND ONE HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLANNED SUBDIVISION MAP AND ZONING ORDINANCES, AND THAT THE VILLAGE OF WILLOWBROOK HAS ADOPTED A CITY PLANNED SUBDIVISION MAP AND ZONING ORDINANCES, AND THAT THE VILLAGE OF WILLOWBROOK HAS ADOPTED A CITY PLANNED SUBDIVISION MAP AND ZONING ORDINANCES, AND THAT THE VILLAGE OF WILLOWBROOK HAS ADOPTED A CITY PLANNED SUBDIVISION MAP AND ZONING ORDINANCES.

I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS WILL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015

RALPH J. MARUGG
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 246
2381 LEBWARD LANE
HANOVER PARK, ILLINOIS

SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com

HARRINGTON LAND SURVEYING LTD.

ILLINOIS & WISCONSIN

UNDER GROUND UTILITY INFORMATION SHOWN HEREON IS FROM OBSERVABLE EVIDENCE. ALL UNDER GROUND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MICHIGAN STANDARDS FOR A BOUNDARY SURVEY.

For Building Restrictions and Easements refer to your Abstract Deed, Guarantee Policy and Local Ordinances. COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE

ORDERED BY:
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD
DRAWN BY: RJM
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7601 QUINCY STREET
WILLOWBROOK, ILLINOIS

ROC INDUSTRIAL P.U.D.

BEING A RESUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 09-26-403-027
09-26-403-028

SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
835 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527



FLOOD ZONE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 1704C 0909 H REVISED DATE DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "X"; NO PORTION OF THIS PARCEL IS LOCATED IN ZONE "A". AREA OF 100-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2436

SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT I, _____, AS OWNER OF THE PROPERTY DESCRIBED AS THE _____ SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH SAID SUBDIVISION IS SITUATED WITHIN.

ELEMENTARY SCHOOL DISTRICT _____ HIGH SCHOOL DISTRICT _____
DISTRICT _____ DISTRICT 86

OR: ATEK
DATED THIS _____ DAY OF _____, A.D., 2015.

STATE OF ILLINOIS
COUNTY OF DUPAGE

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT I AM PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE(SHE) SIGNED THE ANNEXED PLAT AS HIS(HER) OWN FREE AND VOLUNTARY ACT(S) FOR THE PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC _____
COMMISSION EXPIRES: _____

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 2015.

By: _____
PRESIDENT

ATTEST:
VILLAGE CLERK

VILLAGE ENGINEERS CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT THE PUBLIC IMPROVEMENTS FOR THIS SUBDIVISION AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREFOR, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

By: _____
VILLAGE ENGINEER

DUPAGE COUNTY SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

APPROVED BY THE DIRECTOR OF PUBLIC WORKS FOR THE COUNTY OF DUPAGE, ILLINOIS, DATED THIS _____ DAY OF _____, A.D., 2015.

By: _____
DIRECTOR

VILLAGE COLLECTOR CERTIFICATE

I, _____, COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

By: _____
VILLAGE COLLECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 2015.

SIGNED _____
CHAIRMAN

ATTEST
RECORDING SECRETARY

UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICE TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO AMERITECH, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, DUPAGE PUBLIC WORKS, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENTAL CONCERNS, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDARY BY THE LOT LINE AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND OR PUBLIC UTILITY AND DRAINAGE EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER, AND ANY OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EJECT LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEE'S OTHER RIGHT PROVIDED HEREIN. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND/OR RETENTION PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES AND APPURTENANCES THEREOF, SHALL BE CONTROLLED BY SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNERS OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

1. A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDARY BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT, SAID GRANT OF EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERETO IN, OVER, UNDER, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THESE PURPOSES.

2. NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERETO, LOCATED IN, OVER THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROBLEMS, STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM GRATES. NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPIDE OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT OBLIGATION, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED. SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

STATE OF ILLINOIS
COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____, 2015.

By: _____
COUNTY CLERK

STATE OF ILLINOIS
COUNTY OF DUPAGE)

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS ONTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 2015.

By: _____
ENGINEER

By: _____
OWNER OR ATTORNEY

OWNER'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WILLOWBROOK LLC
1804 N. NAPER BOULEVARD
SUITE 409
NAPER, ILLINOIS, ILLINOIS
MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY _____

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (HER) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, A.D., 2015.

By: _____
NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WCBUS LLC
1804 N. NAPER BOULEVARD
SUITE 409
NAPER, ILLINOIS, ILLINOIS
MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY _____

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (HER) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL, THIS _____ DAY OF _____, A.D., 2015.

By: _____
NOTARY PUBLIC

MORTGAGE CERTIFICATE

STATE OF _____
COUNTY OF _____) S.S.

THE UNDERSIGNED WELLS RAIT FINANCIAL TRUST AS MORTGAGEE UNDER MORTGAGE RECORDED IN THE RECORDERS OFFICE OF _____ COUNTY, _____ ON _____ DAY OF _____, A.D., _____ AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES THE RESUBDIVISION AND THE PLAT THEREON DRAWN.

By: _____
RAIT FINANCIAL TRUST

NOTARY'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) S.S.

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____

WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID _____ AS MORTGAGEE FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., 2015.

By: _____
NOTARY PUBLIC

HARRINGTON LAND SURVEYING LTD. ILLINOIS & WISCONSIN

ORDERED BY: KOZIOL ENGINEERING
SCALE: 1" = 50'
SURVEY NO.: 062-13PUD
DRAWN BY: RJM
FILE NAME: 062-13.DWG
COMMON ADDRESS: 7601 QUINCY STREET WILLOWBROOK, ILLINOIS.

STATE OF ILLINOIS
COUNTY OF DUPAGE)
THIS INSTRUMENT NO. _____ WAS FILED IN THE RECORDERS OFFICE OF DUPAGE COUNTY, ILLINOIS AFORESAID ON THIS _____ DAY OF _____, A.D., 2015.
BY: _____
RECORDER OF DEEDS

For Building Restrictions and Easements refer to your Abstract Deed, Quinley Policy and Local Ordinances. COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE

EXHIBIT 4

FINAL PLAT ROC INDUSTRIAL SUBDIVISION

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 36 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

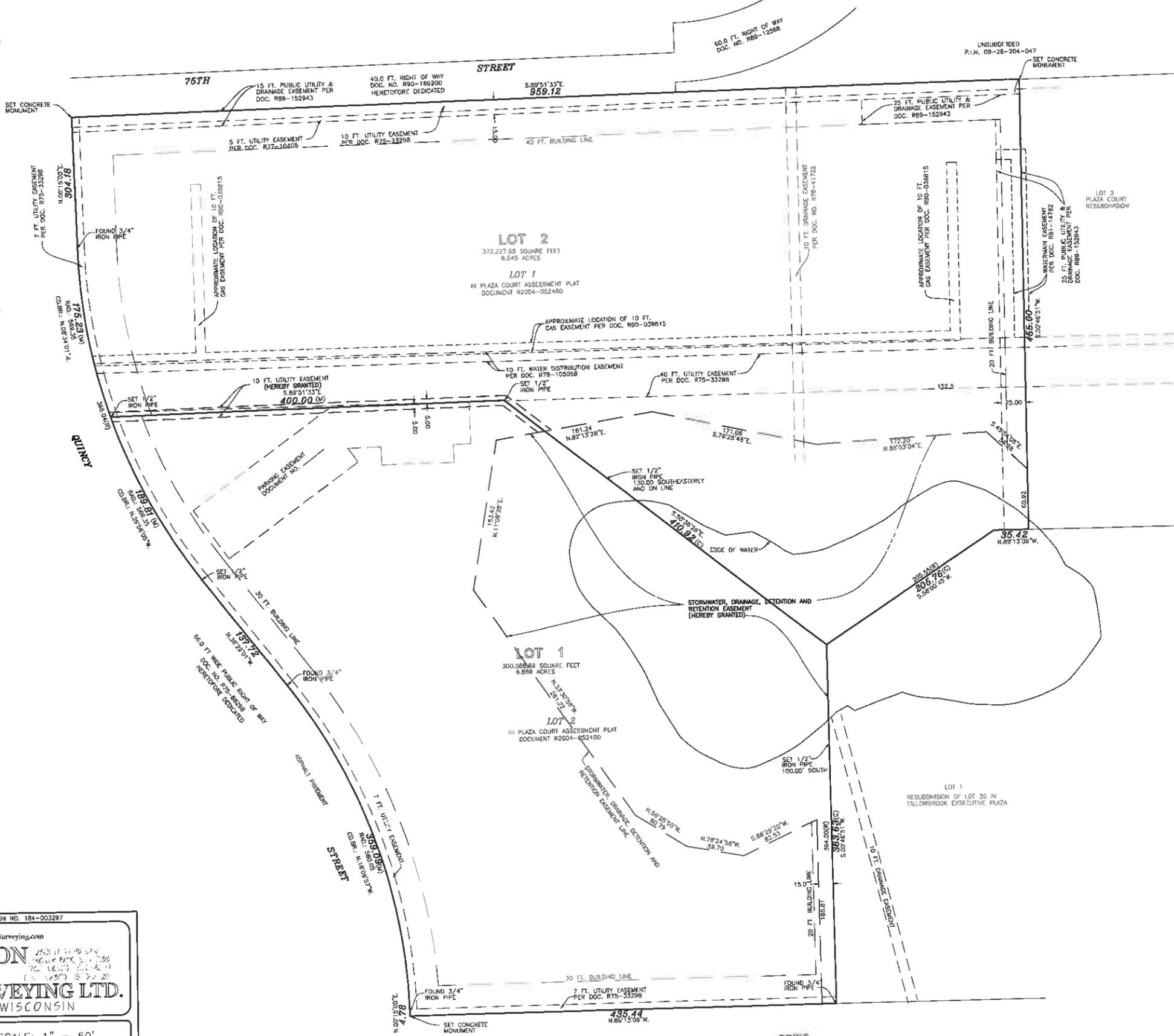
P.I.N. 09-26-403-027
09-26-403-028

SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
835 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527



BASES OF BEARING
BEARINGS ARE BASED ON THE
NORTH LINE OF EXECUTIVE DRIVE
AS SHOWN ON THE RECORDED PLAT
OF PLAZA COURT RESUBDIVISION
AS S.89°13'08"E.

(R) INDICATES RECORD DIMENSION
(M) INDICATES MEASURED DIMENSION
(C) INDICATES CALCULATED DIMENSION
AREA IS EQUAL TO:
672,316.34 SQUARE FEET OR 15.434
ACRES



SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com

HARRINGTON
LAND SURVEYING LTD.
ILLINOIS & WISCONSIN

ORDERED BY:
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13WEST
DRAWN BY: RJM
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7601 QUINCY STREET
WILLOWBROOK, ILLINOIS.

ROC INDUSTRIAL SUBDIVISION

P.L.N. 09-26-403-027
09-26-403-028



FLOODZONE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C 0909 H1 REVISED DATE, DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "X", NO PORTION OF THE PARCEL IS LOCATED IN ZONE "A", AREA OF 100-YEAR FLOOD.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2436

SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT I, _____, AS OWNER OF THE PROPERTY DESCRIBED AS THE _____ SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH SAID SUBDIVISION IS SITUATED WITHIN:

ELEMENTARY SCHOOL DISTRICT _____ HIGH SCHOOL DISTRICT _____ DISTRICT #6 _____

OWNER _____ DATED THIS _____ DAY OF _____, A.D., 2015.

STATE OF ILLINOIS
COUNTY OF DU PAGE

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT I AM PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THE ANNEXED PLAT AS INDICATED THEIR OWN FREE AND VOLUNTARY ACT(S) FOR THE PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC

COMMISSION EXPIRES _____

STATE OF ILLINOIS
COUNTY OF DU PAGE

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DU PAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 2015.

By: _____ PRESIDENT

ATTEST: _____ VILLAGE CLERK

VILLAGE ENGINEERS CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DU PAGE

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT THE PUBLIC IMPROVEMENTS FOR THIS SUBDIVISION AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREFOR, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT WILLOWBROOK, DU PAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

VILLAGE ENGINEER

DU PAGE COUNTY SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DU PAGE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS FOR THE COUNTY OF DU PAGE, ILLINOIS, DATED THIS _____ DAY OF _____, A.D., 2015.

DIRECTOR

VILLAGE COLLECTOR CERTIFICATE

I, _____, COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

VILLAGE COLLECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE) SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DU PAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 2015.

SIGNED _____ CHAIRMAN

ATTEST: _____ RECORDING SECRETARY

UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICE TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO AMERITECH, NORTHWEST ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, DU PAGE COUNTY WORKS, THE COUNTY OF DU PAGE DEPARTMENT OF ENVIRONMENTAL CONCERNS, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINE AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND OR PUBLIC UTILITY AND DRAINAGE EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER AND ANY OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF AND COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TEND OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEES FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEE'S OTHER RIGHT PROVIDED HEREIN. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND OR RETENTION PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES AND APPURTENANCES THERE TO, SHALL BE CONTROLLED BY SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PREVENTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNERS OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

1. A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. SAID GRANT OF EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERE TO, IN OVER, UNDER, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THOSE PURPOSES.

NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERE TO, LOCATED IN, OVER, THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROPELING, STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM GRATES, NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPED OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT OBLIGATION, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

STATE OF ILLINOIS
COUNTY OF DU PAGE

I, _____, COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WILLOWBROOK, ILLINOIS, THIS _____ DAY OF _____, 2015.

By: _____ COUNTY CLERK

STATE OF ILLINOIS
COUNTY OF DU PAGE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS ONTO PUBLIC AREAS OR PLAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 2015.

By: _____ ENGINEER

By: _____ OWNER OR ATTORNEY

OWNER'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WILLOWBROOK LLC

1804 N. NAPER BOULEVARD
SUITE 460
NAPERVILLE, ILLINOIS

MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WILLOWBROOK LLC

1804 N. NAPER BOULEVARD
SUITE 460
NAPERVILLE, ILLINOIS

MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC

MORTGAGE CERTIFICATE

STATE OF ILLINOIS
COUNTY OF _____) S.S.

THE UNDERSIGNED WELLS RAIT FINANCIAL TRUST AS MORTGAGEE UNDER MORTGAGE RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY, ILLINOIS, ON _____ DAY OF _____, A.D., _____ AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES THE RESUBDIVISION AND THE PLAT THEREON DRAWN.

RAIT FINANCIAL TRUST

ATTEST:

NOTARY'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DU PAGE) S.S.

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____

WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID _____ AS MORTGAGEE, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC

STATE OF ILLINOIS
COUNTY OF DU PAGE) SS

THIS IS TO CERTIFY THAT I, RALPH J. MARUGU, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2436, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY: LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 7, 8 AND 9 IN WILLOWBROOK EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 28 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF LOT 1 IN THE RESUBDIVISION OF LOT 38 IN WILLOWBROOK EXECUTIVE PLAZA AGREEMENT, ACCORDING TO THE PLAT OF SAID PLAZA COURT RESUBDIVISION RECORDED MAY 22, 1979 AS DOCUMENT #29-41722 IN DU PAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DU PAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR WITHIN ONE AND ONE HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLANNED IS EXERCISING THE SURVIVAL POWERS AUTHORIZED BY ARTICLE 11, DIVISION 17 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS WILL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

RALPH J. MARUGU
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2436
2881 LEWIS LANE
HANOVER PARK, ILLINOIS

SHEET 2 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com
HARRINGTON
LAND SURVEYING LTD.
ILLINOIS & WISCONSIN

ORDERED BY:
KOZIOL ENGINEERING

SCALE: NONE

SURVEY NO.: 062-13WEST
DRAWN BY: RJA
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7501 QUINCY STREET
WILLOWBROOK, ILLINOIS

STATE OF ILLINOIS
COUNTY OF DU PAGE

THIS INSTRUMENT NO. _____ WAS FILED IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, AFORESAID ON THIS _____ DAY OF _____, A.D., 2015, AT _____ O'CLOCK.

By: _____ RECORDER OF DEEDS

EXHIBIT 5

GENERAL NOTES: LANDSCAPE

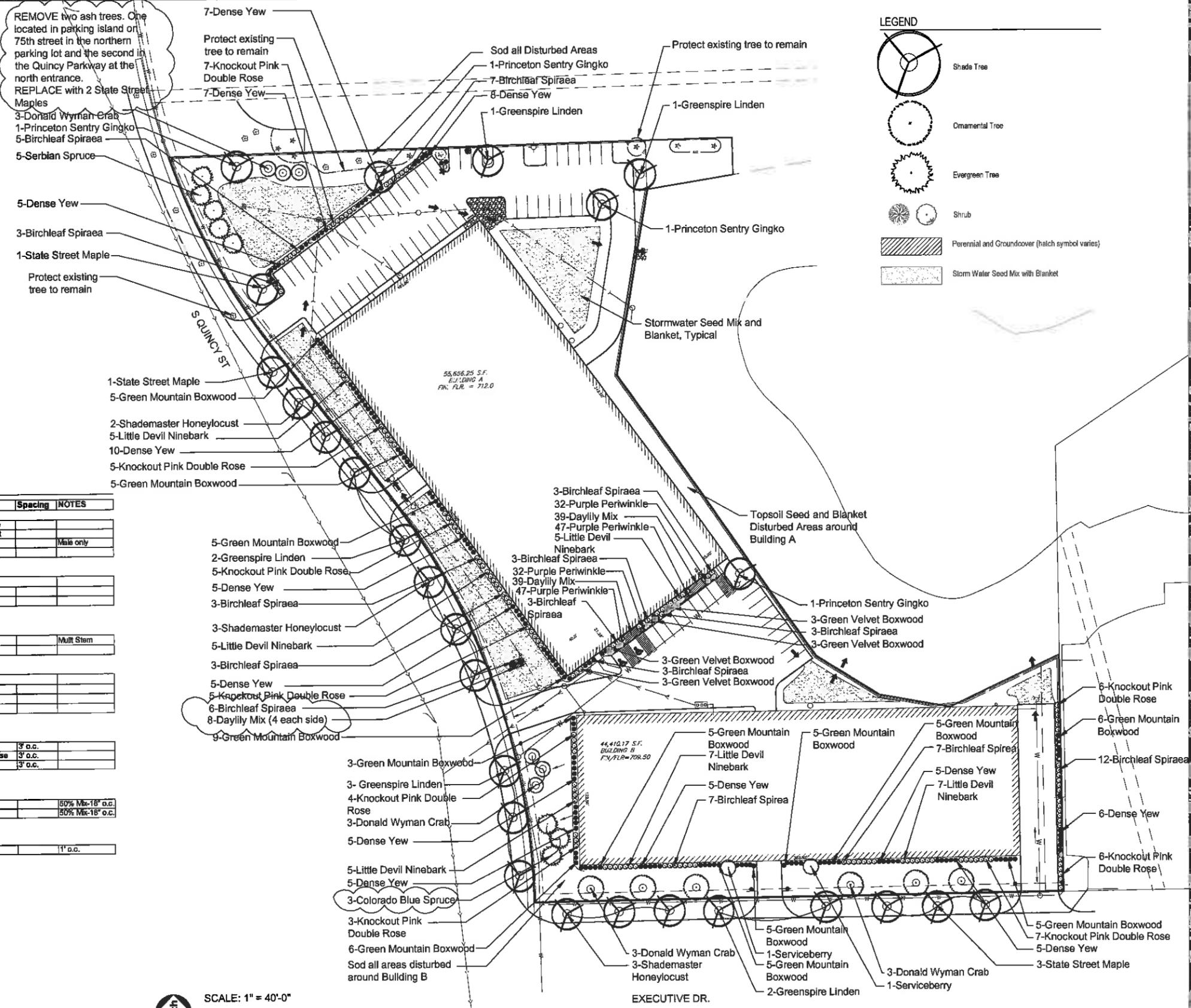
- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurseryman's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing by the Owner's Representative. In no case shall plant material be smaller than indicated in the plans.
- Do not willfully proceed with plantings as designed when it is obvious that obstructions and/or grade differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative prior to the installation of any and all plant material.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval by the Village of Willowbrook prior to delivery. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (6" diameter) shall have 4" of premium hardwood shredded mulch applied and a 4" deep spade edge at lawn. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by rolo-tilling 2" of Mushroom Compost into new beds. Do not add compost nor rolo-fill within drip line of existing trees.
- Lawn Seeding and sodding shall be under favorable weather conditions, and shall follow dates in specification.
- Turf mixes shall be installed and lawn established at all disturbed areas.
- Do not overseed into mulch beds and paving.
- Nursery shall email copy of the number, names, and sizes of all plant materials being delivered to the site 48 hours prior to delivery. Material delivered to the site may not be planted until authorized in writing by the Village of Willowbrook.
- Contractor shall restore all areas disturbed as a result of construction.

PLANT LIST

QTY	SIZE	BOTANICAL NAME	COMMON NAME	Spacing	NOTES
Shade Trees - Balled and Burlap					
7	2.5" Cal.	<i>Acer nyctaginea</i> 'Morton'	State Street Myrtle Maple		
8	2.5" Cal.	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	Shademaster Honeylocust		
4	2.5" Cal.	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo		Male only
9	2.5" Cal.	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden		
26					
Evergreen Trees - Balled and Burlap					
5	8" ht.	<i>Picea omorica</i>	Serbian Spruce		
3	6" ht.	<i>Picea pungens</i>	Colorado Blue Spruce		
8	Total				
Ornamental Trees - Balled and Burlap					
8	8" ht.	<i>Amelanchier canadensis</i>	Serviceberry		Multi Stem
12	2" Cal.	<i>Malus</i> 'Donald Wyman'	Donald Wyman Crab		
20	Total				
Evergreen Shrubs - Pot					
74	#3 cont.	<i>Buxus</i> 'Green Mountain'	Green Mountain Boxwood		
12	#3 cont.	<i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood		
78	#3 cont.	<i>Taxus x media</i> 'Densiflora'	Dense Yew		
164	Total				
Deciduous Shrubs - Pot					
34	#5 cont.	<i>Physocarpus opulifolius</i> 'Donna Moy'	Little Devil Ninebark	3' o.c.	
48	#5 cont.	<i>Rosa x</i> 'Radikopink'	Double Pink Knockout Rose	3' o.c.	
88	#5 cont.	<i>Spiraea betulifolia</i> 'Tor'	Birchleaf Spiraea	3' o.c.	
150	Total				
Perennials - Pt					
43	#1 cont.	<i>Hemerocallis</i> 'Golfing Bananas'	Golfing Bananas Daylily		50% Mix-18" o.c.
43	#1 cont.	<i>Hemerocallis</i> 'Little Wine Cup'	Little Wine Cup Daylily		50% Mix-18" o.c.
86	Total				
Groundcovers - Flat					
158	10 Flat	<i>Mnaca minor</i> 'Atropurpurea'	Purple Periwinkle		1' o.c.
158	Total				

WILLOWBROOK REQUIREMENTS CHART

Location	Distance in Feet	Ordinance	Required	Provided
Quincy Street	535	1 shade tree per 50'	11	11
Executive Drive	435	1 shade tree per 50'	9	8
Lot planting		1 Tree per 725 sf		
		20% shade, 30% conifers	25	26/8
		20% Ornamental	52	23



LEGEND

	Shade Tree
	Ornamental Tree
	Evergreen Tree
	Shrub
	Perennial and Groundcover (hatch symbol varies)
	Storm Water Seed Mix with Blanket

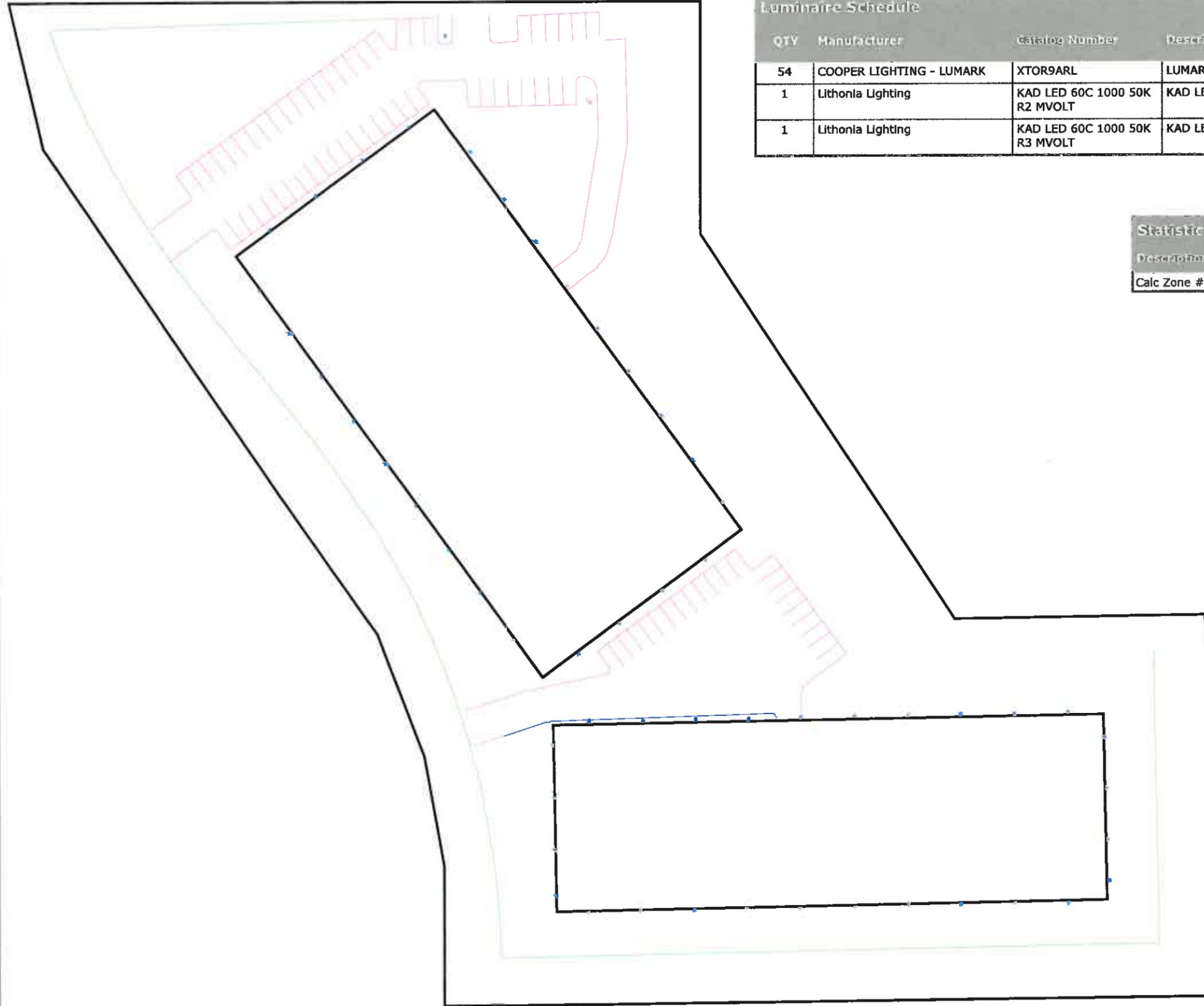
KOZIOL ENGINEERING SERVICES
PROFESSIONAL ENGINEERS
www.koziole.com
1821 Cooper Avenue, Lake Bluff, IL 60032
PH: (820) 433-8888

LANDSCAPING PLAN
7601 S. QUINCY ST.
WILLOWBROOK, IL

REV	DATE	DESCRIPTION
0	3/8/15	CONCEPT PLAN
1	02/28/15	FINAL ENGINEERING
0	06/27/15	LANDSCAPE PLAN
0	10/6/15	REVISED LANDSCAPE PLAN

DESIGNED BY: MGM DRAWN BY: MGM SCALE: 1:40 FILE NAME: 14169
DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

EXHIBIT 6



Plan View

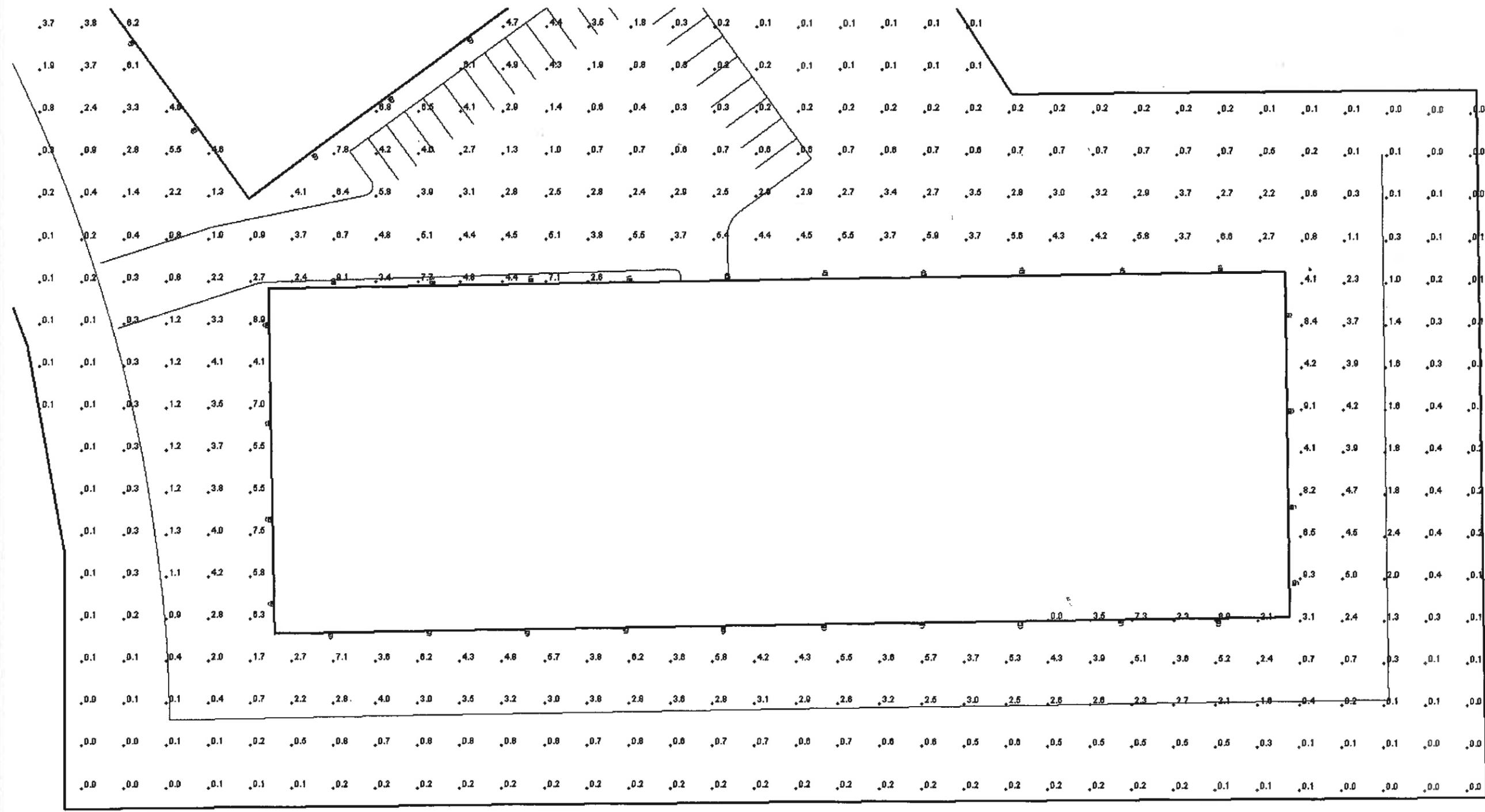
Luminaire Schedule				
QTY	Manufacturer	Catalog Number	Description	Wattage
54	COOPER LIGHTING - LUMARK	XTOR9ARL	LUMARK CROSSTOUR MAXX LED 85W - 5000K, REFRACTIVE LENS	84.6
1	Lithonia Lighting	KAD LED 60C 1000 50K R2 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 2 OPTICS.	432
1	Lithonia Lighting	KAD LED 60C 1000 50K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 3 OPTICS.	216

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #1	+	1.8 fc	9.3 fc	0.0 fc	N/A	N/A	0.2:1

**7601 Quincy St
 Willowbrook, IL
 LED Wall Packs**

Designer
 Josh Helsel
Date
 6/4/2015
Scale
 Not to Scale
Drawing No.

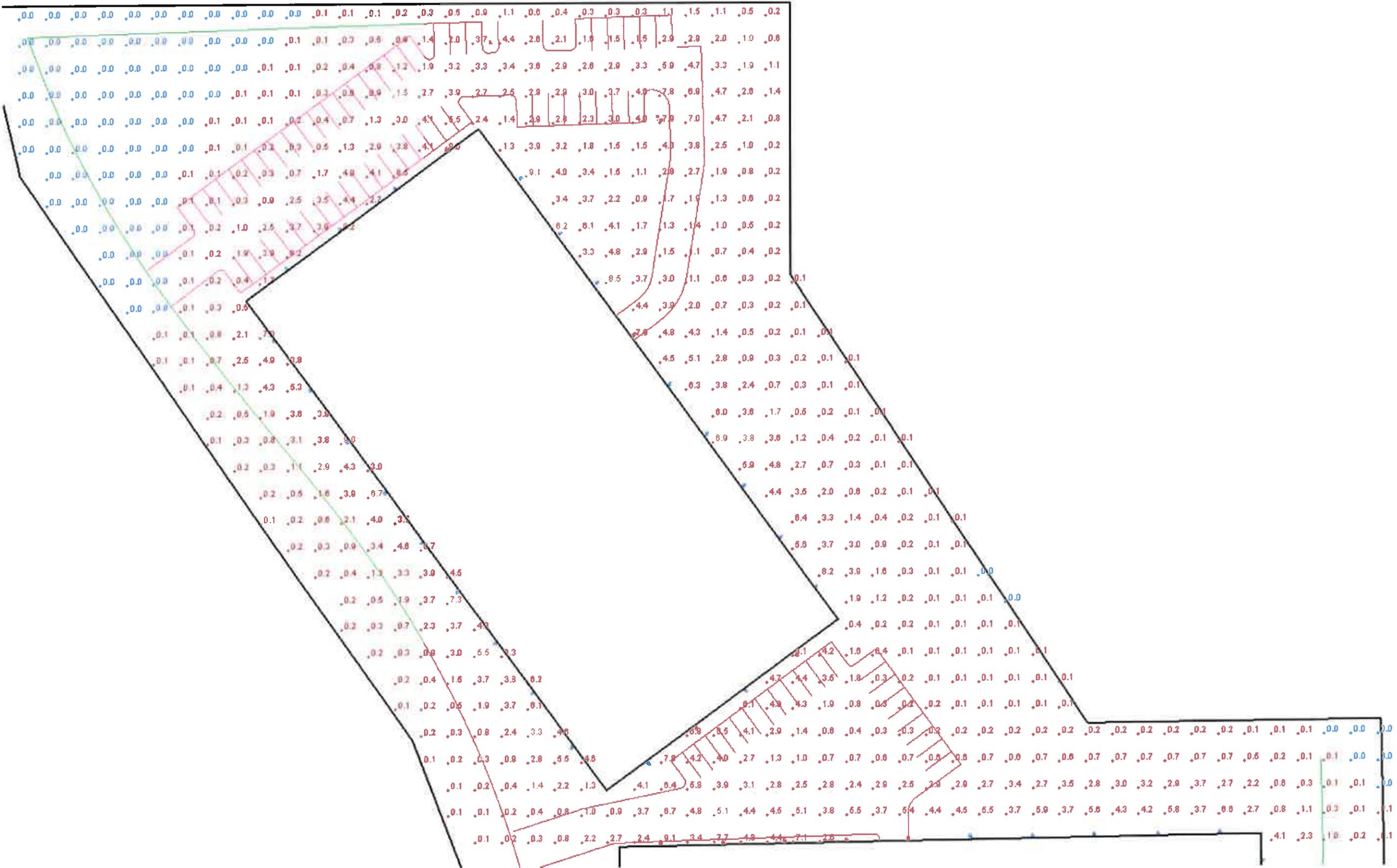
Summary



View #1

**7601 Quincy St
 Willowbrook, IL
 LED Wall Packs**

Designer
 Josh Helsel
Date
 6/4/2015
Scale
 Not to Scale
Drawing No.
 Summary



View #2

7601 Quincy St
Willowbrook, IL
LED Wall Packs

Designer
Josh Helsel
Date
6/4/2015
Scale
Not to Scale
Drawing No.

Summary

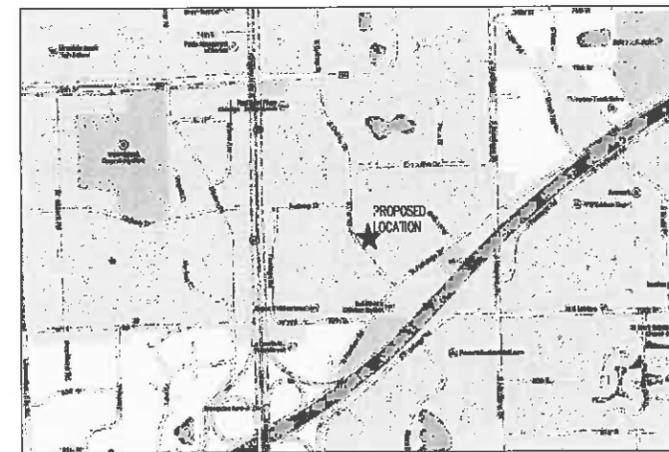
EXHIBIT 7

QUINCY STREET STORAGE

7601 QUINCY STREET, Bldg. A WILLOWBROOK, ILLINOIS



LOCATION MAP:



QUINCY STREET STORAGE
 7600 QUINCY STREET
 WILLOWBROOK, IL

PROJECT DIRECTORY:

OWNER:

ARCHITECT:

KOZIOL AND BROWN
 ARCHITECTS AND ENGINEERS
 1621 OGDEN AVENUE
 LISLE, IL 60532
 630/435-8688
 DESIGN FIRM #184-003978

ENGINEER:

KOZIOL ENGINEERING SERVICES
 1621 OGDEN AVENUE
 LISLE, IL 60532
 630/435-8688
 DESIGN FIRM #184-000988

VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT
 24401 LOCKPORT ST
 PLAINFIELD, IL 60544
 815/439-2937

SHEET INDEX:

ARCHITECTURAL

- A0 COVER PAGE
- A1.0 FRONT AND REAR ELEVATIONS
- A2.0 LEFT AND RIGHT ELEVATIONS
- A3.0 FLOOR PLAN
- A4.0 BUILDING SECTION
- A5.0 ROOF PLAN
- A6.0 BUILDING SECTION
- A7.0 WALL SECTION, DETAILS & SCHEDULES

STRUCTURAL

- S1.0 FOUNDATION PLAN
- S2.0 FRAMING PLAN
- S3.0 FRAMING DETAILS

PROJECT INFORMATION

PROJECT ADDRESS: 7600 QUINCY STREET
 WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)
 ONE-STORY
 SPRINKLERED

CONSTRUCTION TYPE: II-B

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

LOADS:

FIRST FLOOR LOADS:

- DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)
- DEAD 10 PSF (PARTITIONS/ FINISHES)
- LIVE 100 PSF

ROOF LOADS:

- DEAD 25 PSF (10 PSF ROOF)
 (10 PSF BOTTOM CHORD-MECH)
 (5 PSF TRUSS)
- LIVE:

 - ROOF: 30 PSF
 - SNOW (Pg): 25 PSF
 - Ce= 0.90
 - Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,
 EXPOSURE B

- LIVE:

 - WIND: 25 PSF
 - W: 1.00

CONSTRUCTION:

- DEAD 15 PSF
- LIVE 20 PSF
- WIND 6.4 PSF 1 YEAR DURATION

SEISMIC DATA:

- IMPORTANCE FACTOR 1.0
- OCCUPANCY CATEGORY II
- So 0.16
- S1 0.05
- SITE CLASS D
- Sd1 0.17
- Sd1 0.08
- SEISMIC DESIGN CATEGORY B

VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

- 2009 EDITION OF THE INTERNATIONAL BUILDING CODE
- 2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE
- 2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
- 2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE
- 2009 EDITION OF THE INTERNATIONAL PLUMBING CODE
- 2004 ILLINOIS STATE PLUMBING CODE
- 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE
- ILLINOIS ENERGY CONSERVATION CODE
- 2009 EDITION OF THE INTERNATIONAL FIRE CODE
- 2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE
- 1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

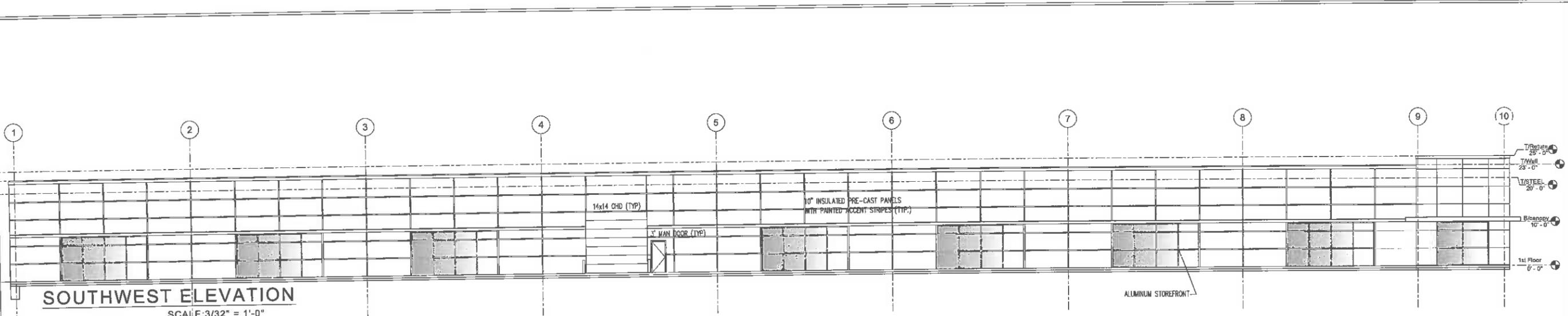
I HEREBY CERTIFY THAT APPLICABLE SECTIONS OF THESE PLANS WERE PREPARED UNDER ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL APPLICABLE CODES.

JAMES E. KOZIOL, P.E. EXP 11-30-15
 PAGES M1.0 THROUGH E2.0

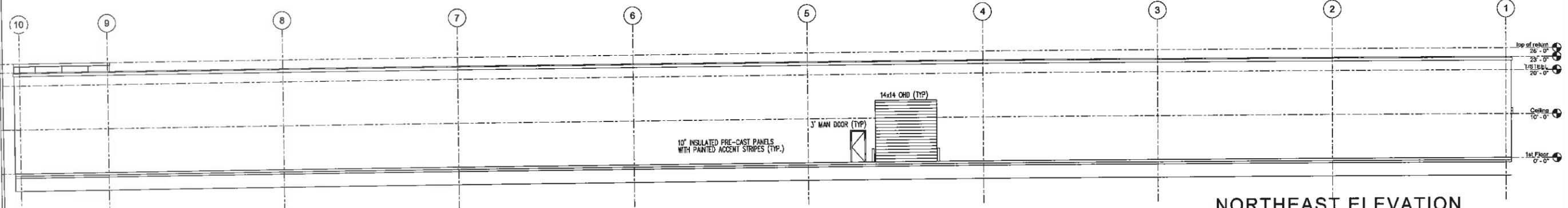
I HEREBY CERTIFY THAT APPLICABLE SECTIONS OF THESE PLANS WERE PREPARED UNDER ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL APPLICABLE CODES.

PHYLLIS G. BROWN, REGISTERED ARCHITECT
 EXP 11/30/16
 PAGES A1.0 THROUGH

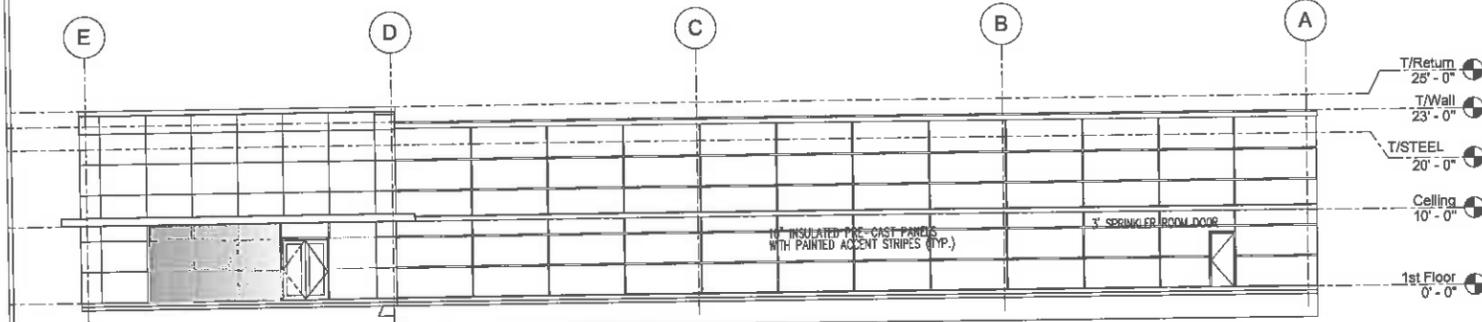
SCALE	AS NOTED	PROJECT NUMBER	14249
REV	DATE	DESCRIPTION	DRAWN BY:
0	10/01/15	BUILDING A CONCEPT PLANS	JPH
COVER SHEET			
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS			
Page 1 of 1			



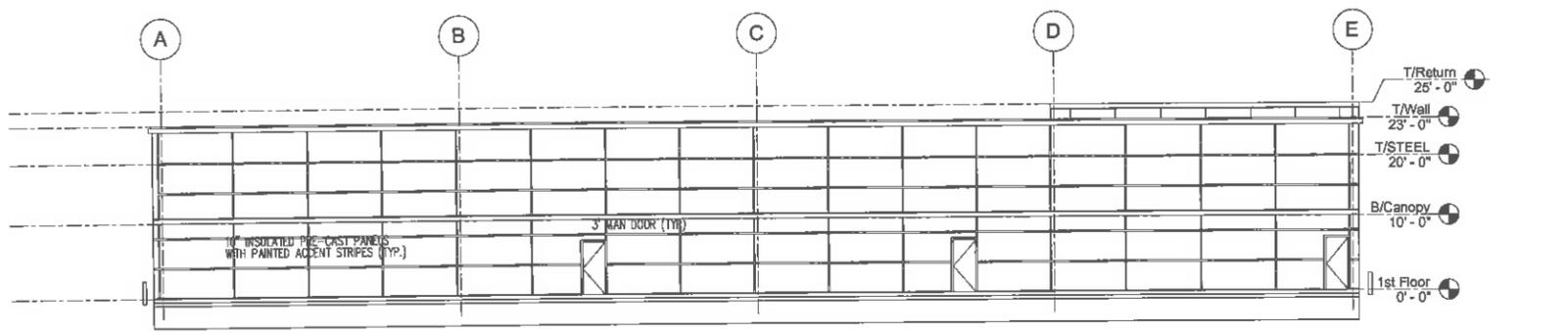
SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



NORTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



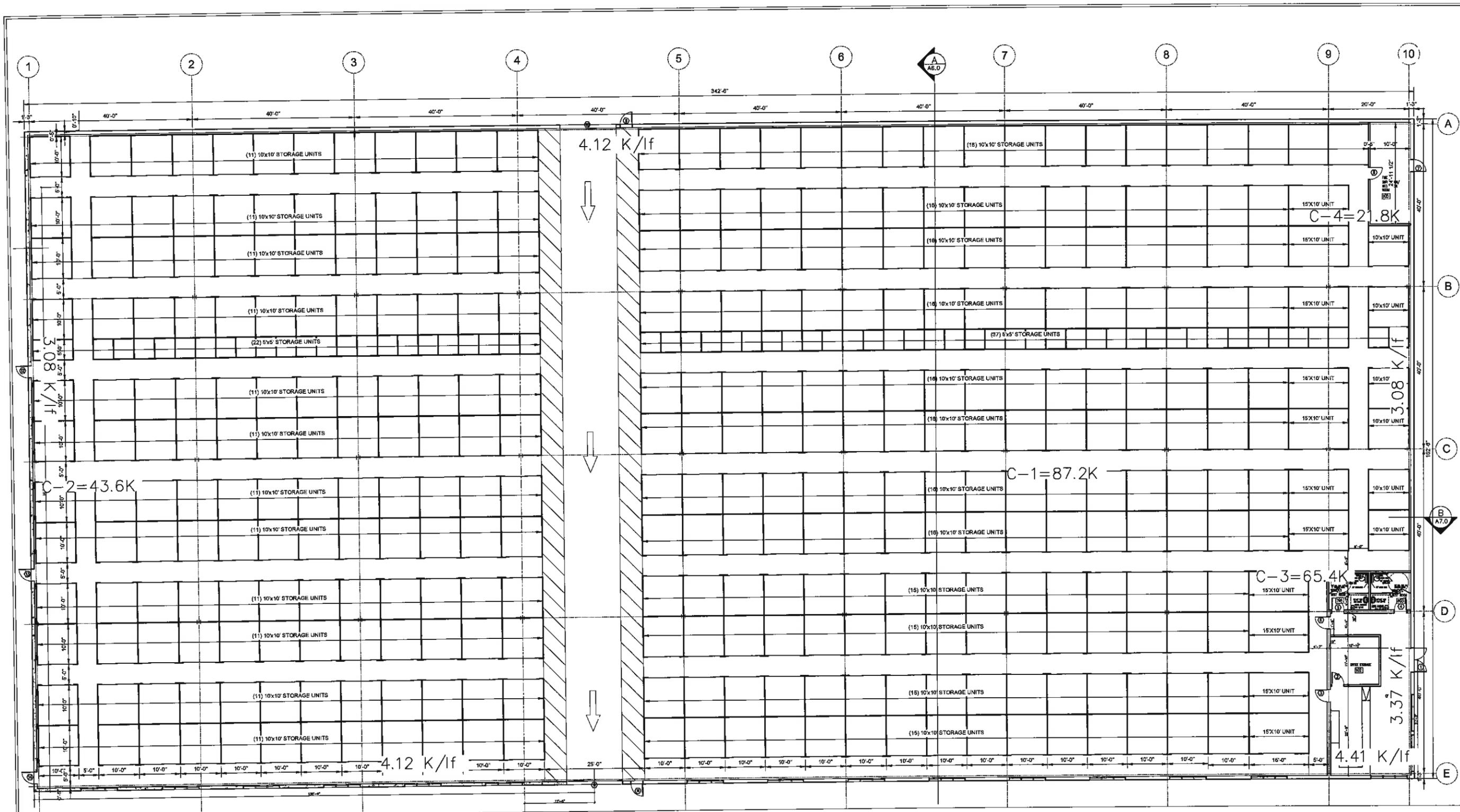
SCALE	AS NOTED	PROJECT NUMBER
		1429

DATE	DESCRIPTION
10/10/19	BUILDING A CONCEPT PLANS

REV	DATE	DESCRIPTION
0		

DRAWN BY: JPH

7601 Quincy Street, Bldg A
WILLOWBROOK, ILLINOIS



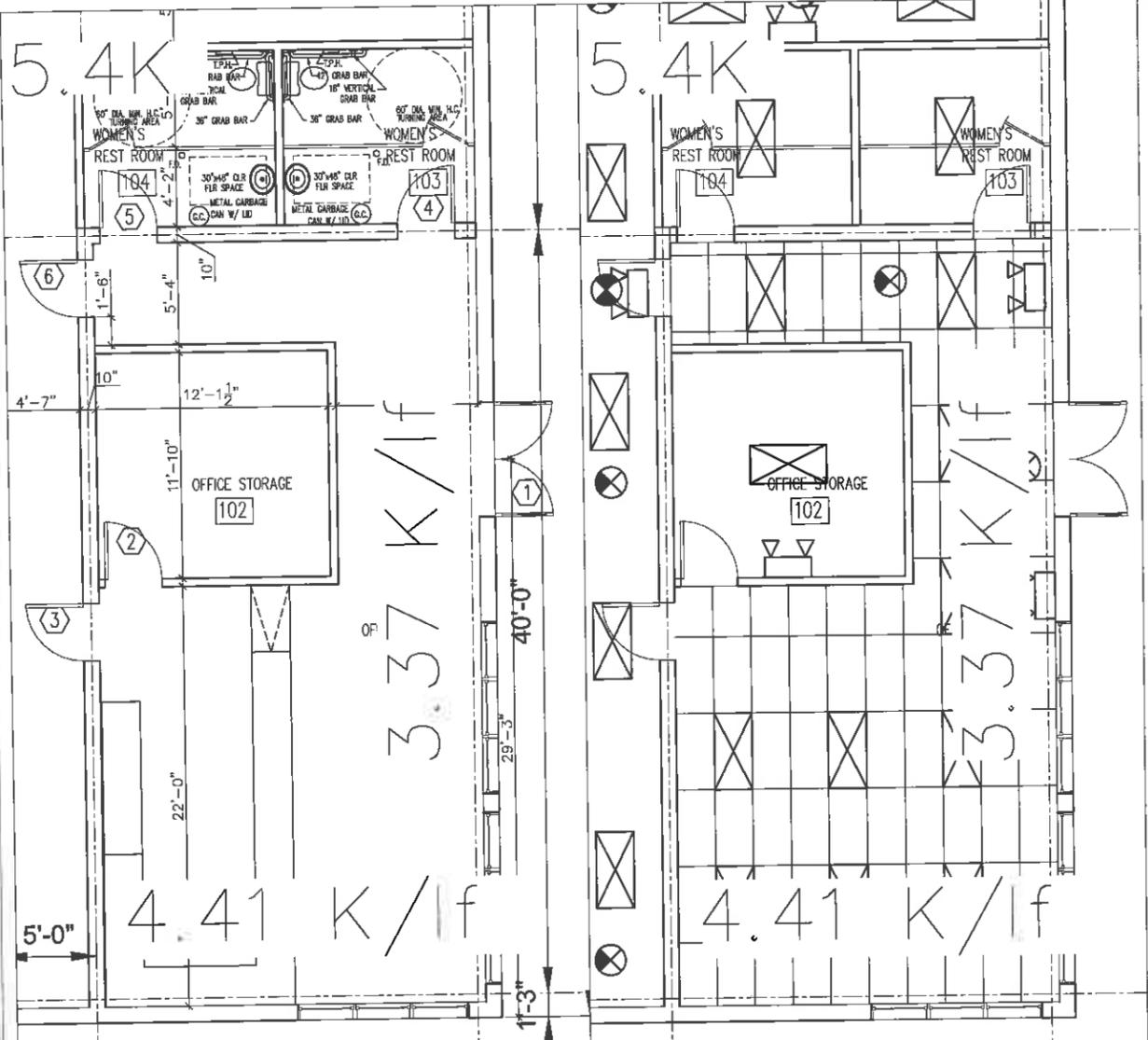
BUILDING SQUARE FOOTAGE	
OFFICE SPACE	1000 SF
MECHANICAL	264 SF
STORAGE UNIT SPACE	54,392.25 SF
TOTAL BUILDING SQUARE FOOTAGE	
	55,656.25 SF
NUMBER OF STORAGE UNITS	
10'x10'	317
5'x5'	59
10'x15'	11
TOTAL NUMBER OF UNITS	
	387

OVERALL FLOOR PLAN

SCALE: 3/32" = 1'-0"



SCALE	AS NOTED	PROJECT NUMBER	14249
REV	0	DATE	10/2015
DESCRIPTION	BUILDING A CONCEPT PLANS		
DRAWN BY:	JRH		

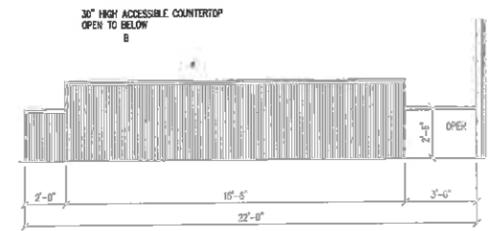


OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0"

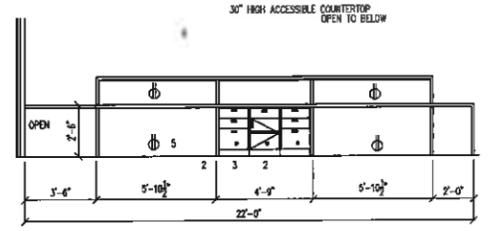
OFFICE REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- OFFICE LEGEND**
- ① LATERAL FILE, 2 DRAWERS 28 1/4" x 12" x 24"D
 - ② FILE & 2 DRAWERS 28 1/4" x 15 1/2" x 22"D
 - ③ DRAWER & 1-DOOR CABINET 28 1/4" x 18" x 22"D
 - ④ 2-DRAWER & 2-DOOR CABINET 28 1/4" x 30" x 22"D
 - ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
 - ⑥ 4" BACKSPLASH
 - ⑦ WALL MTL. PLAMA T.V. 43" HD. PANASONIC TN 43PBDK W/ HEAVY DUTY WALL MOUNTS - PROVIDE POWER SUPPLY IN WALL BEHIND T.V. (REFER TO ELECTRICAL DWGS.)
- ⑧ VINYL BASE
⑨ DISPLAY AREA
⑩ EXIST. STRUCTURE

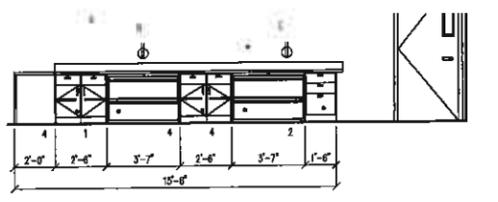
- FINISH LEGEND**
- ① PLASTIC LAMINATE
 - ② SOLID SURFACE COUNTERTOP
 - ③ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE
 - ④ TYP. KICK / DETAIL - BLACK FINISH
 - ⑤ EXISTING CEILING GRID W/ NEW CEILING TILES
 - ⑥ SALVAGED CEILING GRID W/ NEW CEILING TILES
 - ⑦ SIGNAGE - BY OTHERS



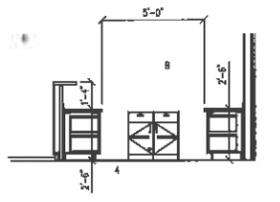
FRONT COUNTER ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



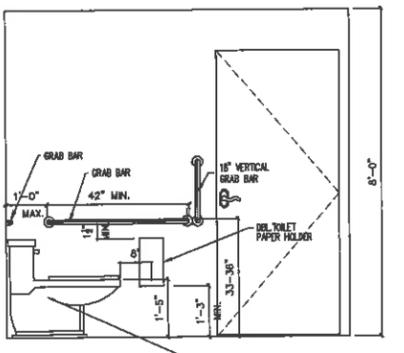
FRONT COUNTER ELEVATION (BACK)
SCALE: 1/4" = 1'-0"



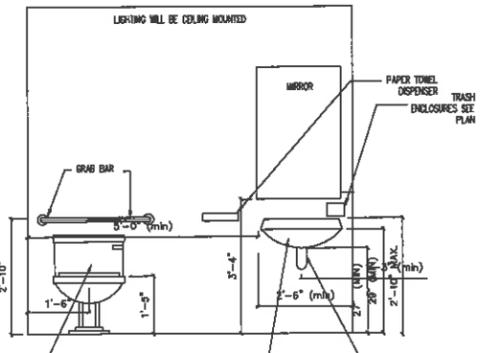
REAR COUNTER
SCALE: 1/4" = 1'-0"



SIDE VIEW
SCALE: 1/4" = 1'-0"



SIDE RESTROOM ELEV.

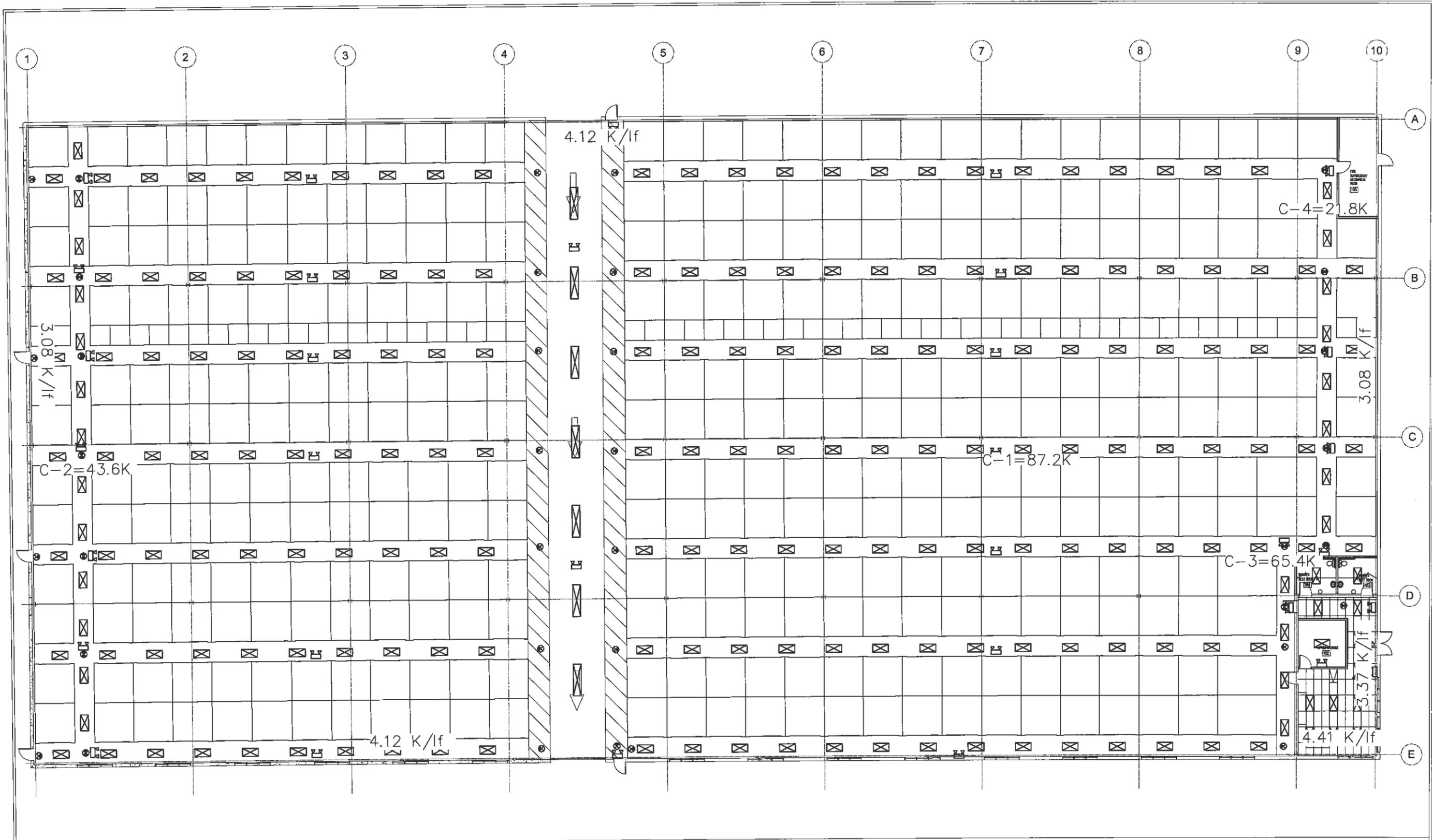


FRONT RESTROOM ELEV.



SCALE	AS NOTED	PROJECT NUMBER
		14249

REV	DATE	DESCRIPTION	DRAWN BY
0	10/6/15	BUILDING A CONCEPT PLANS	JPH



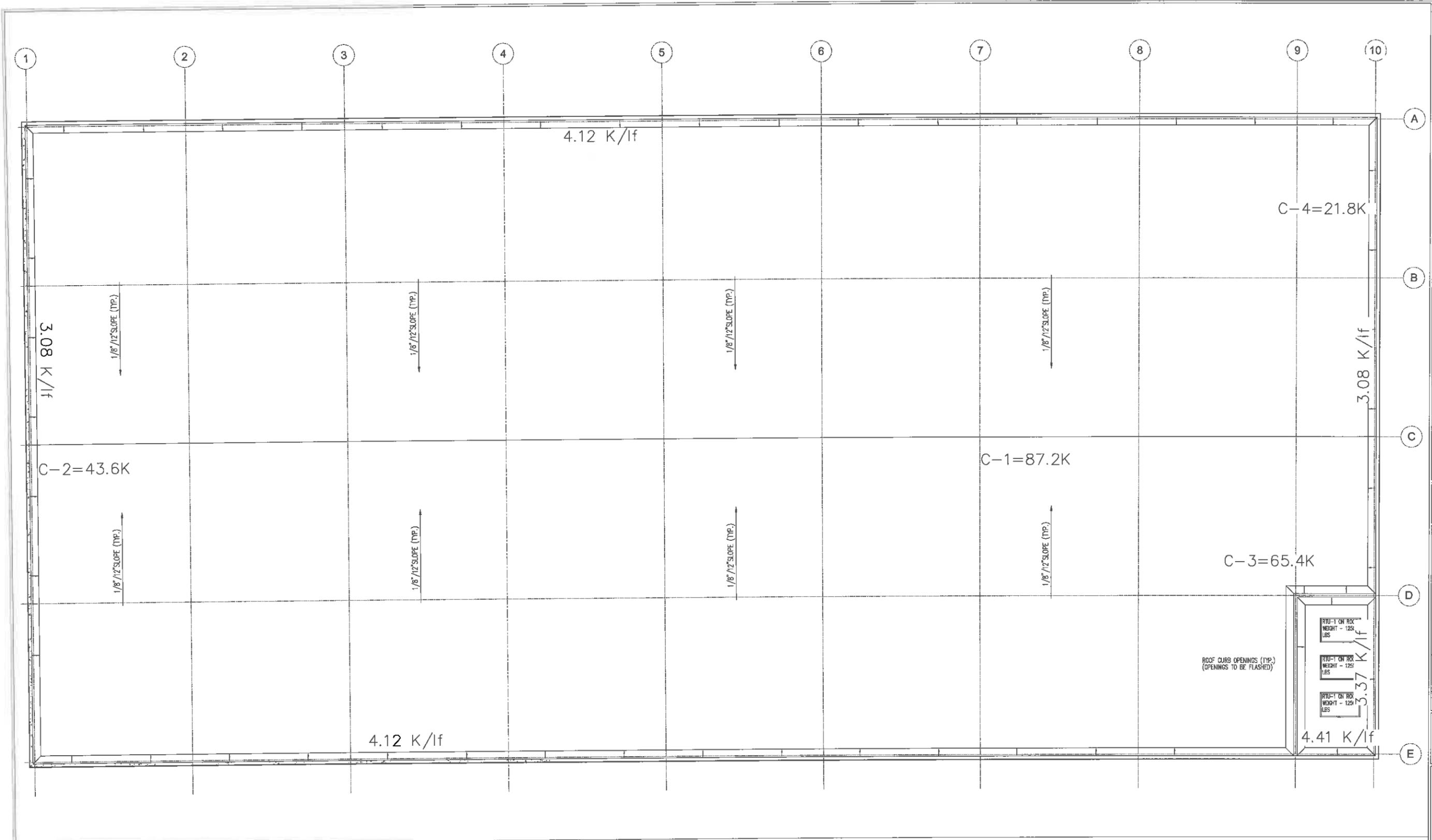
CEILING PLAN
SCALE: 3/32" = 1'-0"

KOZJOL ENGINEERING SERVICES
1627 Ogden Avenue, Lisle, Illinois 60532
PH: (630) 435-8886 F: (630) 435-8883
www.kozjolengineering.com



SCALE	AS NOTED	PROJECT NUMBER	14246
REV	0	DATE	10/6/15
DESCRIPTION	BUILDING CONCEPT PLANS		
DRAWN BY:	JRT		

CEILING PLAN PLAN
7601 Quincy Street, Bldg A
WILLOWBROOK, ILLINOIS

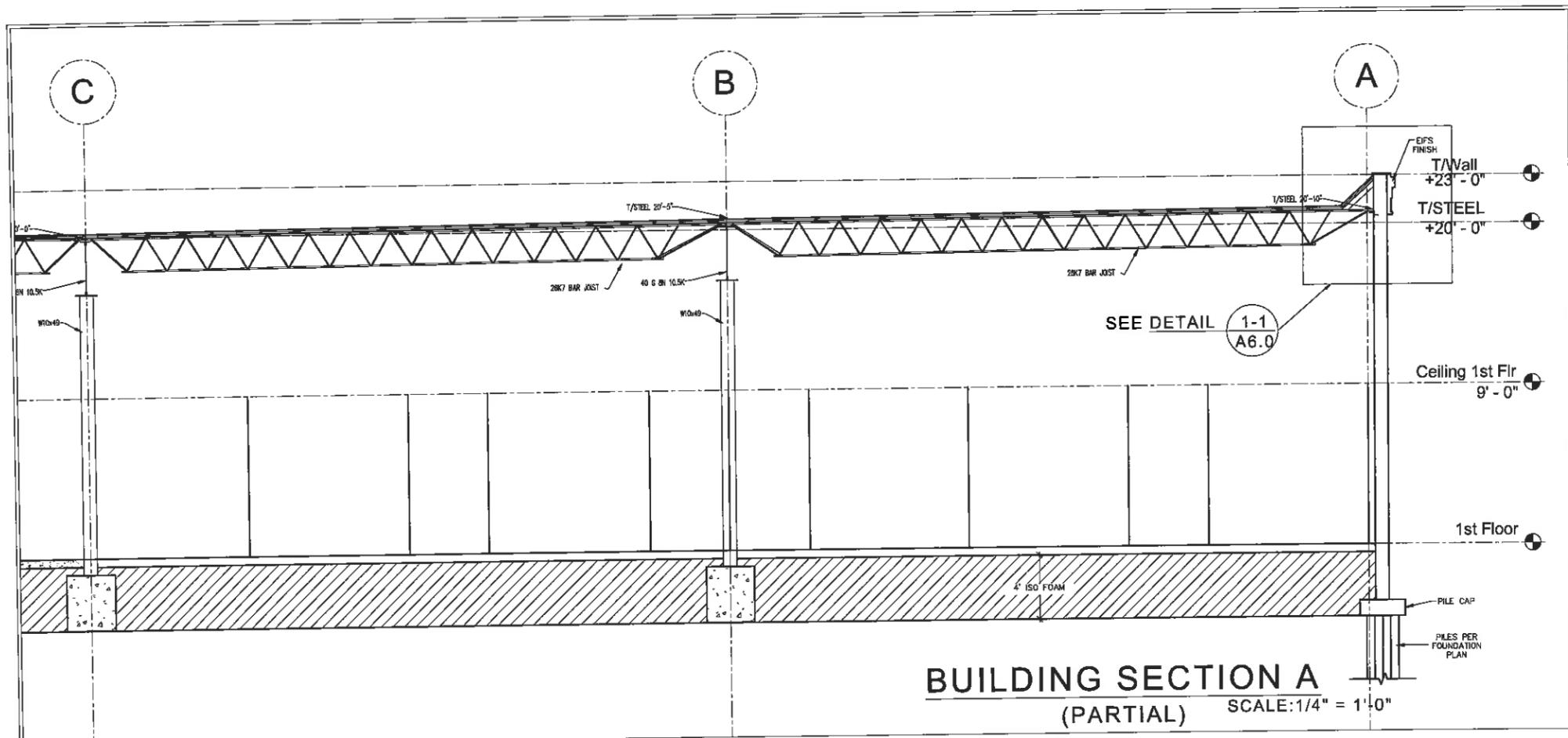


ROOF PLAN
SCALE: 3/32" = 1'-0"

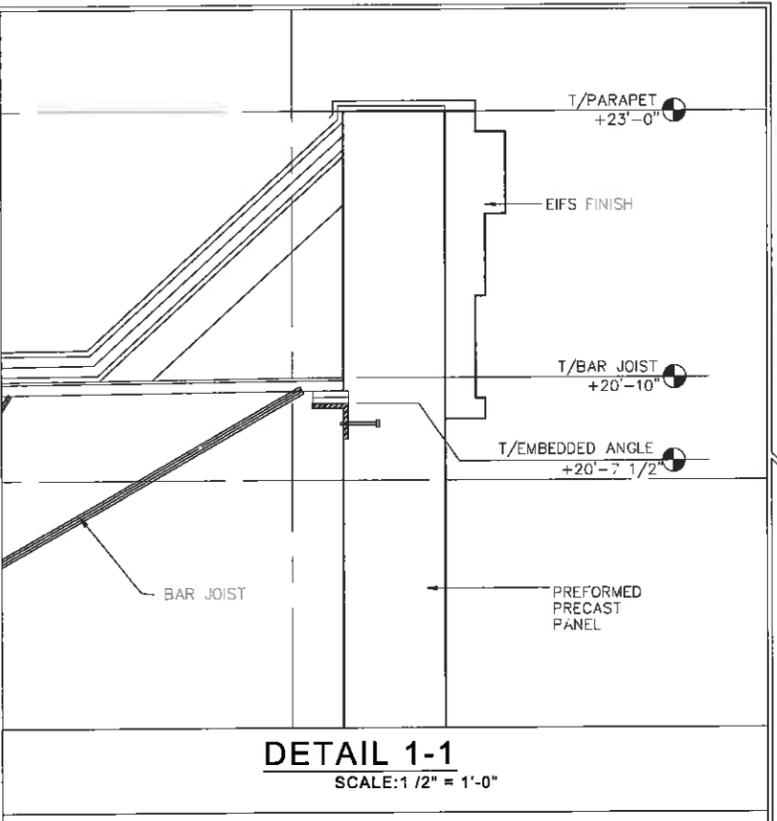


SCALE	AS NOTED	PROJECT NUMBER	14246
REV	DATE	DESCRIPTION	DRAWN BY
0	10/21/15	BUILDING & CONCEPT PLANS	JRH

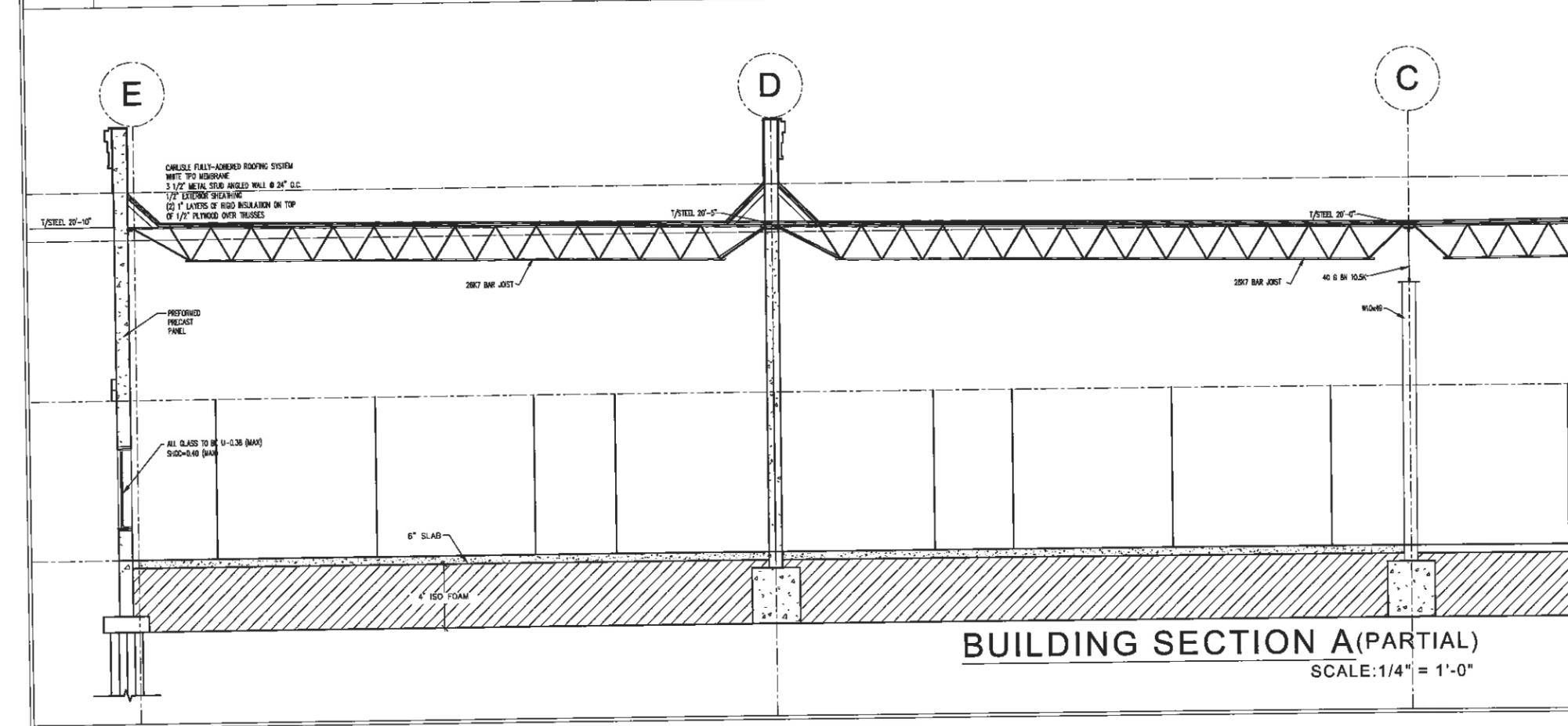
ROOF PLAN	7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS
-----------	---



BUILDING SECTION A
(PARTIAL) SCALE: 1/4" = 1'-0"



DETAIL 1-1
SCALE: 1/2" = 1'-0"



BUILDING SECTION A(PARTIAL)
SCALE: 1/4" = 1'-0"



SCALE AS NOTED	PROJECT NUMBER 1498
REV 0	DATE 10/15/15
DESCRIPTION BUILDING CONCEPT PLANS	DRAWN BY JRH
BUILDING CROSS SECTION 7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	

NOTE: ALL FINISH COLORS, TILE AND CARPET GRADES BY OWNER.

ROOM FINISH KEY

FLOORS		BASES		WALLS		CEILING	
KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION
F-1	CONCRETE-SLAED AND PAINTED	B-1	CERAMIC CODED BASE	W-1	CONCRETE BLOCK - PAINTED	C-1	EXPOSED CONSTRUCTION
F-2	VINYL COMPOSITION TILE	B-2	4" VINYL CORE	W-2	GYPSUM BOARD - PAINTED	C-1	GYPSUM BOARD - PAINTED
F-3	CERAMIC TILE, NON-SLIPPERY	B-3	RUBBER STRAIGHT	W-3	WALL COVERING - STAINLESS STEEL	C-3	2x4 ACUSTIC TILE
F-4	HARDWOOD	B-4	WOOD (3/4")	W-4	WOOD PAINTING	C-4	2x4 ACUSTIC TILE AND GRID SYSTEM
F-5	CARPET			W-5	CERAMIC TILE - FULL HEIGHT	C-5	STAINLESS STEEL
				W-6	GLASS AND GYPSUM BOARD	C-6	VINYL CLAD WASHABLE 2x4 CEILING TILE
				W-7	GYPSUM BOARD - FRP COVERED		

DOOR SCHEDULE

DOOR NO.	QTY.	DOORS				FRAMES				HUR.	HOW SET	REMARKS			
		WIDTH	HEIGHT	THICK.	MATERIAL	CORE	TYPE	W	H				MATERIAL	HEAD	JAMB
FIRST FLOOR															
01	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A	---	---	METAL	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET & CLOSER
02	2	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A	---	---	METAL	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
03	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A	---	---	METAL	---	---	---	---	INSULATED METAL DOOR W/ PRIVACY LOCK SET & CLOSER
04	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A	---	---	METAL	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
05	2	3'-0"	7'-0"	1-1/2"	STEEL	GLASS	B	---	---	STEEL	---	---	---	---	A.S.A. APPROVED PANIC HORIZONTAL W/ CLOSERS COMMERCIAL LOCK SET 1/4" TEMPERED GLASS

NOTE: OWNER OR CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATIONS FOR DOOR HARDWARE. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PULLING, OR TWISTING OF THE WRIST TO OPERATE. EXCESS DOORS SHALL OPEN REAKLY FROM THE EXCESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

GENERAL NOTES

- THESE NOTES SHALL APPLY WHERE NOT OTHERWISE INDICATED ON DRAWINGS OR IN SPECIFICATIONS.
- A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO ENSURE COMPLIANCE WITH ALL GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS AND EACH TYPE OF WORK REQUIRED.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PRE- PARATION OF THESE DRAWINGS, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND HIS SUBCONTRACTORS ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS, AND BE RESPONSIBLE FOR THE SAME.
- APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. SUBCONTRACTORS SHALL VERIFY, AND ENSURE CONFORMANCE WITH OWNER'S REQUIREMENTS, BUT IN NO CASE SHALL SYSTEMS BE SUBSTANDARD TO REQUIREMENTS OF GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- INTERIOR AND EXTERIOR WALL DIMENSIONS ARE NOMINAL UNLESS OTHERWISE NOTED.
- CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY.
- ALL CONTRACTORS SHALL HAVE A CERTIFICATE OF INSURANCE AND A \$10,000 SURETY BOND. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LICENSE THAT HAS A COMMISSION AND SUES A TEST. THE ROOF CONTRACTOR SHALL HAVE A STATE LICENSE. THE PLUMBING CONTRACTOR SHALL HAVE A STATE LICENSE. ALL OTHER CONTRACTORS SHALL SECURE A CONTRACTOR'S LICENSE FROM THE VILLAGE OF JUSTICE, BEFORE THE PERMIT WILL BE ISSUED.

GENERAL EQUIPMENT NOTES:

- WRIST BLADE TYPE HANDLES ARE REQUIRED ON ALL SINKS.
- 2" STAINLESS STEEL SPLASH GUARDS ARE REQUIRED AT ALL HANDSINKS.
- ANY EXISTING AND/OR USED EQUIPMENT INCLUDING SMALLWARE WILL BE NSF APPROVED, CLEAN, OPERABLE, AND SUBJECT TO FINAL APPROVAL BY THE COOK COUNTY HEALTH DEPARTMENT.
- COUNTER TOPS TO BE STAINLESS STEEL OR SOLID SURFACE (NO PLASTIC LAMINATE)
- CABINET SHELVES TO BE STAINLESS STEEL OR WIRE (NO PLASTIC LAMINATE OR WOOD) NSF APPROVED RESTROOM COUNTER TOPS, IF APPLICABLE, TO REFLECT SOLID SURFACE (NO PLASTIC LAMINATE OR CABINETRY)

GENERAL PUBLIC HEALTH NOTES:

- COVERED WASTE CANS ARE REQUIRED IN ALL RESTROOMS.
- TOILETS, URINALS, HAND SINKS, THREE COMPARTMENT SINKS, MOP SINKS, PREP SINKS, AND PERMANENT COUNTERTOPS/CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH SILICONE CAULK SEAL.
- ANTI-SPLASH DEVICES ARE REQ. ON ALL TOILET TANKS, URINALS, AND FANCKETS WITH HOSE CONNECTIONS.
- SOAP AND PAPER TOWELS ARE REQ. AT ALL HAND SINKS.

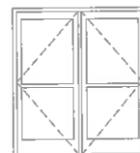
FIRE PROTECTION NOTES

- THE FLAME SPREAD & SMOKE DEVELOPED RATINGS OF ALL INSULATION MATERIALS & INTERIOR FINISHES SHALL CONFORM TO ASTM E84.
- PORTABLE FIRE EXTINGUISHERS FOR THIS BUILD-OUT SHALL BE IN COMPLIANCE WITH SECTION 906 OF THE 2006 INTERNATIONAL FIRE CODE (IFC) AND NFPA 10. PER TABLE 906.3(1) OF THE 2006 IFC, THE MAXIMUM TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET. IN ADDITION, THE PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE AND SHALL NOT BE OBSTRUCTED OR OCCURED FROM VIEW. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL.
- FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM) TO BE DESIGNED BY OTHERS.
- FIRE ALARM AND DETECTION SYSTEM TO BE DESIGNED BY OTHERS.

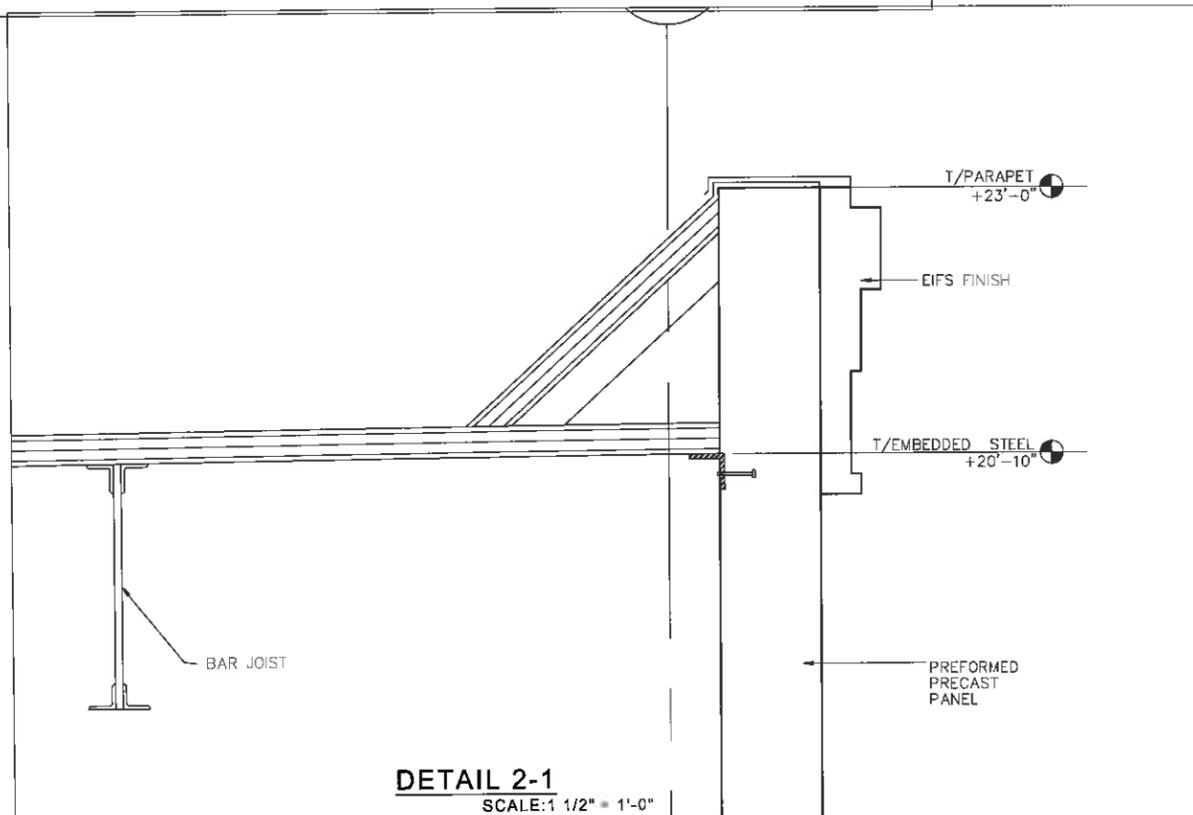
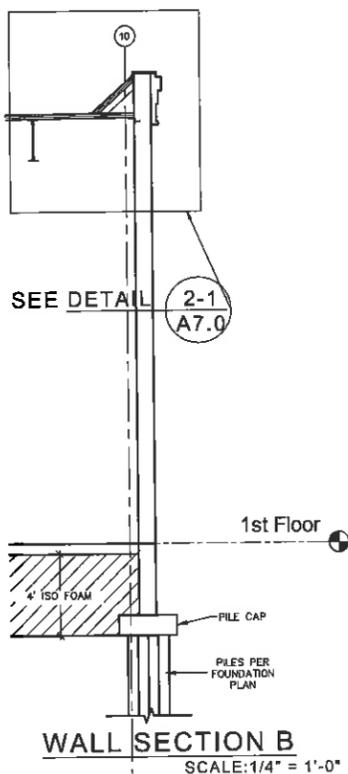
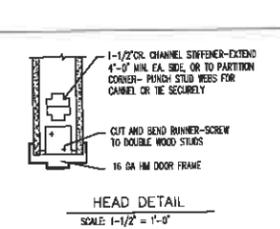
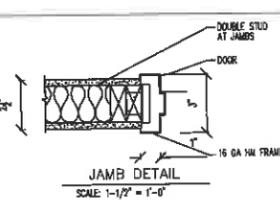
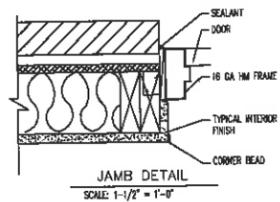
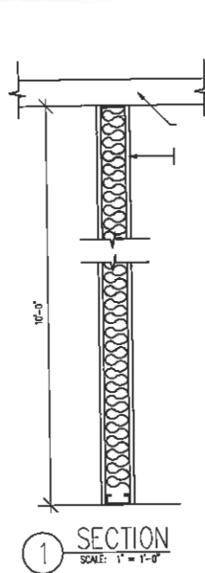
DOOR TYPES:

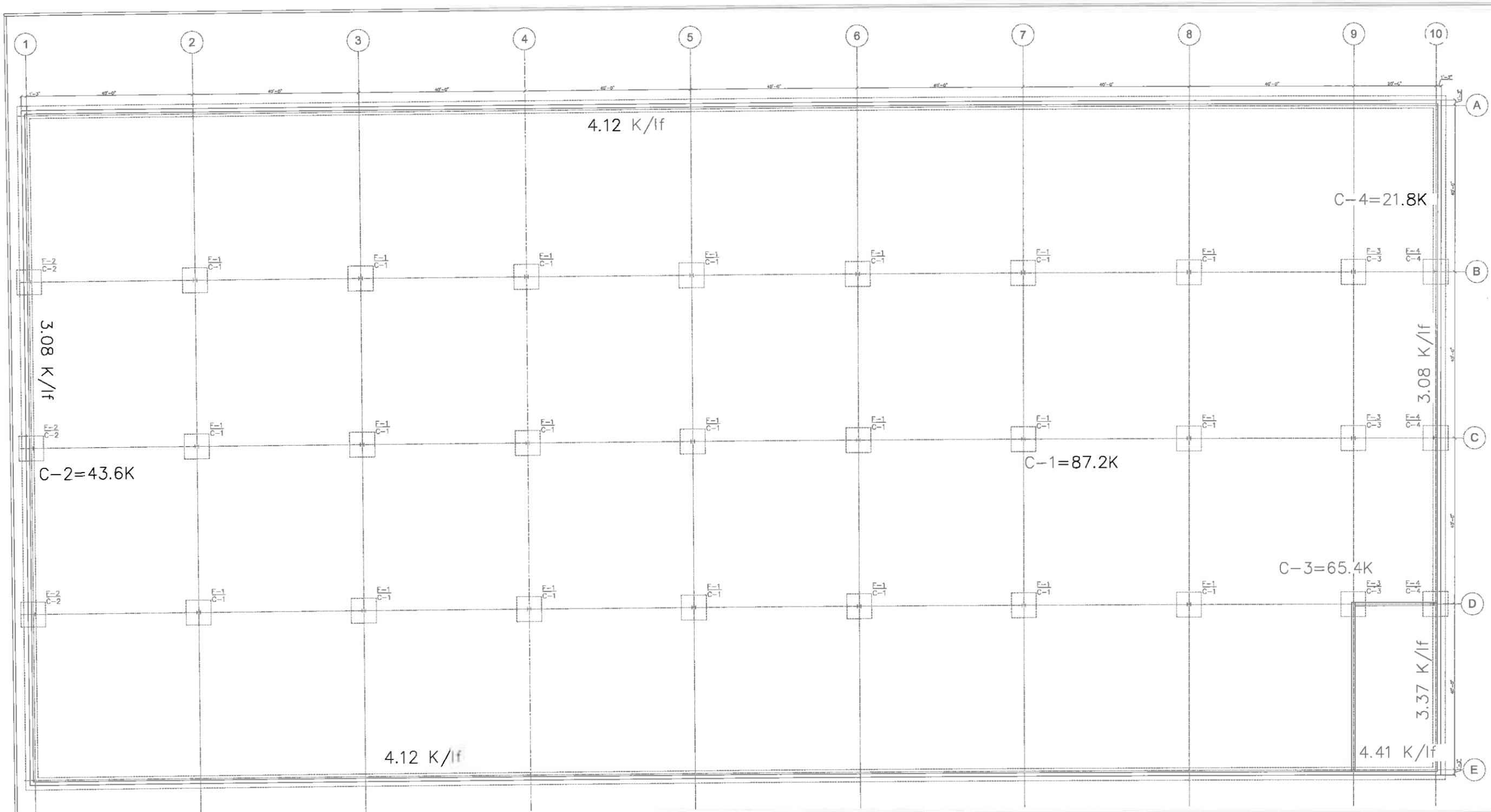


TYPE 'X'
1-3/4" BRSL
YELLOW METAL



- ALL EXTERIOR DOORS TO HAVE APPROVED PANIC HORIZONTALS
- ALL FIRE RATED DOORS TO RECEIVE PANIC HORIZONTAL, MIN. 3 INCHES W/SHOULDER, AUTOMATIC DOOR CLOSER.
- ALL DOORS SWING TO BE FIELD TOWARD PROS TO DESIGN
- ALL DOOR HARDWARE TO BE A.S.A. APPROVED
- THE PROPOSED DOOR OPENING HARDWARE SHALL BE OPERATED BY SINGLE HAND WITH OUT NEARS OF TIGHT GRASPING, LIGHT PULLING OR TWISTING OF THE WRIST.





FOUNDATION PLAN
SCALE: 3/32" = 1'-0"

FOOTING SCHEDULE						
MARK	SIZE	REINFORCING	PIERS	SIZE	BASE PLATE	REMARKS
F-1	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS E22
F-1	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS E22
F-3	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS E22

COLUMN SCHEDULE				
CALL OUT	LENGTH	BASE PLATE	TOP PLATE	TYPE
C-1				
C-2				
C-3				

KOZIOL ENGINEERING SERVICES

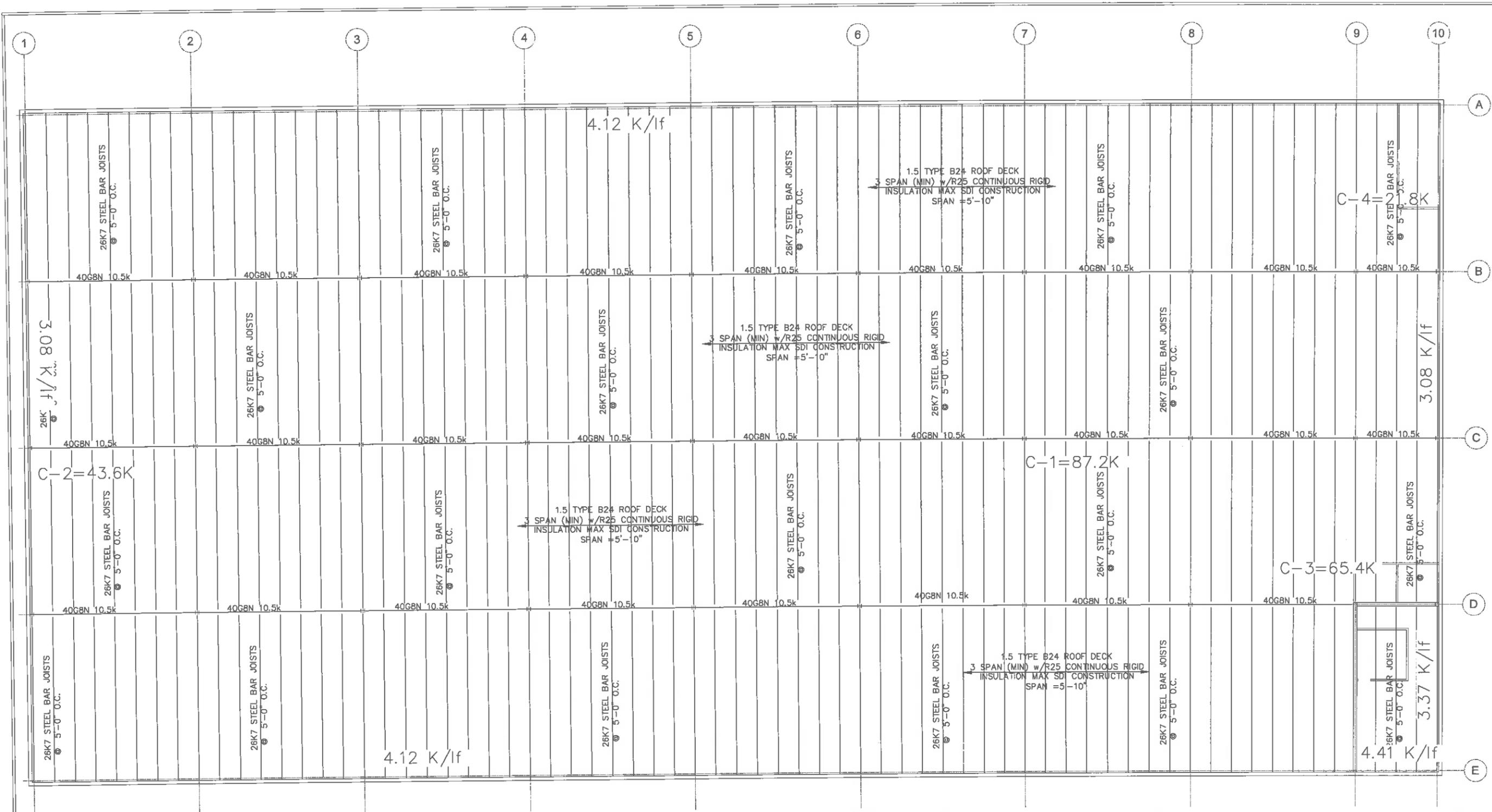
1021 South Avenue, Lake Bluff, IL 60044
 PH: 847.415.2888 F: 847.415.2889

FOUNDATION PLAN
 7601 Quincy Street, Bldg A
 WILLOWBROOK, ILLINOIS

SCALE	3/32" = 1'-0"
DATE	
PROJECT NUMBER	
DESCRIPTION	FOUNDATIONS & CONCRETE FORMS
DESIGNED BY	JHM
DRAWN BY	JHM

REV	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



FRAMING PLAN
SCALE: 3/32" = 1'-0"

KOZJOL ENGINEERING SERVICES
www.kozjolengineering.com
1821 Ogden Avenue, Liba, Illinois 60532
PH: (630) 425-8888 F: (630) 425-8889

SCALE	AS NOTED	PROJECT NUMBER	14249
REV	0	DATE	10/8/15
DESCRIPTION	BUILDING A CONCEPT PLANS		
DRAWN BY	JRF		

FRAMING PLAN
7601 Quincy Street, Bldg A
WILLOWBROOK, ILLINOIS

EXHIBIT 8

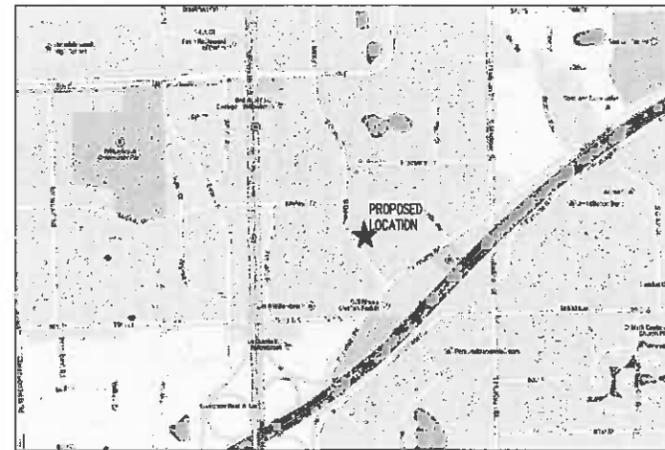
QUINCY STREET STORAGE BUILDING B

7600 QUINCY STREET WILLOWBROOK, ILLINOIS

KOZIOL ENGINEERING SERVICES
PROFESSIONAL ENGINEERS
www.KoziofEngineering.com
1621 Ogden Avenue
Lisle, Illinois 60532
PH: (630) 435-8688 F: (630) 435-8689



LOCATION MAP:



QUINCY STREET STORAGE
7600 QUINCY STREET
WILLOWBROOK, IL

PROJECT DIRECTORY:

OWNER:

ARCHITECT:
KOZIOL AND BROWN
ARCHITECTS AND ENGINEERS
1621 OGDEN AVENUE
LISLE, IL 60532
630/435-8688
DESIGN FIRM #184-003978

ENGINEER:

KOZIOL ENGINEERING SERVICES
1621 OGDEN AVENUE
LISLE, IL 60532
630/435-8688
DESIGN FIRM #184-000988

VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT
24401 LOCKPORT ST
PLAINFIELD, IL 60544
815/439-2937

SHEET INDEX:

ARCHITECTURAL

A0 COVER PAGE
A1.0 FRONT AND REAR ELEVATIONS
A2.0 LEFT AND RIGHT ELEVATIONS
A3.0 FLOOR PLAN
A4.0 BUILDING SECTION

STRUCTURAL

S1.0 FOUNDATION PLAN
S2.0 FRAMING PLAN
S3.0 FRAMING DETAILS

PROJECT INFORMATION

PROJECT ADDRESS: 7600 QUINCY STREET
WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)
ONE-STORY
SPRINKLERED

CONSTRUCTION TYPE: II-B

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

LOADS:

FIRST FLOOR LOADS:
DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)
DEAD 10 PSF (PARTITIONS/ FINISHES)
LIVE 100 PSF

ROOF LOADS:
DEAD 25 PSF (10 PSF ROOF)
(10 PSF BOTTOM CHORD-MECH)
(5 PSF TRUSS)

LIVE:
ROOF: 30 PSF
SNOW (Pg): 25 PSF
Ce= 0.90
Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,
EXPOSURE B

LIVE:
WIND: 25 PSF
Iw= 1.00

CONSTRUCTION:
DEAD 15 PSF
LIVE 20 PSF
WIND 8.4 PSF 1 YEAR DURATION

SEISMIC DATA:
IMPORTANCE FACTOR 1.0
OCCUPANCY CATEGORY II
Ss 0.16
S1 0.05
SITE CLASS D
Sds 0.17
Sd1 0.08
SEISMIC DESIGN CATEGORY B

VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

2009 EDITION OF THE INTERNATIONAL BUILDING CODE
2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE
2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE
2009 EDITION OF THE INTERNATIONAL PLUMBING CODE
2004 ILLINOIS STATE PLUMBING CODE
2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE
ILLINOIS ENERGY CONSERVATION CODE
2009 EDITION OF THE INTERNATIONAL FIRE CODE
2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE
1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

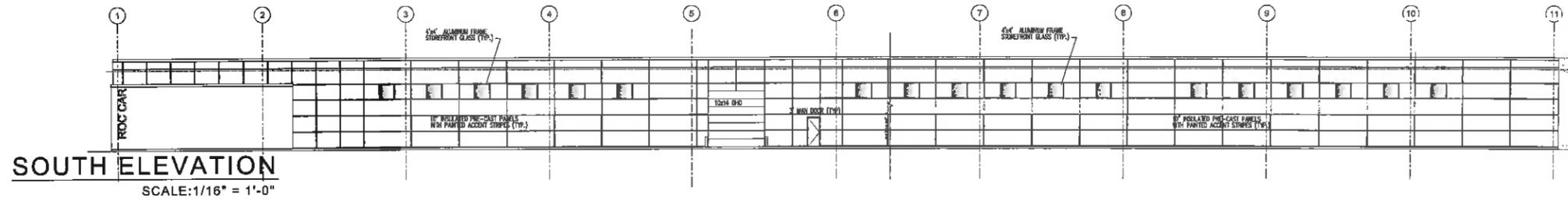
I HEREBY CERTIFY THAT APPLICABLE SECTIONS
OF THESE PLANS WERE PREPARED UNDER ME
OR UNDER MY SUPERVISION AND TO THE BEST
OF MY KNOWLEDGE COMPLIES WITH ALL
APPLICABLE CODES.

JAMES E. KOZIOL, P.E. EXP 11-30-15
PAGES M1.0 THROUGH E2.0

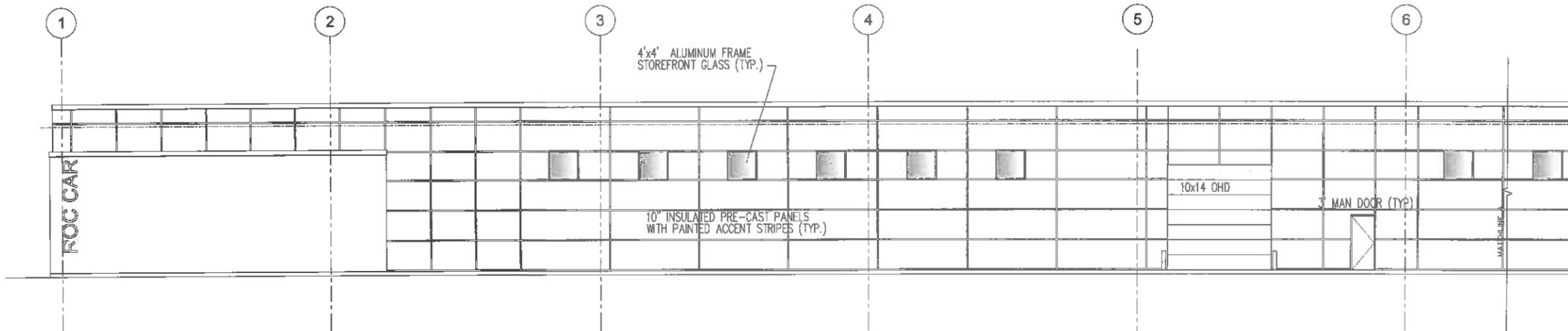
I HEREBY CERTIFY THAT APPLICABLE SECTIONS
OF THESE PLANS WERE PREPARED UNDER ME
OR UNDER MY SUPERVISION AND TO THE BEST
OF MY KNOWLEDGE COMPLIES WITH ALL
APPLICABLE CODES.

PHYLLIS G. BROWN, REGISTERED ARCHITECT
EXP 11/30/16
PAGES A1.0 THROUGH

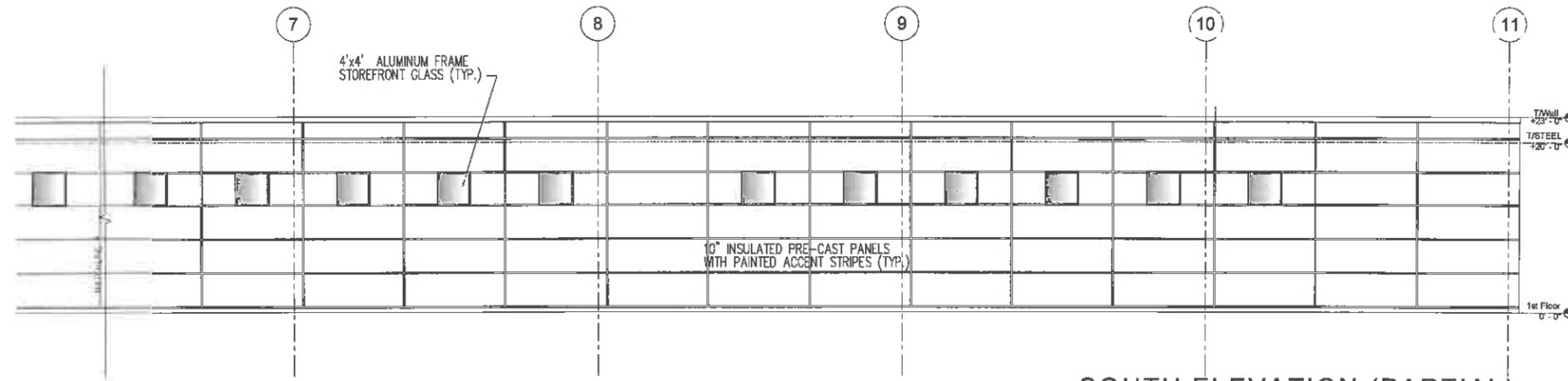
SCALE	AS NOTED	PROJECT NUMBER	10269
REV	0	DATE	10/8/16
DESCRIPTION	BUILDING B CONCEPT PLANS		
DRAWN BY:	JRH		
COVER SHEET			
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS			



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION (PARTIAL)
SCALE: 1/8" = 1'-0"

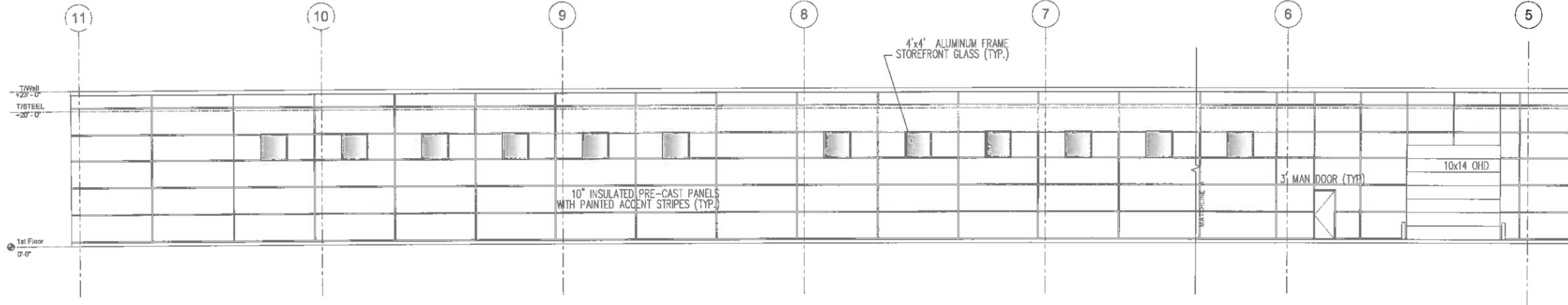
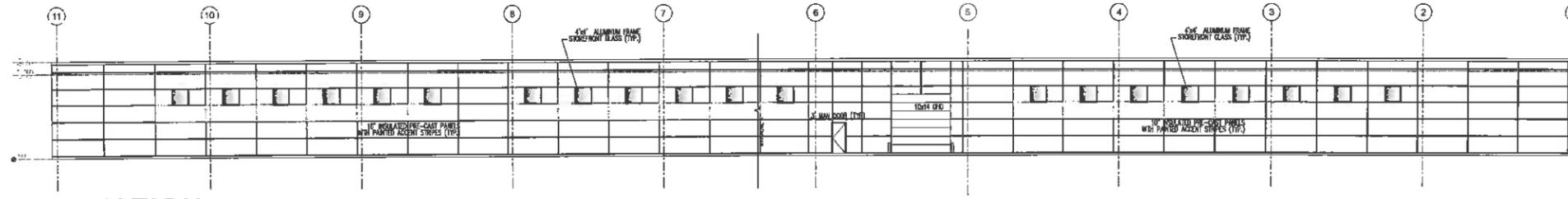


SOUTH ELEVATION (PARTIAL)
SCALE: 1/8" = 1'-0"

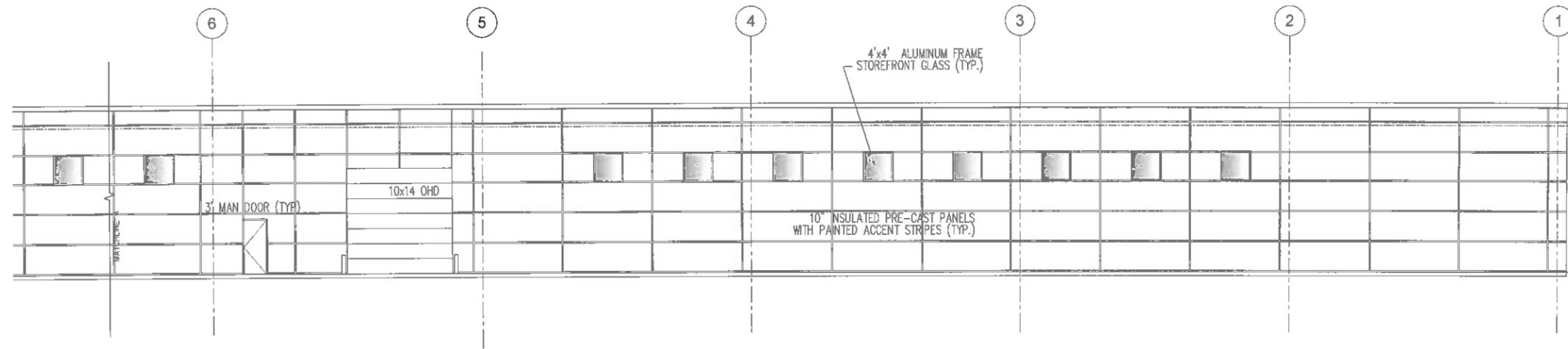


SOUTH ELEVATION	SCALE	AS NOTED	PROJECT NUMBER	14249
	REV	0	DATE	10/6/15
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS	DESCRIPTION	BUILDING B CONCEPT PLANS		
Page	A1.0			

NORTH ELEVATION
SCALE: 1/16" = 1'-0"



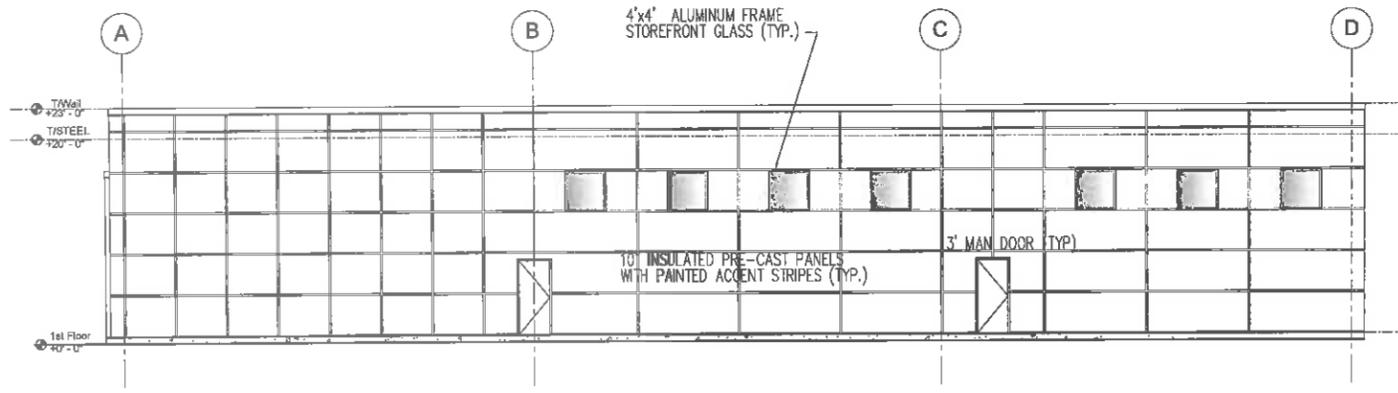
NORTH ELEVATION (PARTIAL)
SCALE: 1/8" = 1'-0"



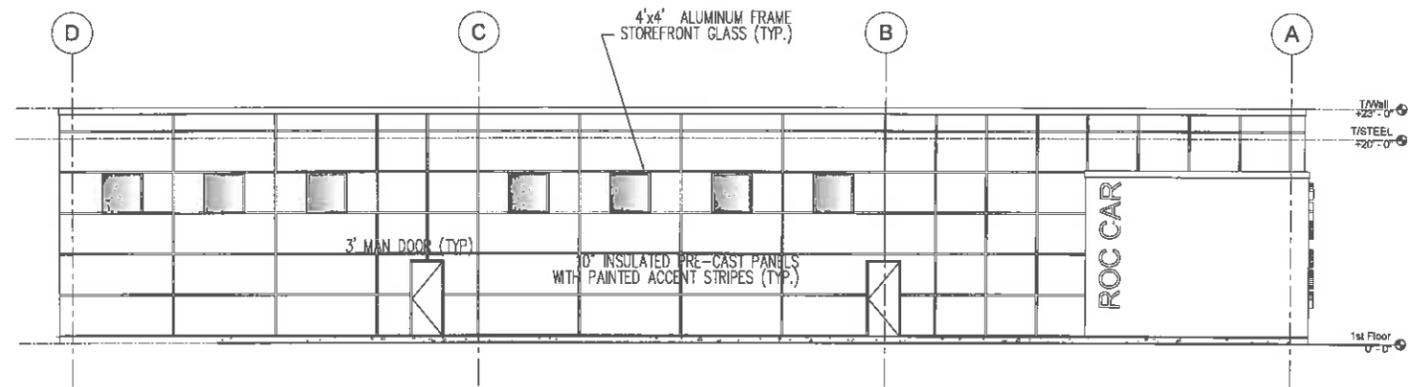
NORTH ELEVATION (PARTIAL)
SCALE: 1/8" = 1'-0"



ELEVATION NORTH	SCALE	AS NOTED	PROJECT NUMBER	14249
	DATE	10/9/16	DESCRIPTION	BUILDING CONCEPT PLANS
REV	0	DATE	10/9/16	DESCRIPTION
DRAWN BY:	JRH			
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS				
Page	A-1			



EAST ELEVATION
SCALE: 1/8" = 1'-0"

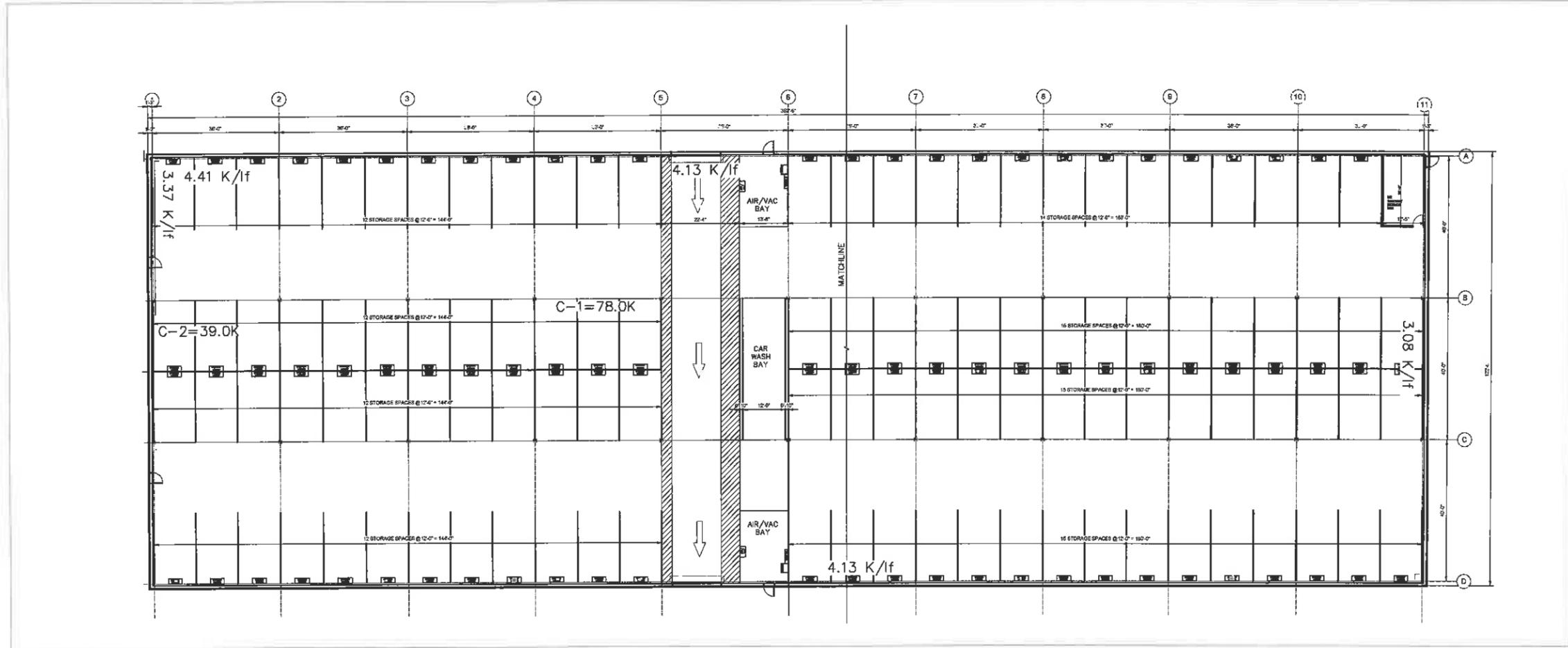


WEST ELEVATION
SCALE: 1/8" = 1'-0"

KOZIOL ENGINEERING SERVICES
PROFESSIONAL ENGINEERS
www.kozioleengineering.com
1621 Ogden Avenue
Lisle, Illinois 60532
PH: (630) 955-8888 F: (630) 434-8888



ELEVATIONS EAST & WEST	SCALE	DATE	DESCRIPTION	DRAWN BY:
	AS NOTED	08/15	BUILDING & CONCEPT PLANS	JFH
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS	REV	0		
	PROJECT NUMBER	14249		
Page	24 of 24			



BUILDING SQUARE FOOTAGE

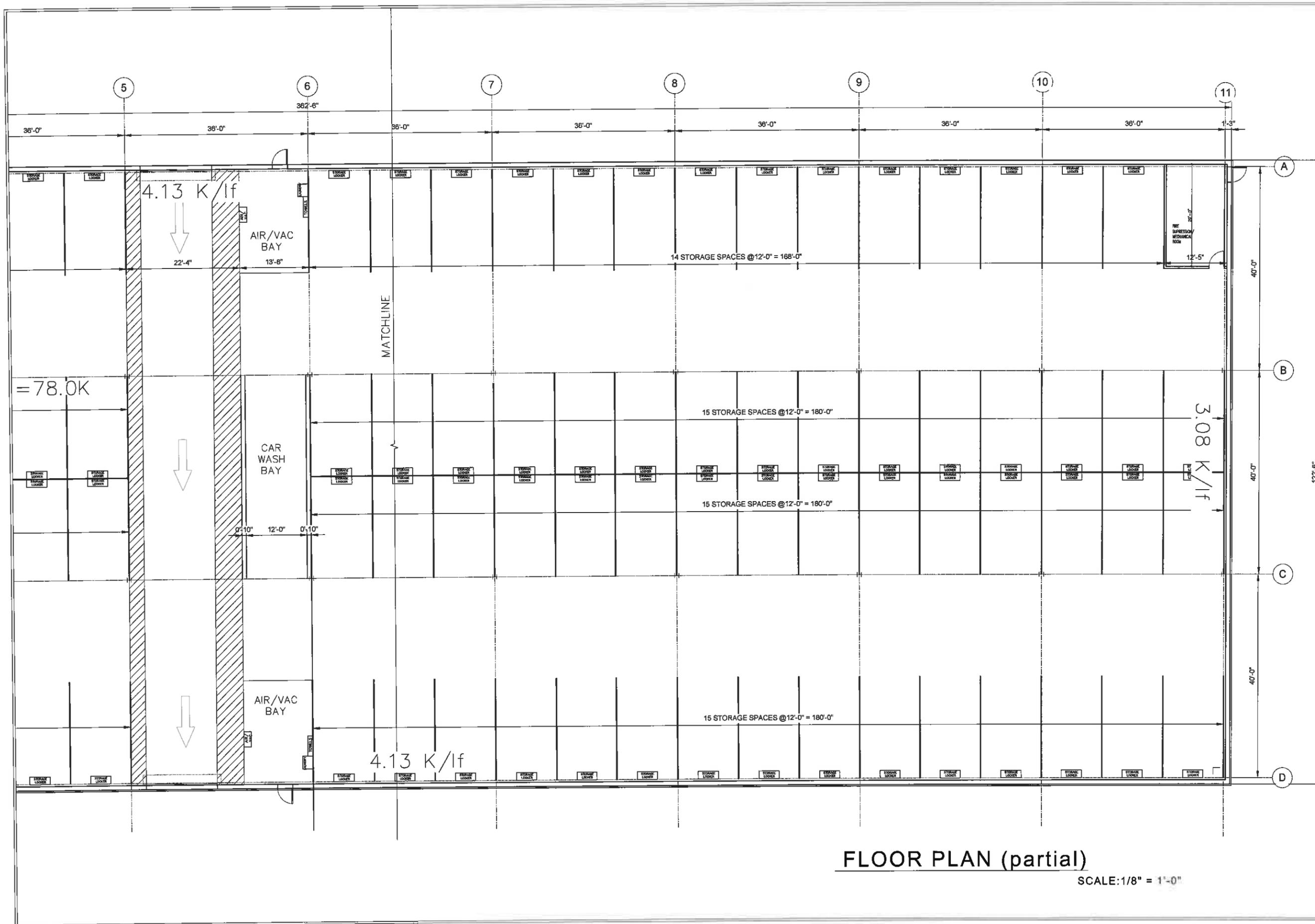
TOTAL BUILDING SQUARE FOOTAGE	44,406.25 SF
NUMBER OF STORAGE UNITS 12'x18'	108
TOTAL NUMBER OF UNITS	108

OVERALL FLOOR PLAN

SCALE: 3/32" = 1'-0"



SCALE	AS NOTED	PROJECT NUMBER	1410
REP.	II		
DATE	08/11		
DESCRIPTION	SUBMITTAL (CONCEPT PLAN)		
DRAWN BY	PPI		
PROPOSED FLOOR PLAN			
7601 Quincy Street, BLDG B			
WILLOWBROOK, ILLINOIS			



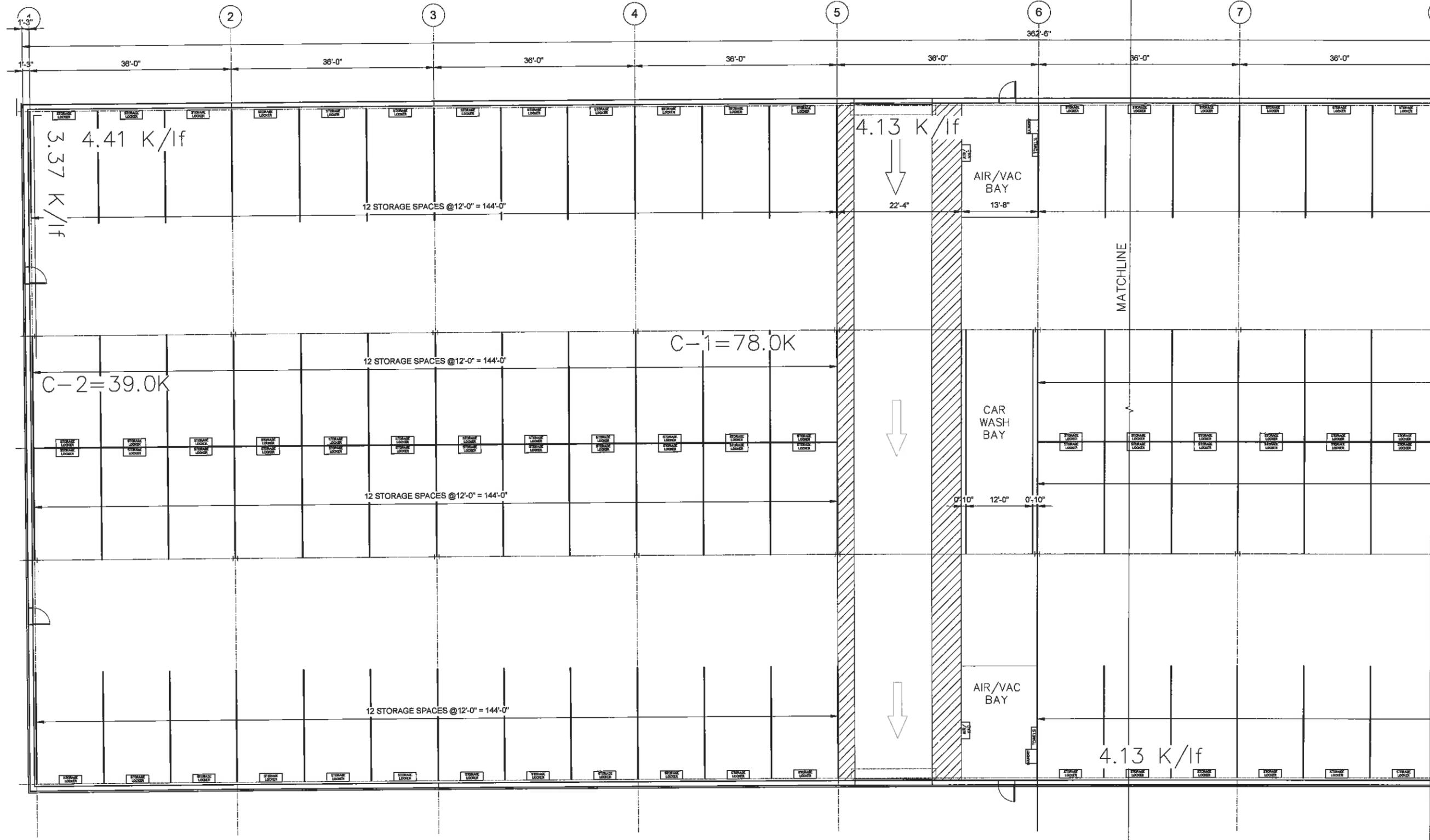
FLOOR PLAN (partial)

SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION	BY	CHKD
1	11/15/15	BUILDING CONCEPT PLANS	PH	
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PROPOSED FLOOR PLAN
 7601 Quincy Street, BLDG B
 WILLOWBROOK, ILLINOIS

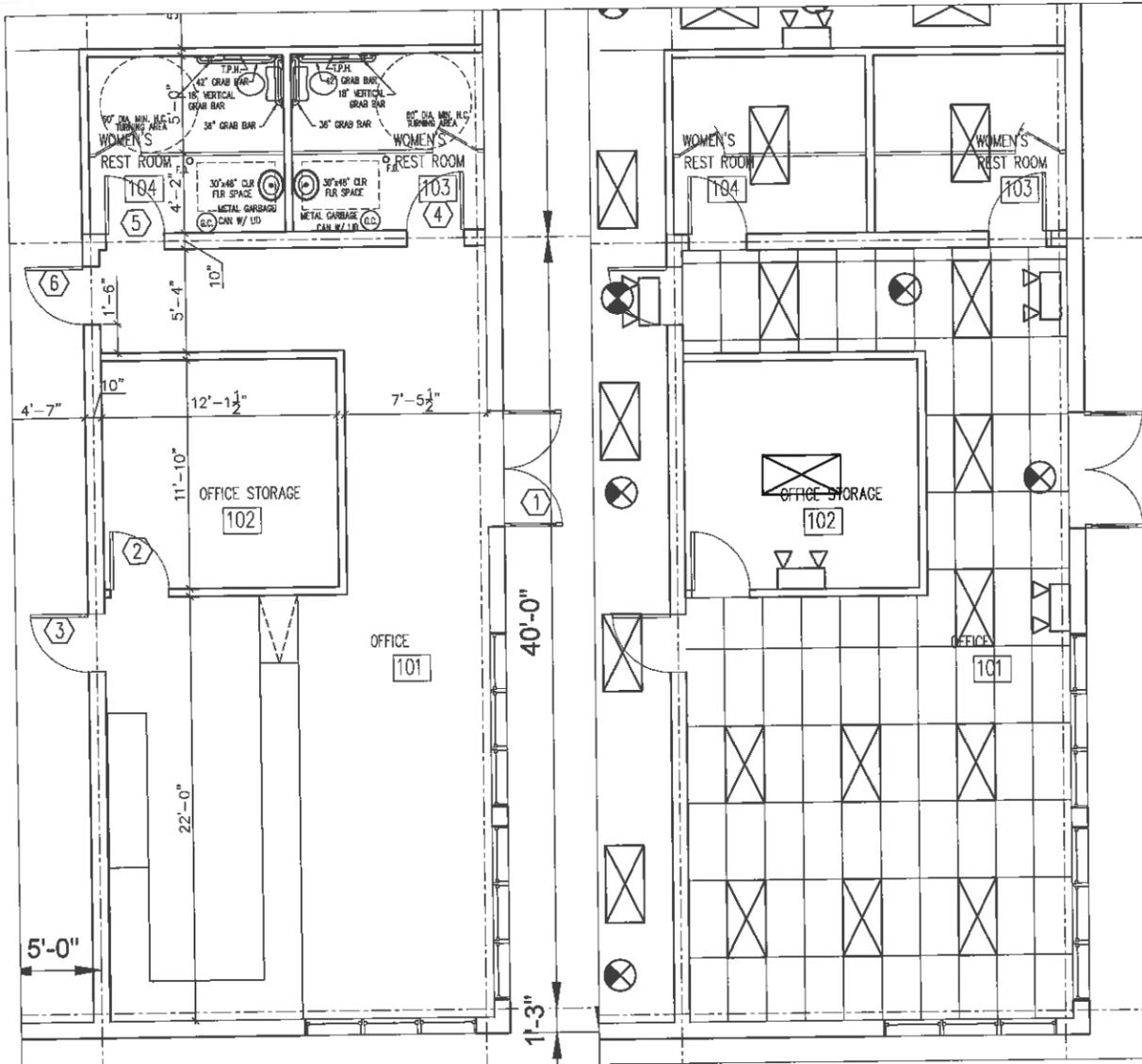


FLOOR PLAN (partial)

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN	SCALE	AS NOTED	PROJECT NUMBER	1428
DESCRIPTION	DATE	REV	DATE	DESCRIPTION
BUILDING & CONCEPT PLANS	10/8/15	0		BUILDING & CONCEPT PLANS
DRAWN BY:	JRH			

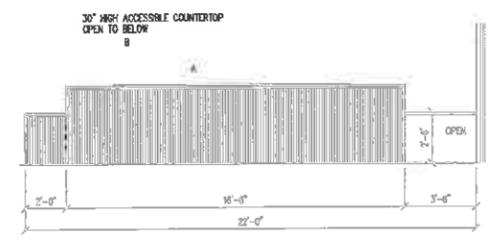


OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0"

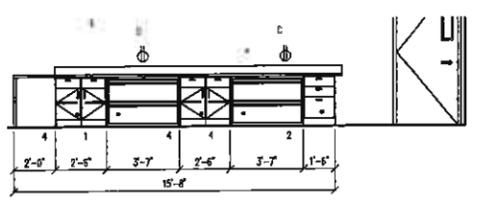
OFFICE REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

- OFFICE LEGEND**
- ① LATERAL FILE, 2 DRAWERS 26 1/4" x 16 1/2" x 22"D
 - ② FILE & 2 DRAWERS 26 1/4" x 18 1/2" x 22"D
 - ③ DRAWER & 1-DOOR CABINET 26 1/4" x 18" x 22"D
 - ④ 2-DRAWER & 2-DOOR CABINET 26 1/4" x 30" x 22"D
 - ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
 - ⑥ 4" BACKSPLASH
 - ⑦ WALL MTL. PLASMA TV, 42" HD, PANASONIC TR 42PHD80K W/ HEAVY DUTY WALL MOUNTS - PROVIDE POWER SUPPLY IN WALL BEHIND TV. REFER TO ELECTRICAL DWGS.
 - ⑧ VINYL BASE
 - ⑨ DISPLAY AREA
 - ⑩ EXIST. STRUCTURE

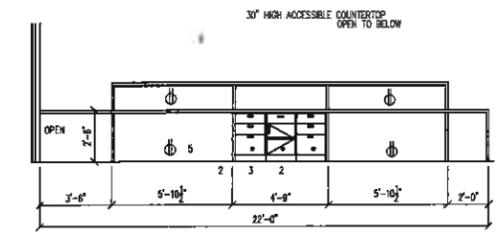
- FINISH LEGEND**
- ① PLASTIC LAMINATE
 - ② SOLID SURFACE COUNTERTOP
 - ③ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE
 - ④ TON KNOX / DETAIL - BLACK FINISH
 - ⑤ EXISTING CEILING GRID W/ NEW CEILING TILES
 - ⑥ SALVAGED CEILING GRID W/ NEW CEILING TILES
 - ⑦ SIGNAGE - BY OTHERS



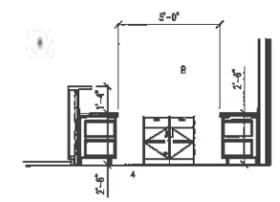
FRONT COUNTER ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



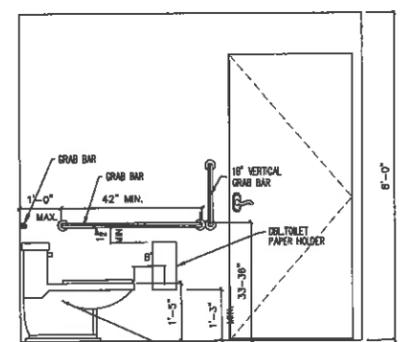
REAR COUNTER
SCALE: 1/4" = 1'-0"



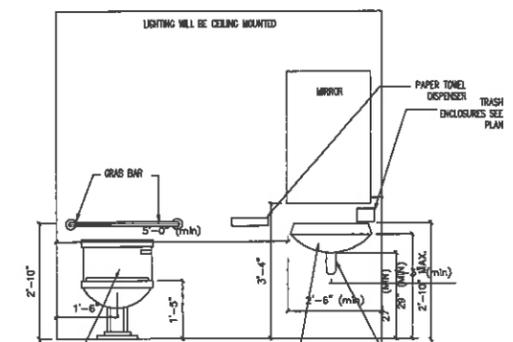
FRONT COUNTER ELEVATION (BACK)
SCALE: 1/4" = 1'-0"



SIDE VIEW
SCALE: 1/4" = 1'-0"



SIDE RESTROOM ELEV.



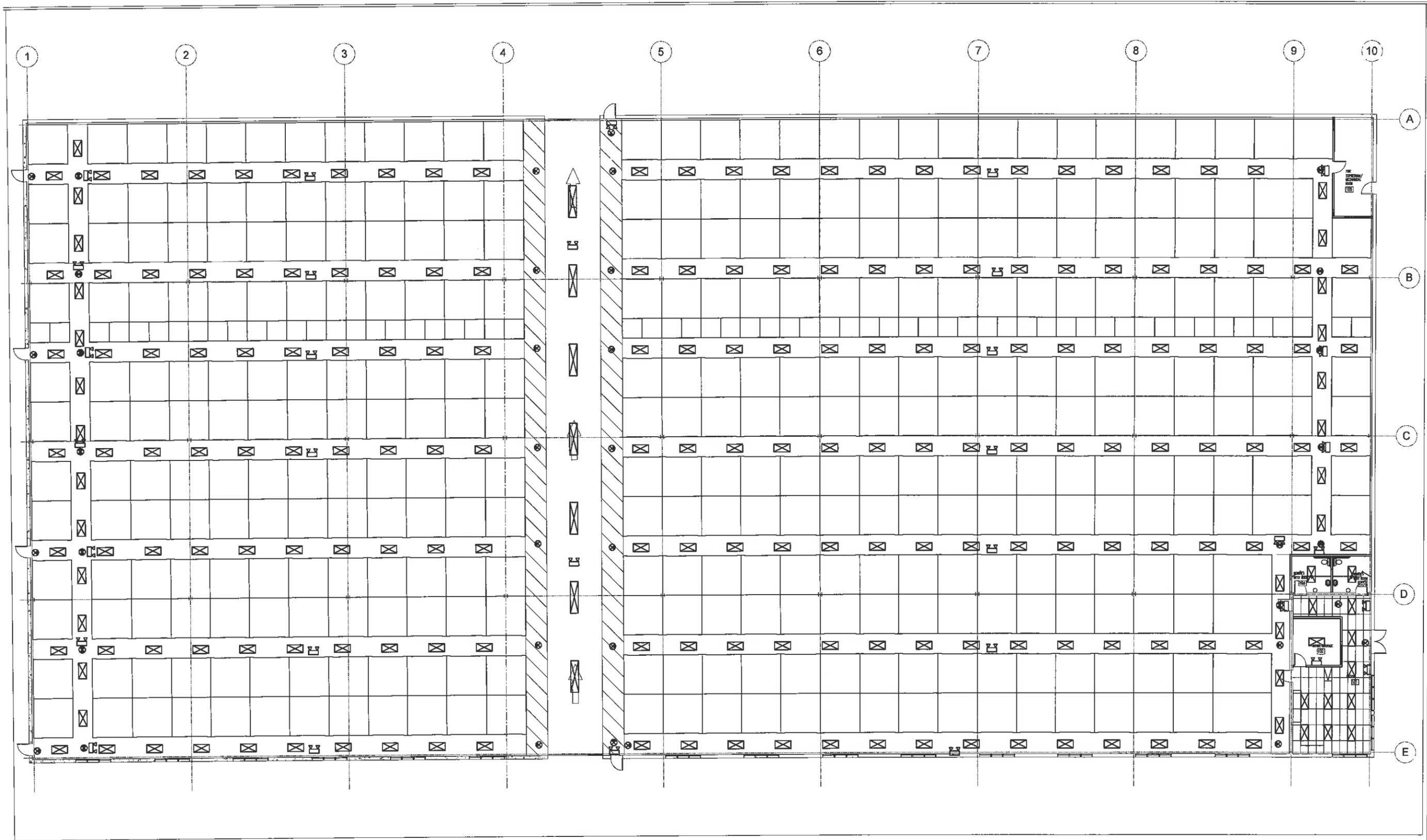
FRONT RESTROOM ELEV.



REV	DATE	DESCRIPTION	DRAWN BY
0	10/01/15	BUILDING & CONCEPT PLANS	JRH

SCALE	AS NOTED
PROJECT NUMBER	14248

OFFICE PLANS	Page 2
7601 Quincy Street, BLDG B	
WILLOWBROOK, ILLINOIS	

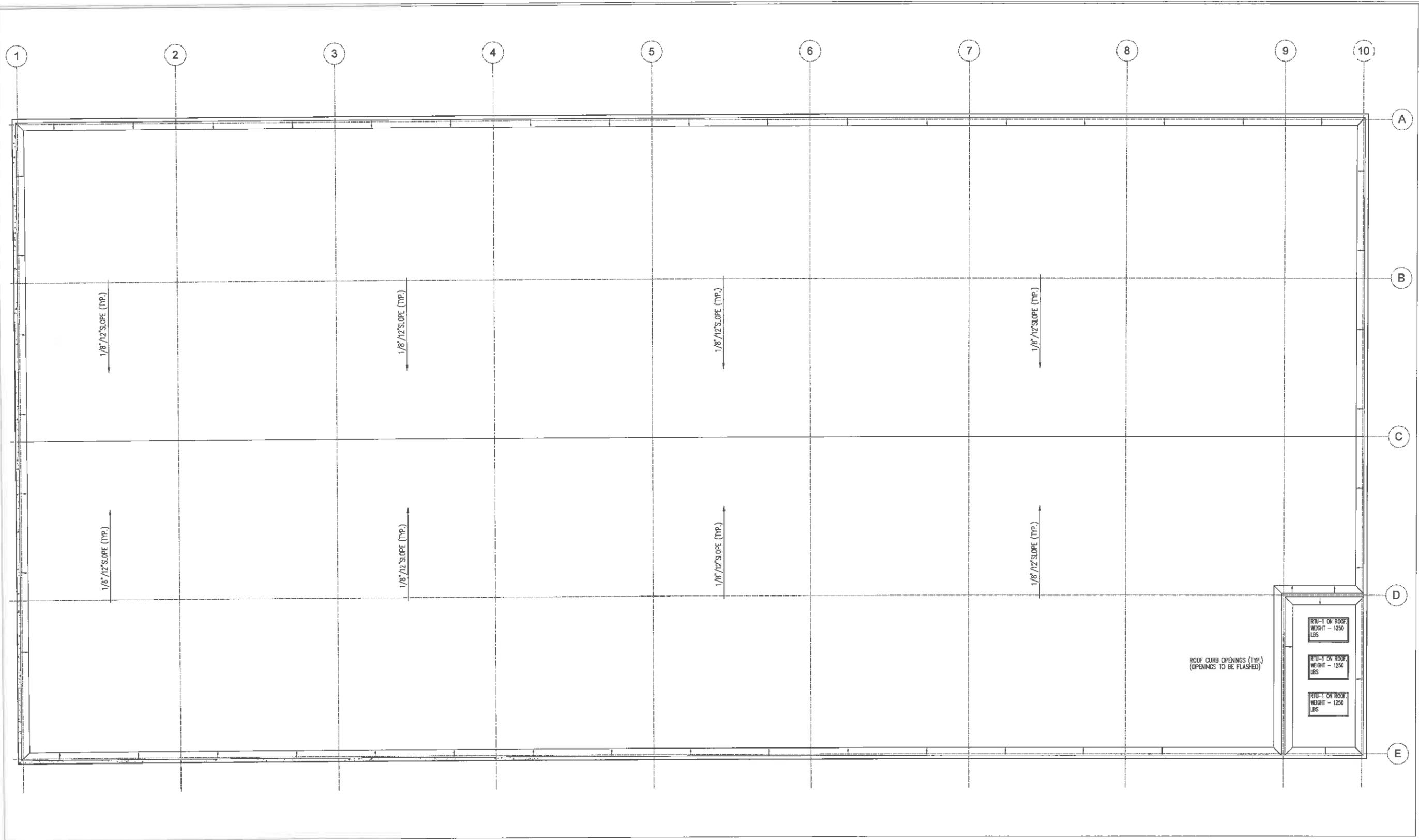


CEILING PLAN
 SCALE: 3/32" = 1'-0"

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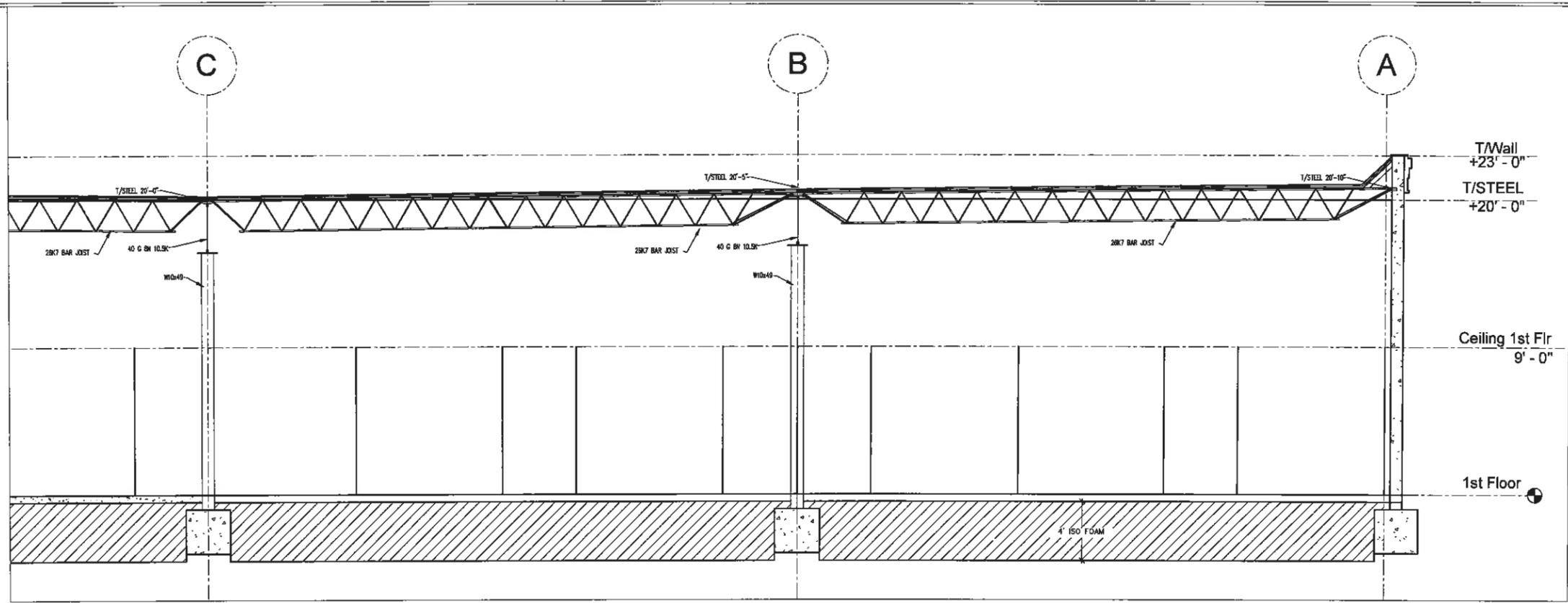
SCALE AS NOTED	PROJECT NUMBER
AS NOTED	10249
REV	DATE
0	10/8/16
DESCRIPTION	DRAWN BY:
BUILDING B CONCEPT PLANS	JPH
CEILING PLAN 7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS	



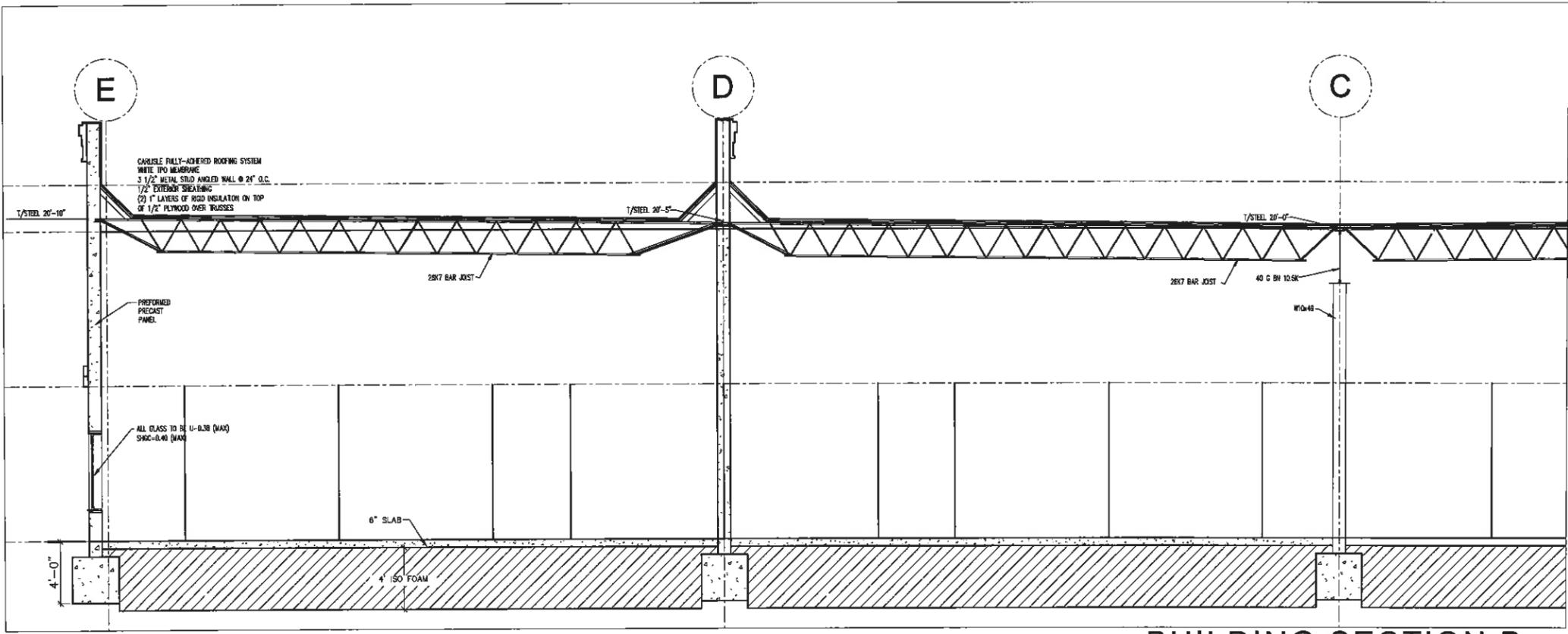
ROOF PLAN
SCALE: 3/32" = 1'-0"

SCALE	AS NOTED	PROJECT NUMBER	16248
REV	0	DATE	10/8/15
DESCRIPTION	BUILDING B CONCEPT PLANS		
DRAWN BY:	JRH		

ROOF PLAN
 7601 Quincy Street, BLDG B
 WILLOWBROOK, ILLINOIS



BUILDING SECTION A
(PARTIAL) SCALE: 1/4" = 1'-0"



BUILDING SECTION B
(PARTIAL) SCALE: 1/4" = 1'-0"

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DRAWN BY: JRH	DESCRIPTION BUILDING B CONCEPT PLANS	DATE 10/20/15
		REV 0
SCALE AS NOTED	PROJECT NUMBER 14298	
BUILDING CROSS SECTION 7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS		Page A6.C



NOTE: ALL FINISH COLORS, TILE AND CARPET GRADES BY OWNER.

FLOORS		BASES		WALLS		CEILING	
KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION
F-1	CONCRETE-SEALED AND PAINTED	B-1	STRACOM COATED BASE	W-1	CONCRETE BLOCK - PAINTED	C-1	EXPOSED CONSTRUCTION
F-2	VINYL COMPOSITION TILE	B-2	4" VINYL CORNER	W-2	GYPSON BOARD - PAINTED	C-2	GYPSON BOARD - PAINTED
F-3	CERAMIC TILE, NON-SLIPPERY	B-3	RUBBER STRAIGHT	W-3	WALL COVERING - STAINLESS STEEL	C-3	2x2' ACOUSTIC TILE
F-4	HARDWOOD	B-4	WOOD (1 1/2")	W-4	WOOD PANELING	C-4	2x4' ACOUSTIC TILE AND GRID SYSTEM
F-5	CARPET			W-5	CERAMIC TILE - FULL HEIGHT	C-5	STAINLESS STEEL
				W-6	GLASS AND GYPSON BOARD	C-6	VINYL GLAD REINFORCED 2x4 CEILING TILE
				W-7	GYPSON BOARD - FRP COVERED		

DOOR NO.	QTY.	DOORS				FRAMES				HOUR	DOOR SET NO.	REMARKS			
		SIZE				MATERIAL									
		WIDTH	HEIGHT	THICK.	TYPE	HEAD	JAMB	SILL	TYPE						
FIRST FLOOR															
01	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A			METAL					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET & CLOSER
02	2	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A			METAL					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
03	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A			METAL					INSULATED METAL DOOR W/ PRIVACY LOCK SET & CLOSER
04	1	3'-0"	7'-0"	1-1/2"	METAL	H.C.	A			METAL					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
05	2	3'-0"	7'-0"	1-1/2"	STEEL	GLASS	B			STEEL					A.D.A. APPROVED PANG HARDWARE W/ CLOSURE'S COMMERCIAL LOCK SET 1/4" TEMPERED GLASS

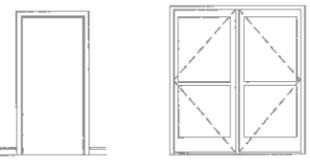
NOTE: OWNER OR CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATIONS FOR DOOR HARDWARE. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TOIT GRASPING, TOIT PUNCHING, OR TWISTING OF THE HANDLE TO OPERATE. EXCESS DOORS SHALL OPEN REARLY FROM THE EXCESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

- GENERAL NOTES:**
1. THESE NOTES SHALL APPLY WHERE NOT OTHERWISE INDICATED ON DRAWINGS OR IN SPECIFICATIONS.
 2. A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.
 3. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO ENSURE COMPLIANCE WITH ALL GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
 4. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS AND EACH TYPE OF WORK REQUIRED.
 5. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PRE- PARATION OF THESE DRAWINGS, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND HIS SUBCONTRACTORS ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS, AND BE RESPONSIBLE FOR THE SAME.
 6. APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. SUBCONTRACTORS SHALL VERIFY, AND ENSURE COMPLIANCE WITH OWNER'S REQUIREMENTS, BUT IN NO CASE SHALL SYSTEMS BE SUBSTANDARD TO REQUIREMENTS OF GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
 7. INTERIOR AND EXTERIOR WALL DIMENSIONS ARE NOMINAL ROUGH TO ROUGH.
 8. CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY.
 9. ALL CONTRACTORS SHALL HAVE A CERTIFICATE OF INSURANCE AND A \$10,000 SURETY BOND. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LICENSE THAT HAS A COMMISSION AND GIVES A TEST. THE ROOF CONTRACTOR SHALL HAVE A STATE LICENSE. THE PLUMBING CONTRACTOR SHALL HAVE A STATE LICENSE. ALL OTHER CONTRACTORS SHALL SECURE A CONTRACTOR'S LICENSE FROM THE VILLAGE OF JUSTICE, BEFORE THE PERMIT WILL BE ISSUED.

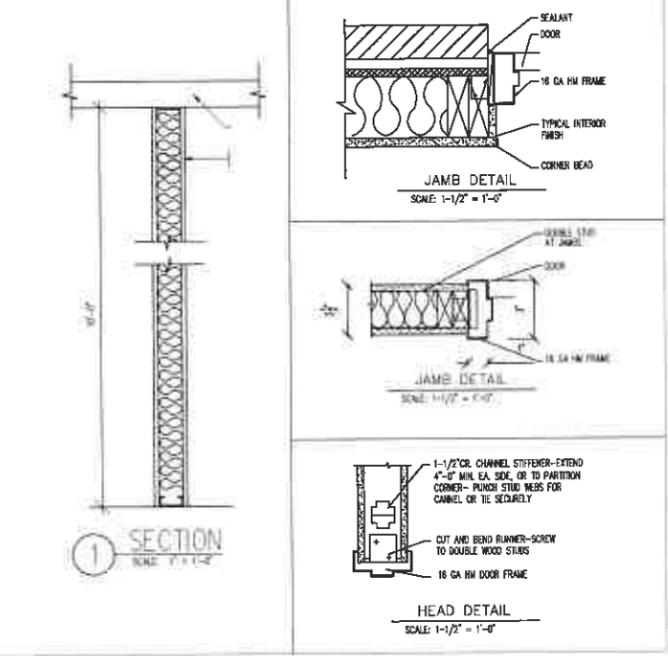
- GENERAL EQUIPMENT NOTES:**
1. MOST BLADE TYPE HANDLES ARE REQUIRED ON ALL SINKS.
 2. 8" STAINLESS STEEL SPLASH GUARDS ARE REQUIRED AT ALL HANDSINKS.
 3. ANY EXISTING AND/OR USED EQUIPMENT INCLUDING SMALLWARE WILL BE NSF APPROVED, CLEAN, OPERABLE, AND SUBJECT TO FINAL APPROVAL BY THE COOK COUNTY HEALTH DEPARTMENT. COUNTER TOPS TO BE STAINLESS STEEL OR SOLID SURFACE (NO PLASTIC LAMINATE)
 4. CABINET SHELVES TO BE STAINLESS STEEL OR WIRE (NO PLASTIC LAMINATE OR WOOD) NSF APPROVED RESTROOM COUNTER TOPS, IF APPLICABLE, TO REFLECT SOLID SURFACE (NO PLASTIC LAMINATE OR CHEMISTRY)
- GENERAL PUBLIC HEALTH NOTES:**
1. COVERED WASTE CANS ARE REQUIRED IN ALL RESTROOMS.
 2. TOILETS, URINALS, HAND SINKS, THREE COMPARTMENT SINKS, MOP SINKS, PREP SINKS, AND PERMANENT COUNTERS/CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH SLOTTING GROUT SEAL.
 3. ANTI-SPRINK DEVICES ARE REQ. ON ALL TOILET TANKS, URINALS, AND FOUNTAINS WITH HOSE CONNECTIONS.
 4. SOAP AND PAPER TOWELS ARE REQ. AT ALL HAND SINKS.

- FIRE PROTECTION NOTES:**
1. THE FLAME SPREAD & SMOKE DEVELOPED RATINGS OF ALL INSULATION MATERIALS & INTERIOR FINISHES SHALL CONFORM TO ASTM E84.
 2. PORTABLE FIRE EXTINGUISHERS FOR THIS BUILD-OUT SHALL BE IN COMPLIANCE WITH SECTION 908 OF THE 2006 INTERNATIONAL FIRE CODE (IFC) AND NFPA 10A PER TABLE 908.2(1) OF THE 2006 IFC. THE MAXIMUM TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET. IN ADDITION, THE PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE AND SHALL NOT BE OBSTRUCTED OR OCCUPIED FROM VIEW. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL.
 3. FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM) TO BE DESIGNED BY OTHERS.
 4. FIRE ALARM AND DETECTION SYSTEM TO BE DESIGNED BY OTHERS.

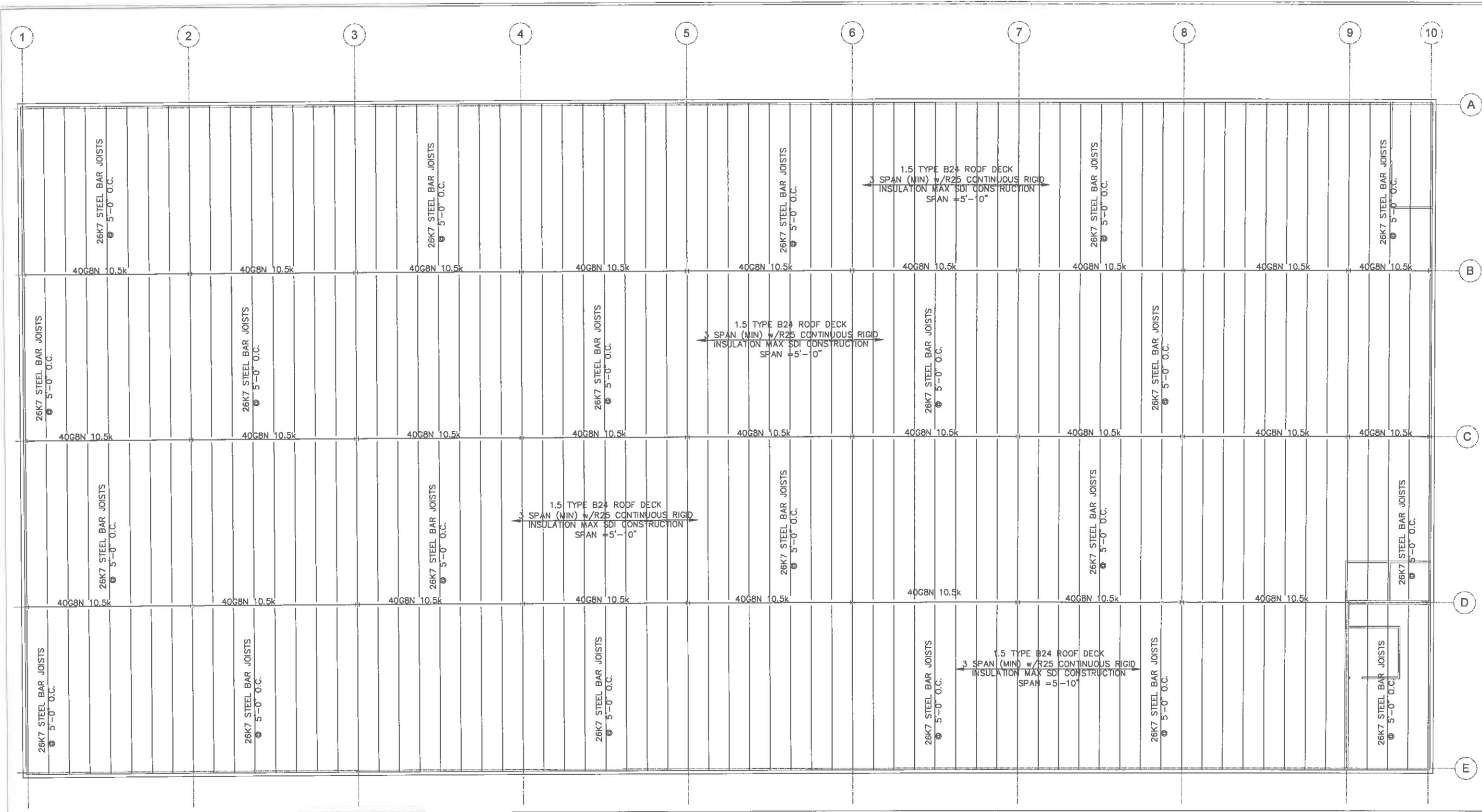
DOOR TYPES:



- ALL EXTERIOR DOORS TO HAVE APPROVED PANG HARDWARE
- ALL FIRE RATED DOORS TO RESIST PANG HARDWARE, MIN. 3 HRS./RESHOLD, AUTOMATIC DOOR CLOSER.
- ALL DOORS SWING TO BE FIELD VERIFIED PRIOR TO ORDERING
- ALL DOOR HARDWARE TO BE A.D.A. APPROVED
- THE PROPOSED DOOR OPENING HARDWARE SHALL BE OPERATED BY SINGLE HAND WITH OUT BEARS OF TOIT GRASPING, TOIT PUNCHING OR TWISTING OF THE HANDLE



SCALE	A'S NOTED	PROJECT NUMBER	1429B
REV	0	DATE	10/07/15
DESCRIPTION	BUILDING B CONCEPT PLANS		
DRAWN BY:	JRH		
SCHEDULES & DETAILS			
7601 Quincy Street, BLDG B			
WILLOWBROOK, ILLINOIS			
Page	A7.4		



FRAMING PLAN

SCALE: 3/32" = 1'-0"

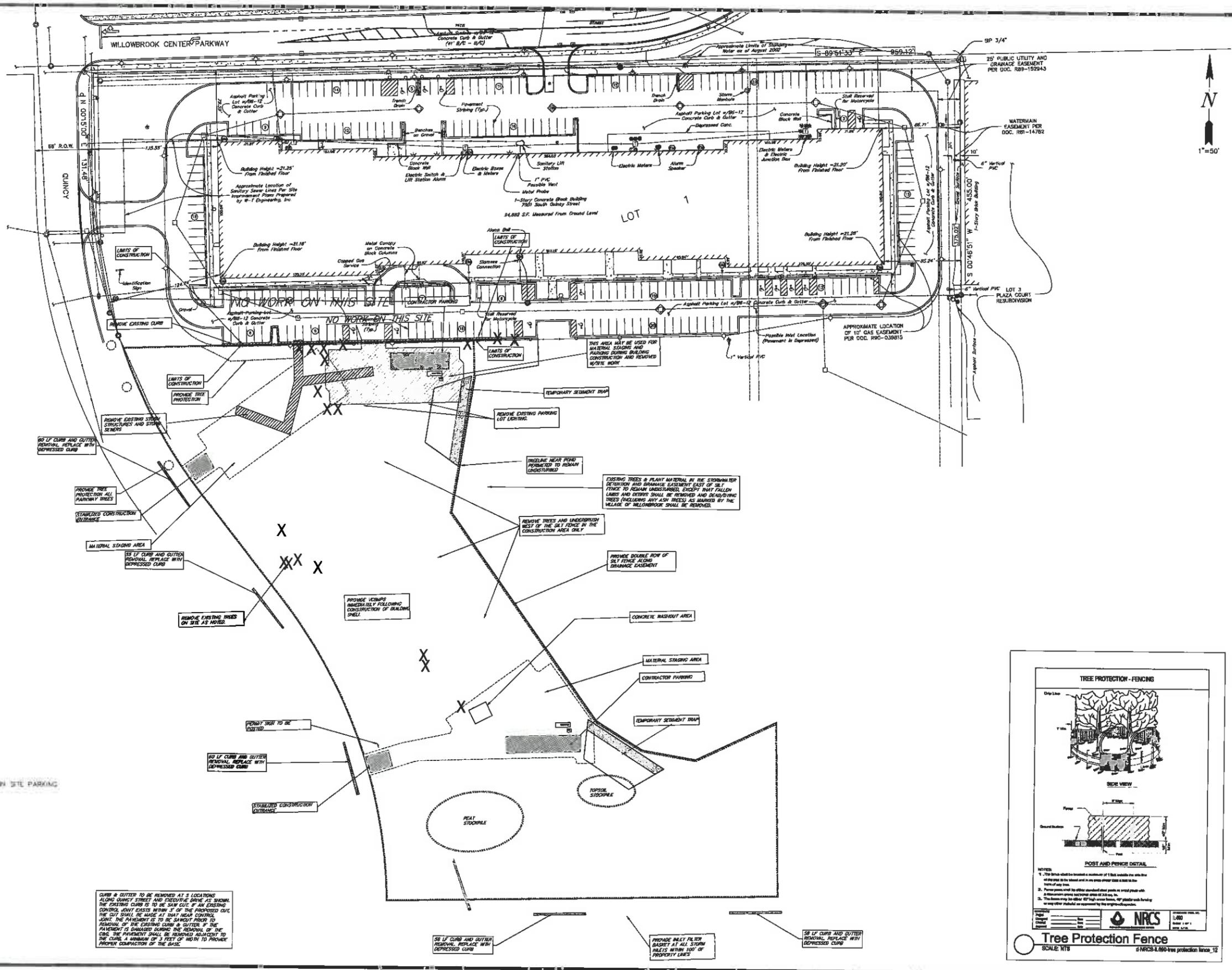
KFS
KOZIOL ENGINEERING SERVICES
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 121 Opaton Avenue
 Lake Bluff, IL 60052
 PH: (800) 455-8888 F: (800) 435-8888
 www.kfsengineering.com

REV	DATE	DESCRIPTION	DRAWN BY
0	10/15	BUILDING CONCEPT PLANS	JRT

SCALE AS NOTED	PROJECT NUMBER
14249	

FRAMING PLAN
 7601 Quincy Street, BLDG B
 WILLOWBROOK, ILLINOIS

EXHIBIT 9



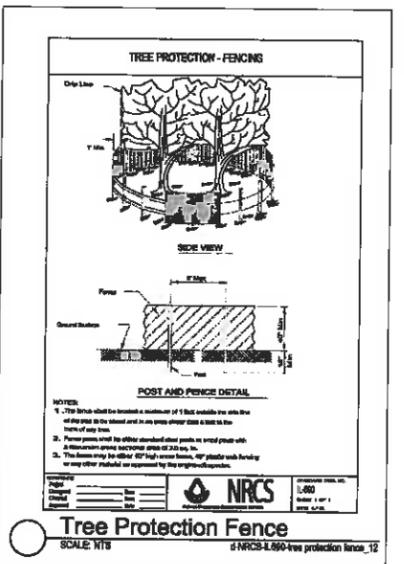
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REV	DATE	DESCRIPTION
0	08/26/15	CONCEPT PLAN
1	02/25/16	FINAL ENGINEERING
2	07/15/16	FINAL ENGINEERING
3	10/07/15	FINAL

EXIST COND./ DEMO / SWPPP PLAN
 7601 S. QUINCT ST.
 WILLOWBROOK, IL

SHEET NUMBER
 C-1



DESIGNED BY: JEK DRAINED BY: JEK SCALE: 1/50 FILE NAME: 14189
 DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED



PROPOSED 3.0' CONCRETE PUBLIC SIDEWALK TO BE EXTENDED TO 75TH ST. TO THE NORTH. SET 1.0' OFF THE PROPERTY LINE. MATCH GRADE ALONG EAST SIDE OF SIDEWALK AND PITCH @ 2.0% (MAX.) TO THE STREET SIDE.

Z-BUILDINGS
 A - 51,898.35 SF
 B - 44,410.17 SF
 TOTAL SF - 100,088.42 SF

PARKING
 72 TOTAL SPACES
 (INCLUDING 2 H.C. SPACES)

IMPERVIOUS AREAS
 NORTH LOT - 20,697.94
 DRIVE FROM BLDG A - 543.31
 SOUTH LOT - 14,043.24
 DRIVE FROM BLDG B - 630.81
 FIRE LANE - 4,688.79
 TOTALS - 41,404.91

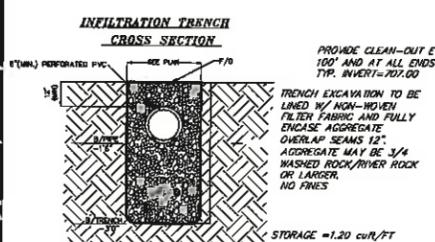
LOT AREA
 TOTAL DISTURBED AREA - 208,365.25 SF (4.809ac)
 IMPERVIOUS - 41,404.91 SF
 BUILDINGS - 100,088.42 SF
 TOTAL IMPERVIOUS - 141,471.33 SF
 PERVIOUS - 67,893.92 SF

141,471.33 x 1.25/12 = 14,736.6 CUBIC STORAGE

TRASH ENCLOSURES

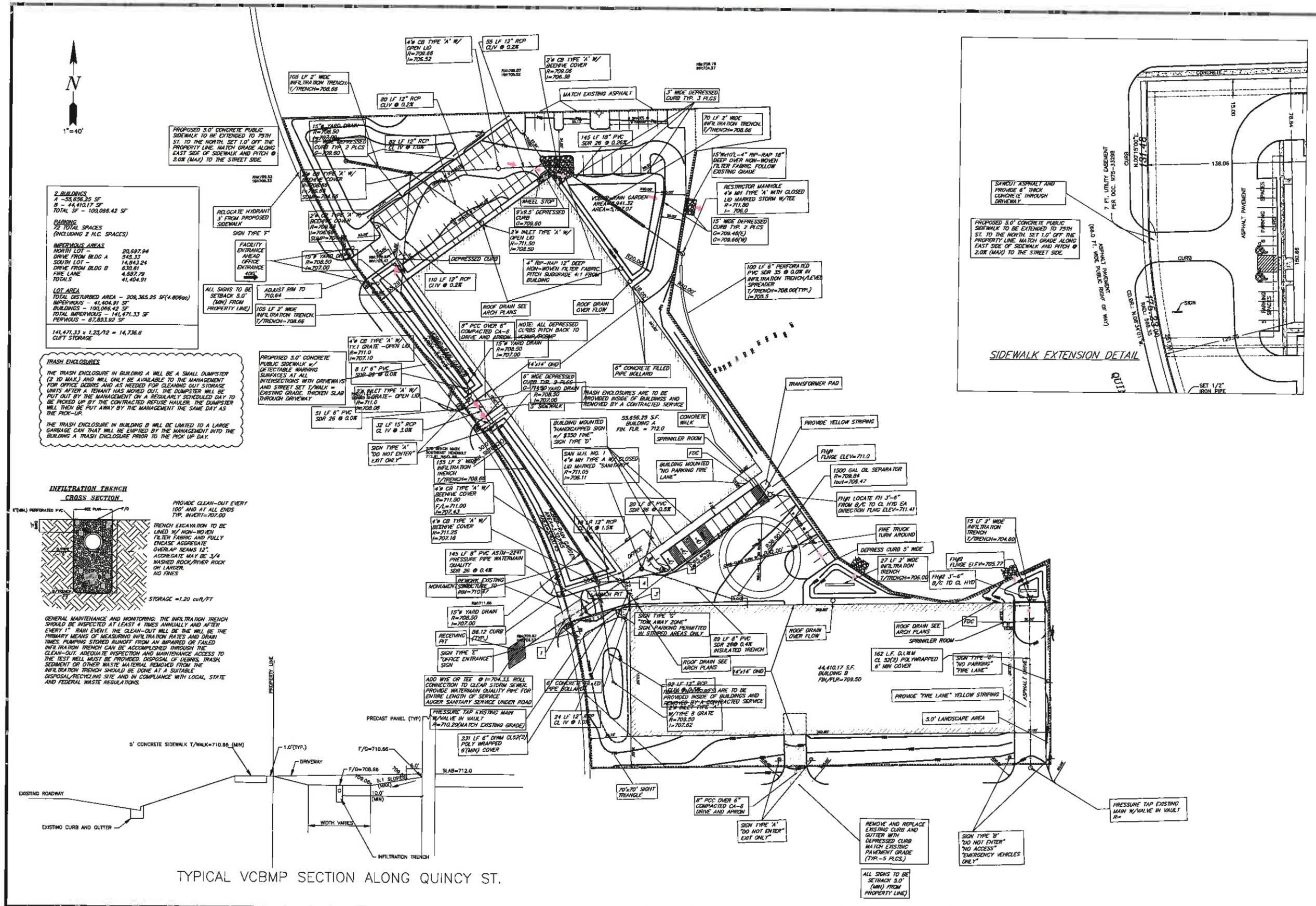
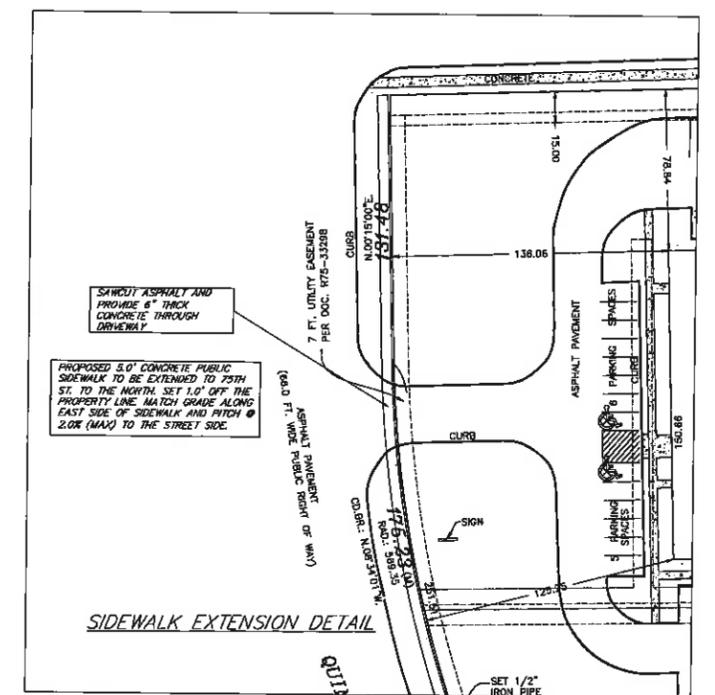
THE TRASH ENCLOSURE IN BUILDING A WILL BE A SMALL DUMPSTER (2 YD MAX.) AND WILL ONLY BE AVAILABLE TO THE MANAGEMENT FOR OFFICE DEBRIS AND AS NEEDED FOR CLEANING OUT STORAGE UNITS AFTER A TENANT HAS MOVED OUT. THE DUMPSTER WILL BE PUT OUT BY THE MANAGEMENT ON A REGULARLY SCHEDULED DAY TO BE PICKED UP BY THE CONTRACTED REFUSE HAULER. THE DUMPSTER WILL THEN BE PUT AWAY BY THE MANAGEMENT THE SAME DAY AS THE PICK-UP.

THE TRASH ENCLOSURE IN BUILDING B WILL BE LIMITED TO A LARGE GARBAGE CAN THAT WILL BE EMPLOYED BY THE MANAGEMENT INTO THE BUILDING A TRASH ENCLOSURE PRIOR TO THE PICK UP DAY.



GENERAL MAINTENANCE AND MONITORING: THE INFILTRATION TRENCH SHOULD BE INSPECTED AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1" RAIN EVENT. THE CLEAN-OUT WILL BE THE PRIMARY MEANS OF MEASURING INFILTRATION RATES AND DRAIN TIMES. PUMPING STORED RUNOFF FROM AN IMPAIRED OR FAILED INFILTRATION TRENCH CAN BE ACCOMPLISHED THROUGH THE CLEAN-OUT. ADEQUATE INSPECTION AND MAINTENANCE ACCESS TO THE TEST WELL MUST BE PROVIDED. DISPOSAL OF DEBRIS, TRASH, SCUM, OR OTHER WASTE MATERIAL REMOVED FROM THE INFILTRATION TRENCH SHOULD BE DONE AT A SUITABLE DISPOSAL/RECYCLING SITE AND IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL WASTE REGULATIONS.

TYPICAL VCBMP SECTION ALONG QUINCY ST.



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REV	DATE	DESCRIPTION
0	02/04/15	CONCEPT PLAN
1	02/27/15	FINAL ENGINEERING
2	03/07/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

OVERALL PLAN
 7601 S. QUINCY ST.
 WILLOWBROOK, IL

DESIGNED BY: JEK DRAWN BY: JEK SCALE: 1/40 FILE NAME: 14169
 DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

SHEET NUMBER
 C-2



PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK TO BE EXTENDED TO 75TH ST. TO THE NORTH. SET 1.0' OFF THE PROPERTY LINE. MATCH GRADE ALONG EAST SIDE OF SIDEWALK AND PITCH @ 2.0% (MAX) TO THE STREET SIDE.

RIM:709.63
INV:706.33

SIGN TYPE 'F'
FACILITY ENTRANCE AHEAD
OFFICE ENTRANCE 400'

ALL SIGNS TO BE SETBACK 5.0' (MIN) FROM PROPERTY LINE)

BE A SMALL DUMPSTER TO THE MANAGEMENT CLEANING OUT STORAGE THE DUMPSTER WILL BE RARLY SCHEDULED DAY TO BE HAULER. THE DUMPSTER WENT THE SAME DAY AS

BE LIMITED TO A LARGE THE MANAGEMENT INTO THE THE PICK UP DAY.

PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK w/ DETECTABLE WARNING SURFACES AT ALL INTERSECTIONS WITH DRIVEWAYS AND STREET SET T/WALK = EXISTING GRADE. THICKEN SLAB THROUGH DRIVEWAY

RIM:711.68
SEALED SHUT

SIGN TYPE 'A' "DO NOT ENTER" EXIT ONLY"

SITE BENCH MARK SOUTHEAST HEADBOLT 712.81 NAVD 88

RIM:709.07
INV:705.52

MATCH EXISTING ASPHALT

3' WIDE DEPRESSED CURB TYP. 3 PLCS

RIM:708.78
INV:704.97

5' WIDE DEPRESSED CURB TYP. 2 PLCS G=709.60

15'x10'L-4" RIP-RAP 18" DEEP OVER NON-WOVEN FILTER FABRIC. FOLLOW EXISTING GRADE

WHEEL STOP
9'x9.5' DEPRESSED CURB G=709.60

VCBMP-RAIN GARDEN
AREA=3,941.32
AREA=5,127.07

15' WIDE DEPRESSED CURB TYP. 2 PLCS G=709.46(E)
G=709.66(W)

DEPRESSED CURB

4" RIP-RAP 12" DEEP NON-WOVEN FILTER FABRIC. PITCH SUBGRADE 4:1 FROM BUILDING

8" PCC OVER 6" COMPACTED CA-6 DRIVE AND APRON

NOTE: ALL DEPRESSED CURBS PITCH BACK TO VCBMP/PCBMP

14'x14' OHD

6' WIDE DEPRESSED CURB TYP. 2 PLCS G=711.50

6" CONCRETE FILLED PIPE BOLLARD

TRASH ENCLOSURES ARE TO BE PROVIDED INSIDE OF BUILDINGS AND REMOVED BY A CONTRACTED SERVICE

5' SIDEWALK

BUILDING MOUNTED "HANDICAPPED SIGN w/ \$350 FINE" SIGN TYPE 'D'

55,656.25 S.F. BUILDING A FIN. FLR. = 712.0

CONCRETE WALK

SPRINKLER ROOM

FDC

BUILDING MOUNTED "NO PARKING FIRE LANE"

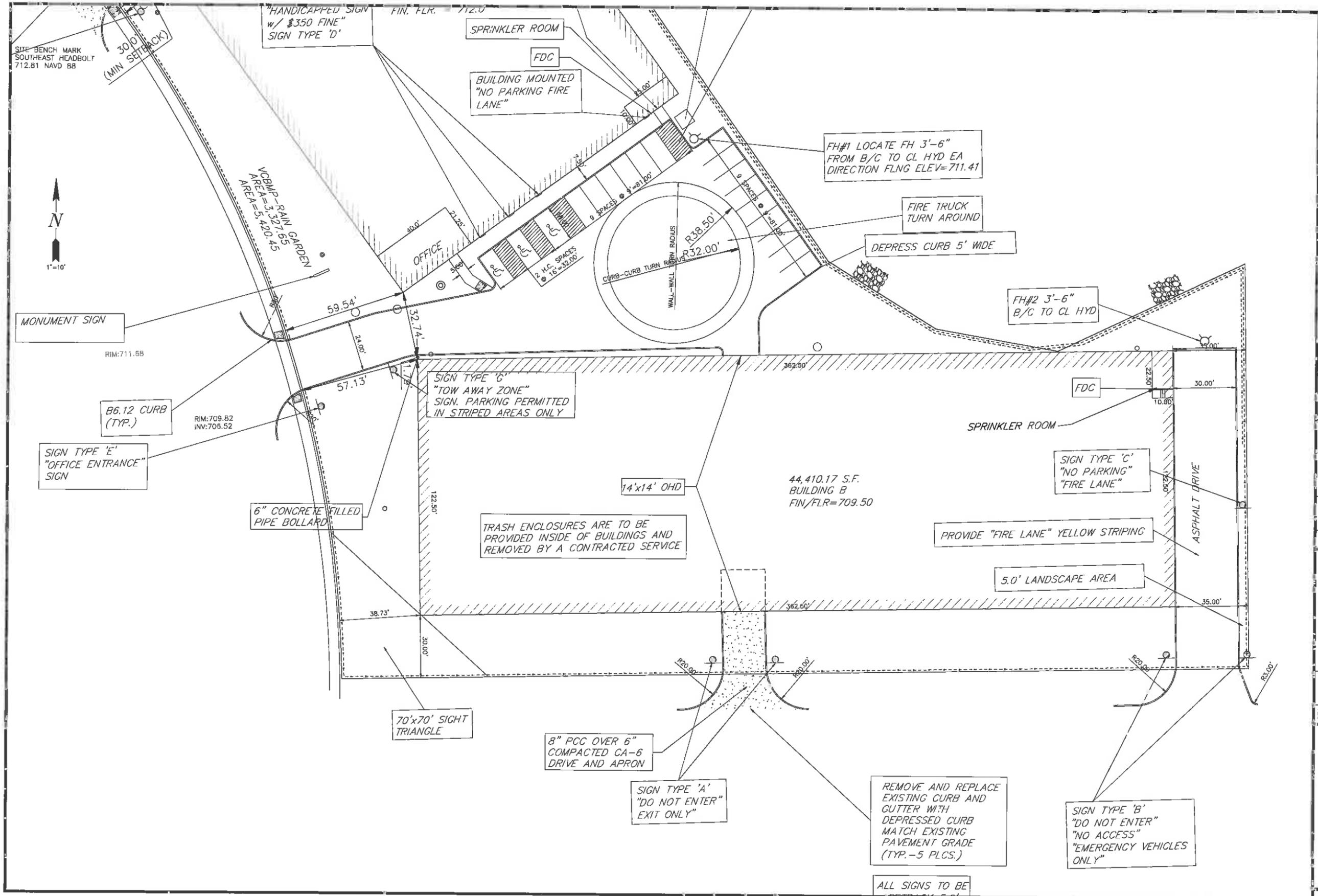
30.0' (MIN SETBACK)

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Law, Illinois 00052
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F. (630) 743-8588



REV	DATE	DESCRIPTION
0	02/20/15	CONCEPT PLAN
1	02/20/15	FINAL ENGINEERING
2	02/20/15	FINAL ENGINEERING
3	10/07/16	FINAL ENGINEERING

GEOMETRIC PLAN-NORTH
7601 S. QUINCT ST.
WILLOWBROOK, IL



SITE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88



MONUMENT SIGN

RIM:711.68

B6.12 CURB
(TYP.)

RIM:709.82
INV:705.52

SIGN TYPE 'E'
"OFFICE ENTRANCE"
SIGN

6" CONCRETE FILLED
PIPE BOLLARD

SIGN TYPE 'G'
"TOW AWAY ZONE"
SIGN. PARKING PERMITTED
IN STRIPED AREAS ONLY

TRASH ENCLOSURES ARE TO BE
PROVIDED INSIDE OF BUILDINGS AND
REMOVED BY A CONTRACTED SERVICE

70'x70' SIGHT
TRIANGLE

8" PCC OVER 6"
COMPACTED CA-6
DRIVE AND APRON

SIGN TYPE 'A'
"DO NOT ENTER"
EXIT ONLY

REMOVE AND REPLACE
EXISTING CURB AND
GUTTER WITH
DEPRESSED CURB
MATCH EXISTING
PAVEMENT GRADE
(TYP.-5 PLCS.)

SIGN TYPE 'B'
"DO NOT ENTER"
"NO ACCESS"
"EMERGENCY VEHICLES
ONLY"

ALL SIGNS TO BE

"HANDICAPPED" SIGN
w/ \$350 FINE
SIGN TYPE 'D'

SPRINKLER ROOM
FDC
BUILDING MOUNTED
"NO PARKING FIRE
LANE"

FH#1 LOCATE FH 3'-6"
FROM B/C TO CL HYD EA
DIRECTION FLNG ELEV=711.41

FIRE TRUCK
TURN AROUND

DEPRESS CURB 5' WIDE

FH#2 3'-6"
B/C TO CL HYD

FDC

SPRINKLER ROOM

SIGN TYPE 'C'
"NO PARKING"
"FIRE LANE"

PROVIDE "FIRE LANE" YELLOW STRIPING

5.0' LANDSCAPE AREA

ASPHALT DRIVE

44,410.17 S.F.
BUILDING B
FIN./FLR=709.50

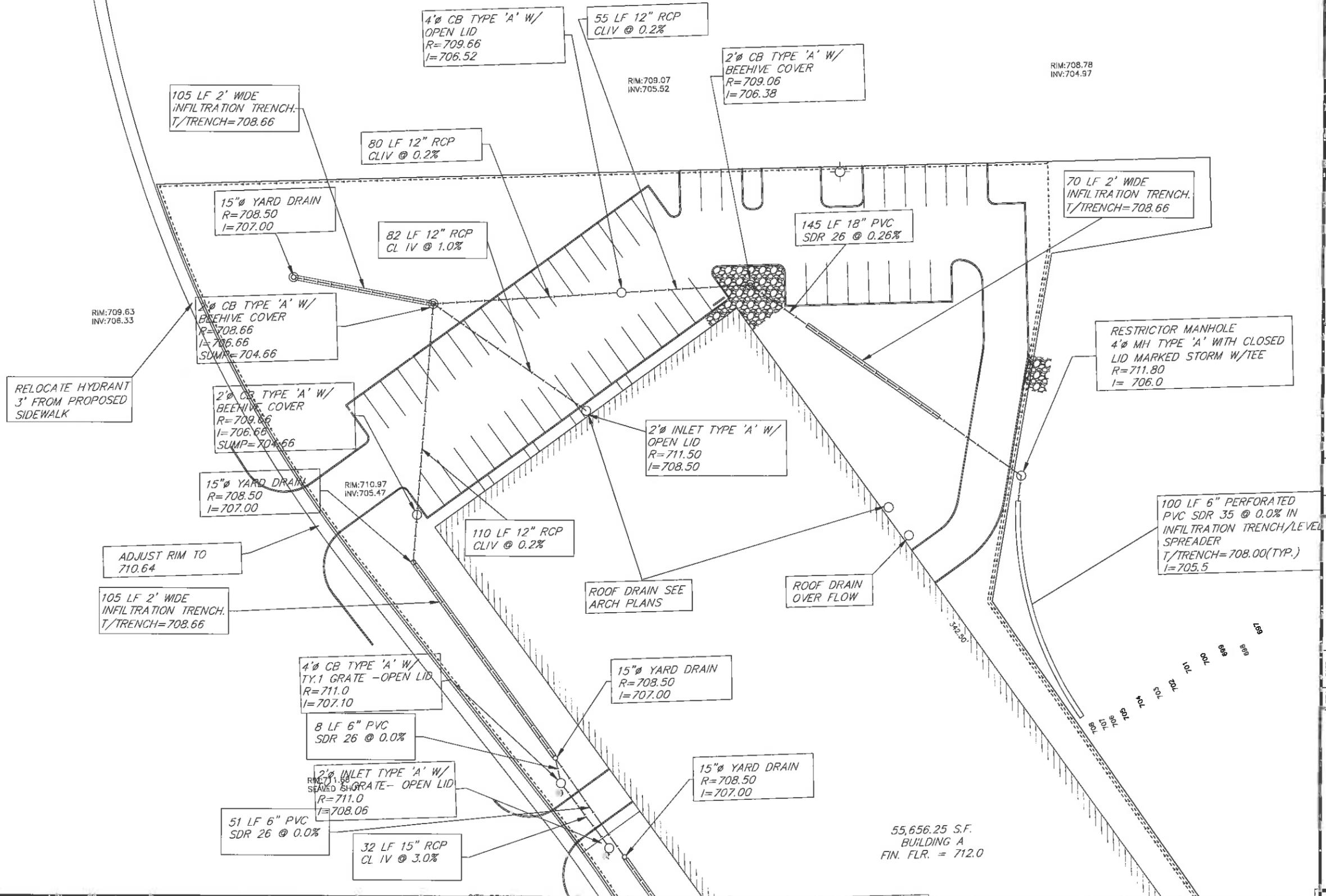
14'x14' OHD

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REV	DATE	DESCRIPTION
0	03/04/15	CONCEPT PLAN
1	03/22/15	FINAL ENGINEERING
2	04/17/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

GEOMETRIC PLAN-SOUTH
 7601 S. QUINCT ST.
 WILLOWBROOK, IL

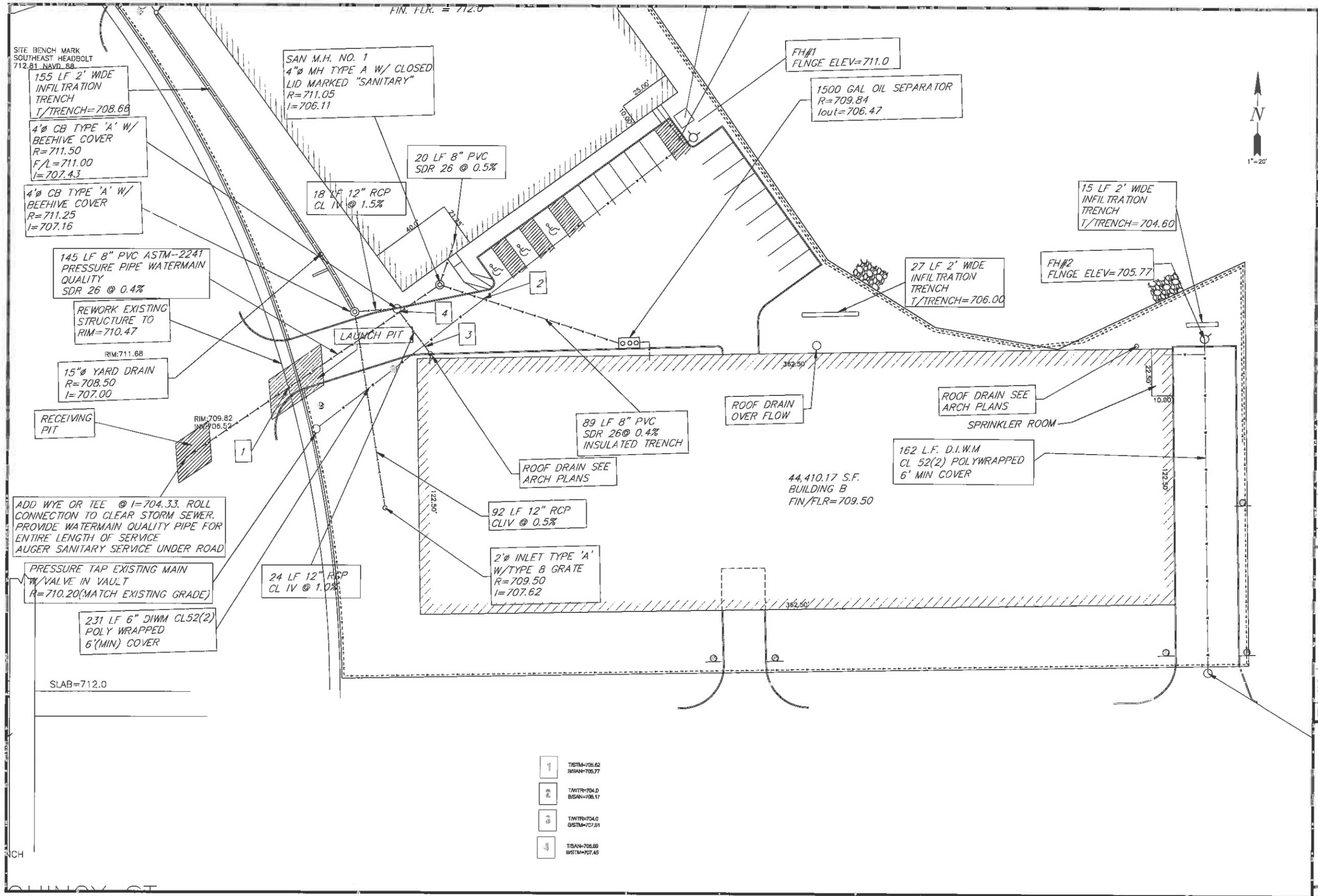


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REV	DATE	DESCRIPTION
0	03/20/15	CONCEPT PLAN
1	03/25/15	FINAL ENGINEERING
2	06/18/15	FINAL ENGINEERING
3	10/07/15	FINAL

UTILITY PLAN-NORTH
 7601 S. QUINCT ST.
 WILLOWBROOK, IL



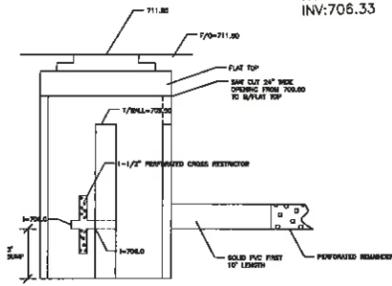
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P.O. Box 143000
Oak Brook, IL 60452
Tel: (630) 583-6600



REV	DATE	DESCRIPTION
0	03/29/14	CONCEPT PLAN
1	03/29/15	FINAL ENGINEERING
2	08/16/15	FINAL ENGINEERING
3	10/27/15	FINAL ENGINEERING

UTILITY PLAN-SOUTH
7601 S. QUINCY ST.
WILLOWBROOK, IL

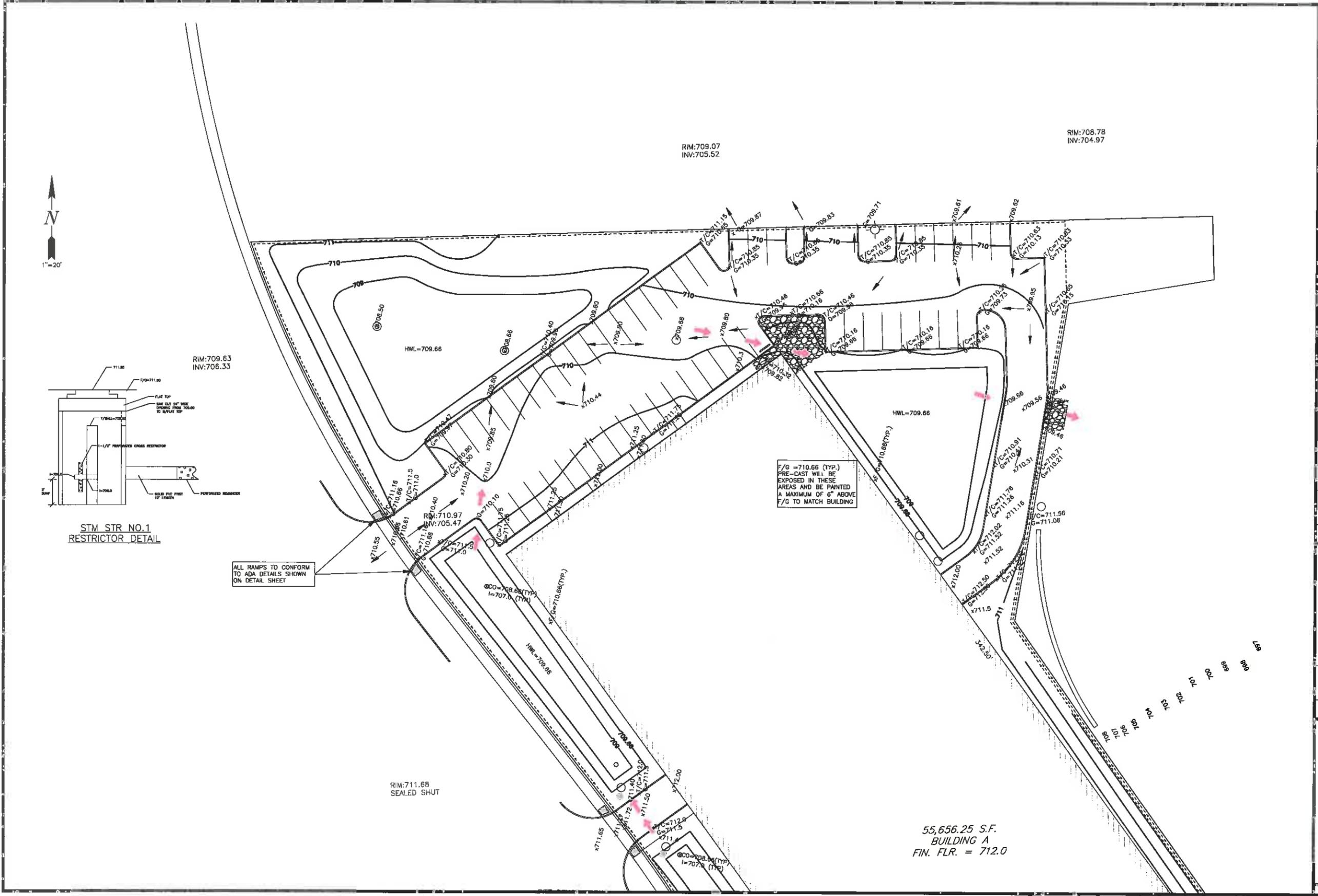
- 1 T/SAN=706.62
B/SAN=706.77
- 2 T/WTR=704.0
B/SAN=706.17
- 3 T/WTR=704.0
B/SAN=707.61
- 4 T/SAN=706.69
B/SAN=707.46



STM STR NO.1
RESTRICTOR DETAIL

ALL RAMPS TO CONFORM
TO ADA DETAILS SHOWN
ON DETAIL SHEET

F/G = 710.66 (TYP.)
PRE-CAST WILL BE
EXPOSED IN THESE
AREAS AND BE PAINTED
A MAXIMUM OF 6" ABOVE
F/G TO MATCH BUILDING



RIM:708.78
INV:704.97

RIM:709.07
INV:705.52

RIM:709.63
INV:706.33

RIM:711.68
SEALED SHUT

55,656.25 S.F.
BUILDING A
FIN. FLR. = 712.0

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Fax: (773) 458-8888
www.koziole.com



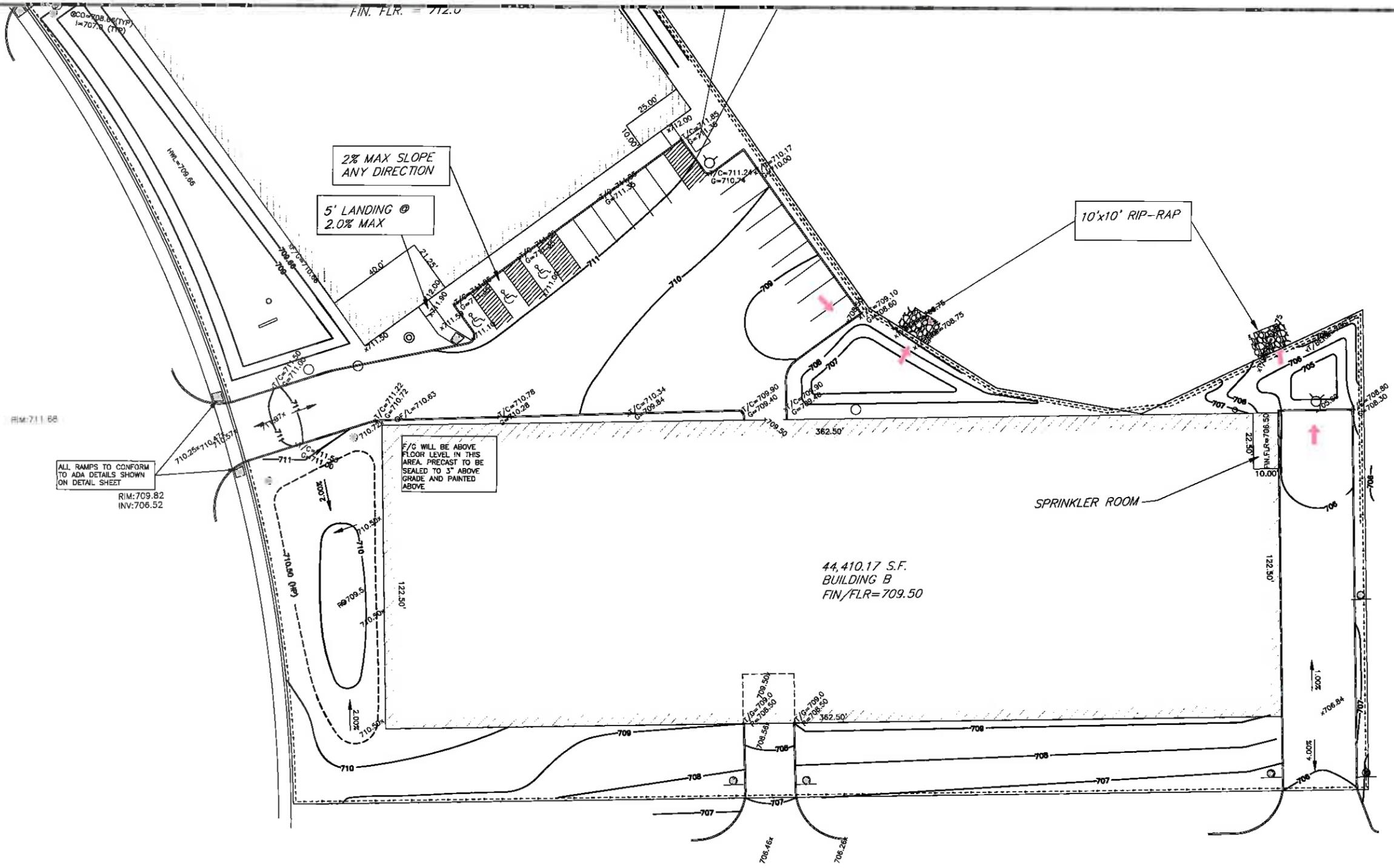
REV	DATE	DESCRIPTION
0	02/20/15	CONCEPT PLAN
1	06/19/15	FINAL ENGINEERING
2	08/19/15	FINAL ENGINEERING
3	10/27/15	FINAL

GRADING PLAN-NORTH
7601 S. QUINCT ST.
WILLOWBROOK, IL

SITE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88



FIN. FLR. = 712.0



ALL RAMPS TO CONFORM
TO ADA DETAILS SHOWN
ON DETAIL SHEET
RIM: 709.82
INV: 706.52

F/G WILL BE ABOVE
FLOOR LEVEL IN THIS
AREA. PRECAST TO BE
SEALED TO 3" ABOVE
GRADE AND PAINTED
ABOVE

44,410.17 S.F.
BUILDING B
FIN/FLR=709.50

10'x10' RIP-RAP

SPRINKLER ROOM

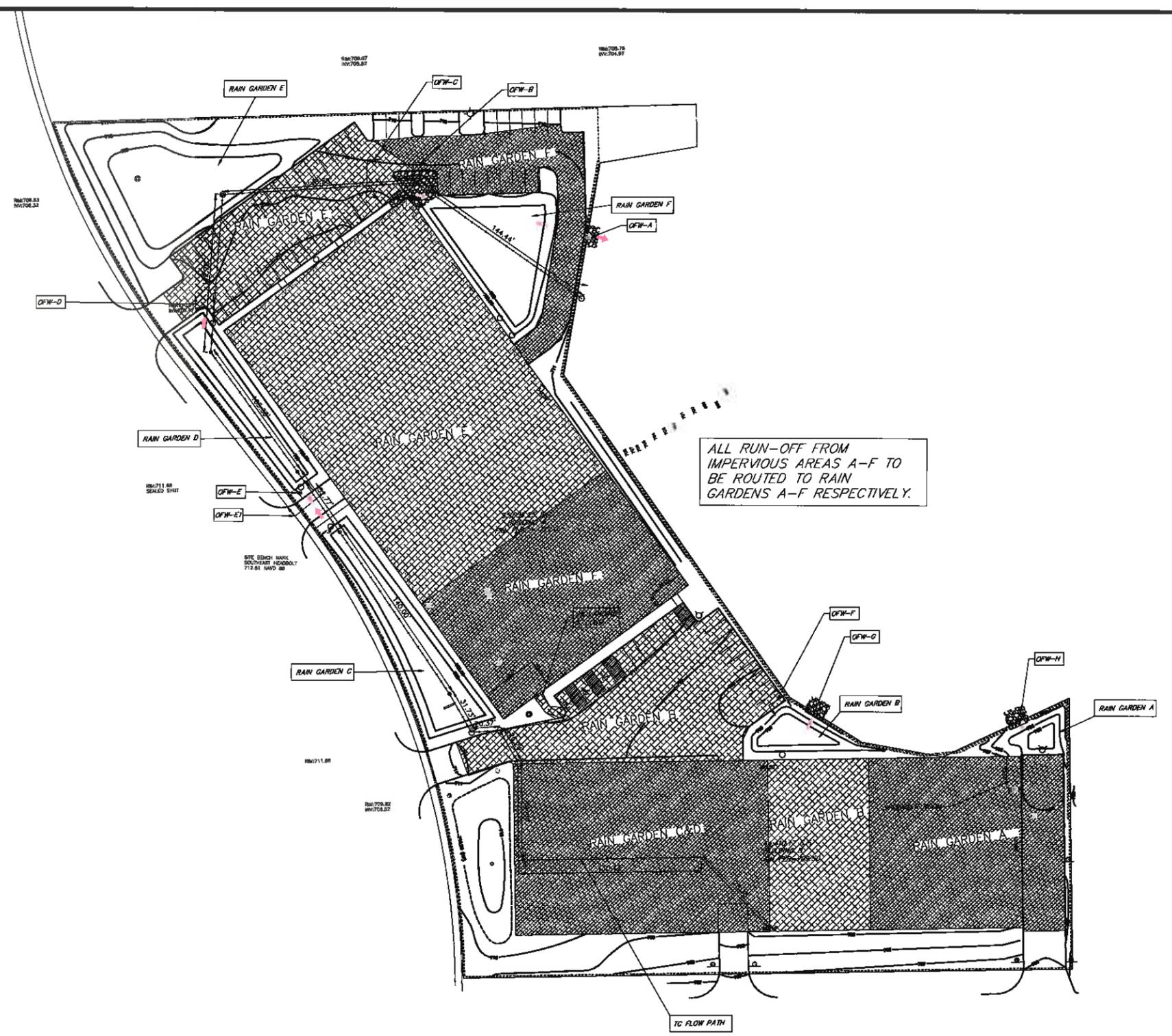
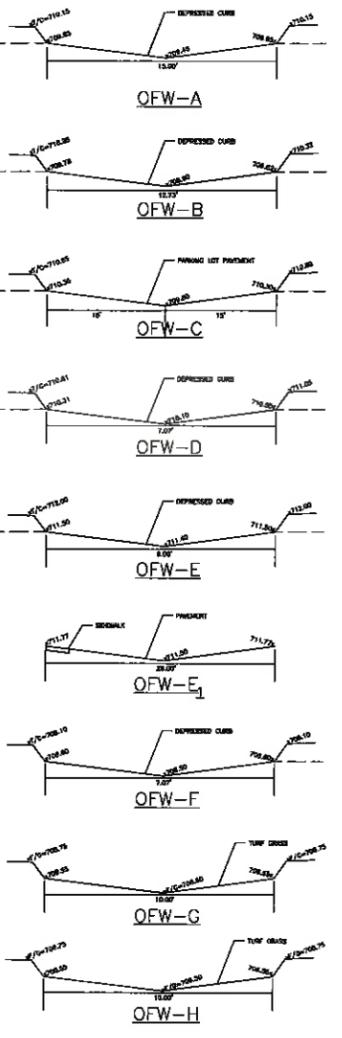
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1821 Ogden Avenue
Lisle, Illinois 60532
PH: (630) 435-8888 F: (630) 435-8889



REV	DATE	DESCRIPTION
0	08/01/19	CONCEPT PLAN
1	08/01/19	FINAL ENGINEERING
2	08/01/19	FINAL ENGINEERING
3	08/01/19	FINAL ENGINEERING

GRADING PLAN-SOUTH
7601 S. QUINCT ST.
WILLOWBROOK, IL

PROVIDE SEED MIX IN RAIN GARDENS PER LANDSCAPE PLANS



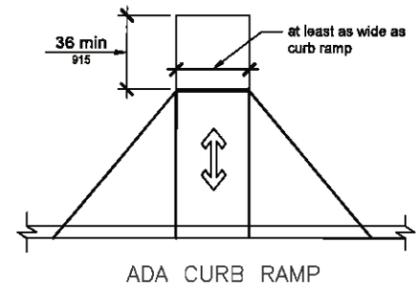
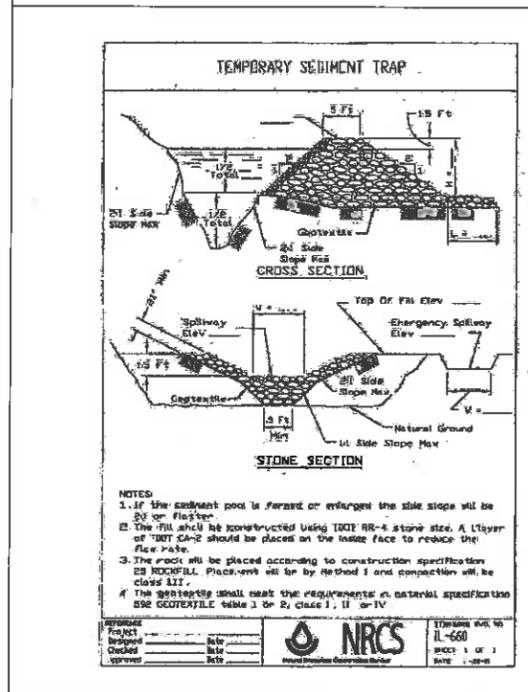
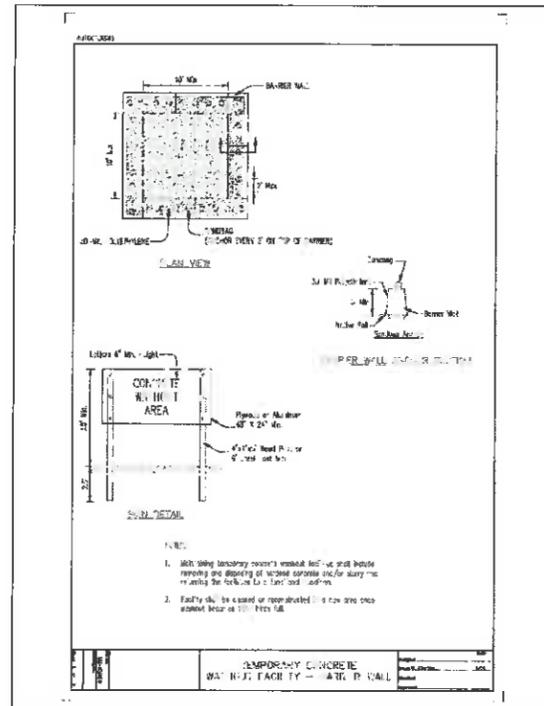
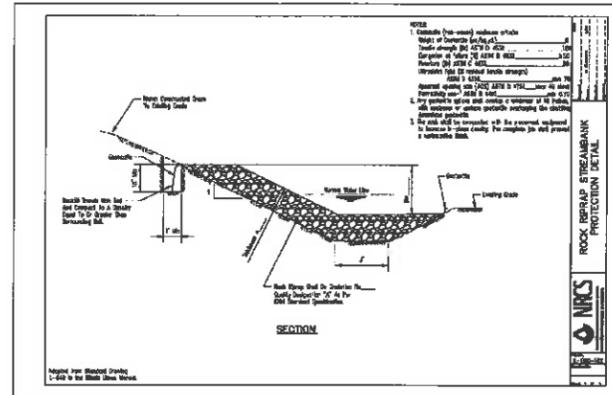
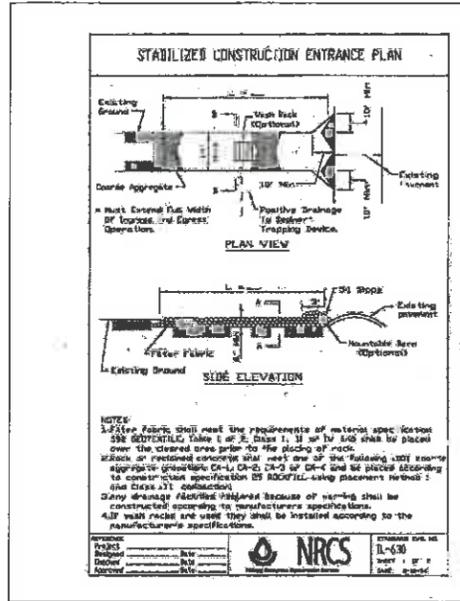
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Chicago, IL 60642-8686



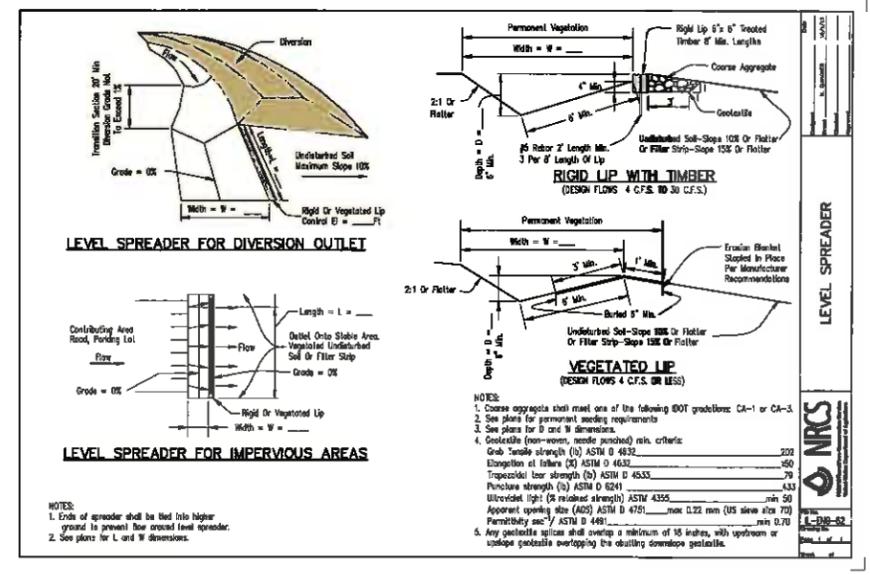
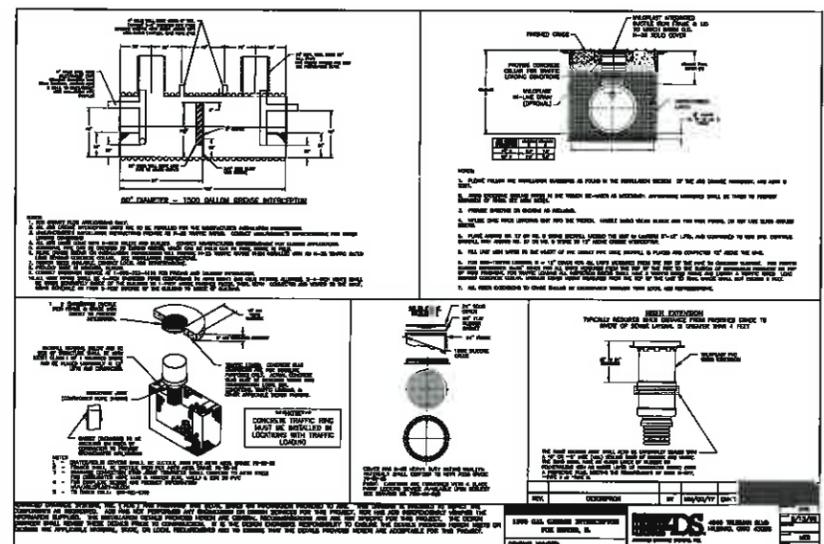
REV	DATE	DESCRIPTION
0	02/01/15	CONCEPT PLAN
1	02/02/15	FINAL ENGINEERING
2	02/16/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

BMP OVERLAND FLOOD ROUTE
7601 S. QUINCT ST.
WILLOWBROOK, IL

DETAILS



LAYER	LIGHT DUTY PAVEMENT (PRKG STALLS)	HEAVY DUTY PAVEMENT (AISLES)	PAVEMENT SPECIFICATIONS
SURFACE COURSE	1.5"	2"	N50
BINDER COURSE	1.5"	2.25"	N50
BASE	10"	10"	AGGREGATE TYPE B (CRUSHED IFR=50 (MIN.))
SUB-BASE	4"	4"	GRANULAR TYPE B IFR = 30



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REV	DATE	DESCRIPTION
0	06/05/15	CONCEPT PLAN
1	08/05/15	FINAL ENGINEERING
2	08/16/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

DETAIL SHEET
7601 S. QUINCT ST.
WILLOWBROOK, IL

Detail: Monument Sign

UL Listed Double Face Monument Sign- Internally Illuminated with Fl. Lamps
Decorated Flexi Faces

12" Deep

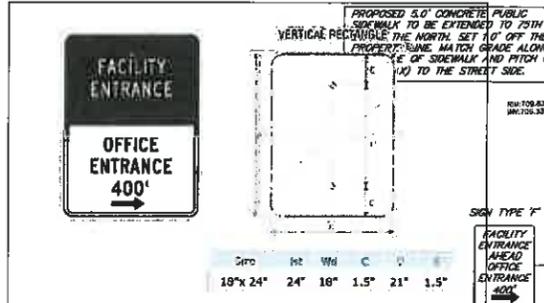
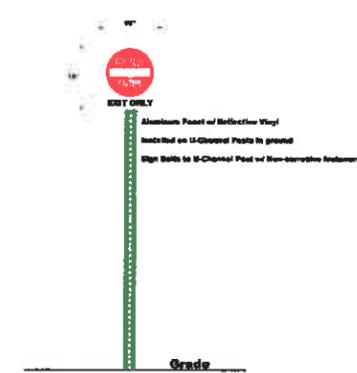


27.4 sq.ft. Sign Area per Side - Total 54 sq.ft.

1/2" scale

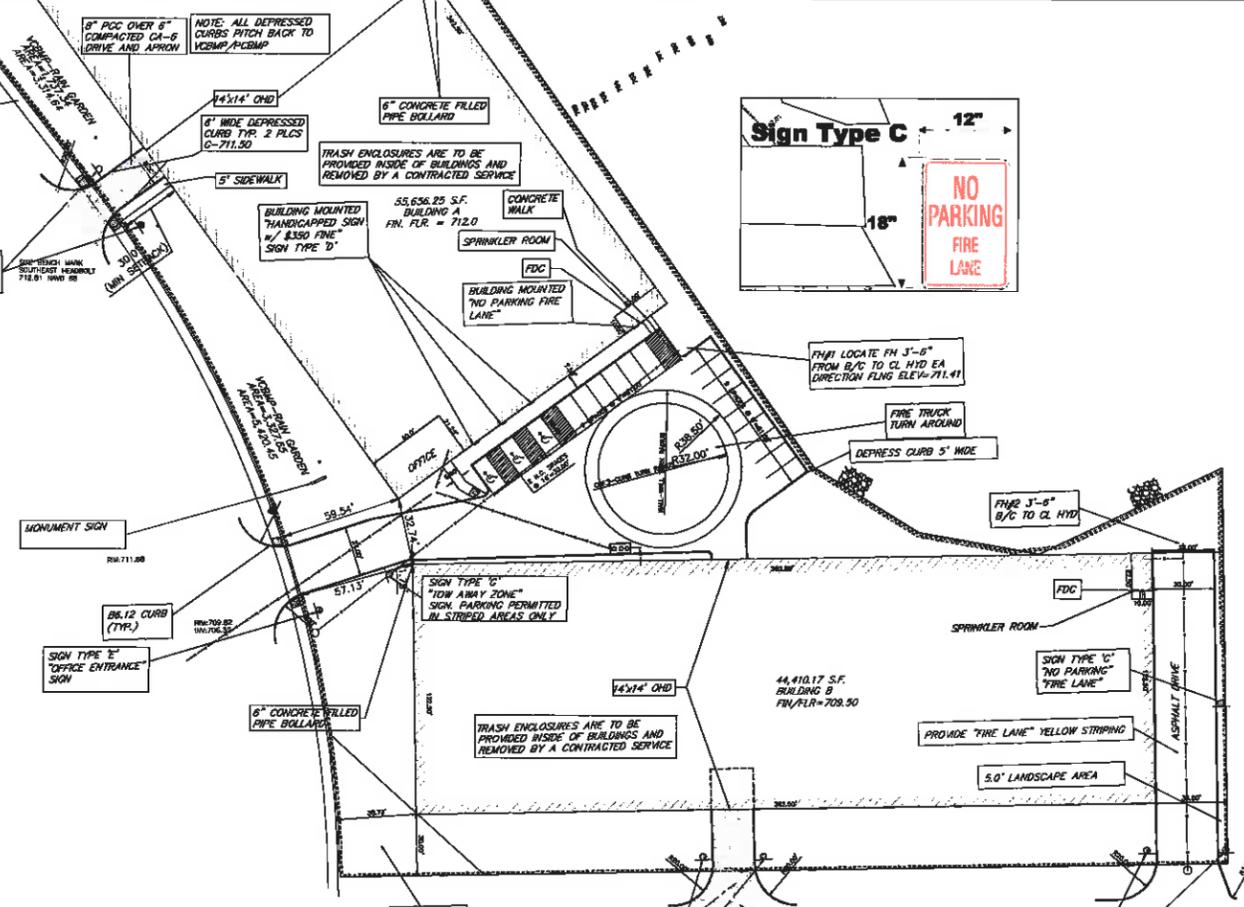
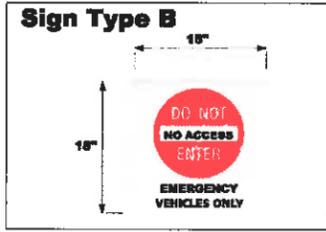
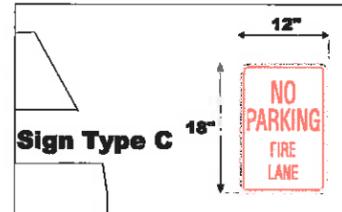
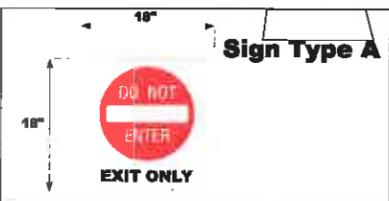
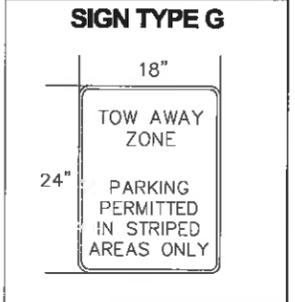
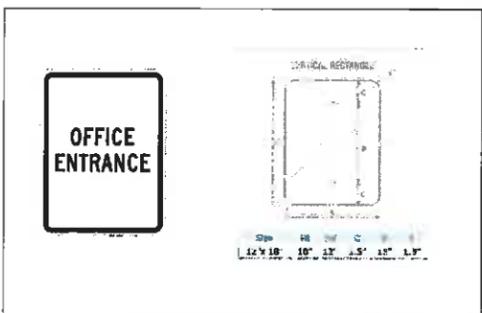
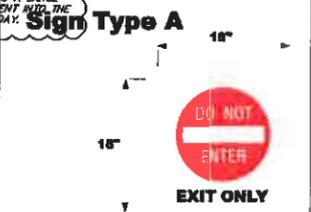
Detail for Sign Types A, B & C

Detail for Sign Types A, B & C



ALL SIGNS TO BE SETBACK 5.0' (MIN) FROM PROPERTY LINE

TRASH ENCLOSURES
THE TRASH ENCLOSURE IN BUILDING A WILL BE A SMALL DUMPSTER (2 YD MAX) AND WILL ONLY BE AVAILABLE TO THE MANAGEMENT FOR OFFICE DEBRIS AND AS NEEDED FOR CLEANING OUT STORAGE UNITS AFTER A TENANT HAS MOVED OUT. THE DUMPSTER WILL BE PUT OUT BY THE MANAGEMENT ON A REGULARLY SCHEDULED DAY TO BE PICKED UP BY THE CONTRACTED REFUSE HAULER. THE DUMPSTER WILL THEN BE PUT AWAY BY THE MANAGEMENT THE SAME DAY AS THE PICK-UP.
THE TRASH ENCLOSURE IN BUILDING B WILL BE LIMITED TO A LARGE GARBAGE CAN THAT WILL BE EMPTIED BY THE MANAGEMENT INTO THE BUILDING A TRASH ENCLOSURE PRIOR TO THE PICK UP DAY.

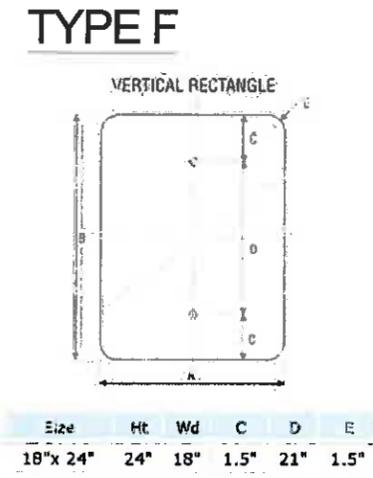
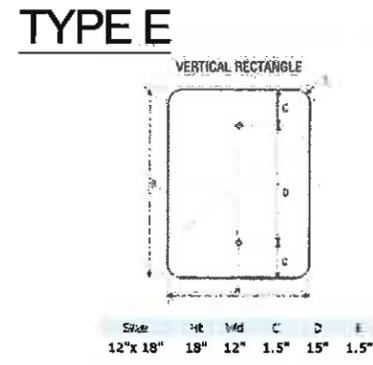
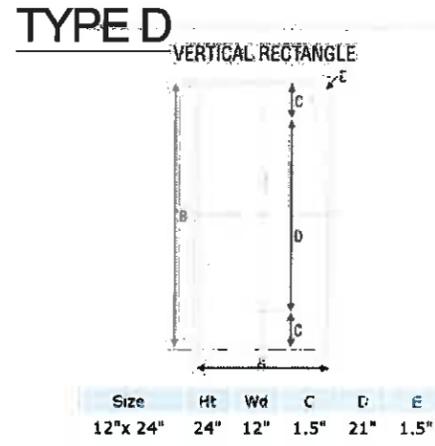
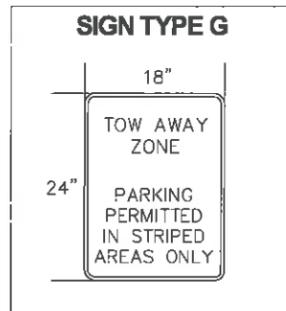
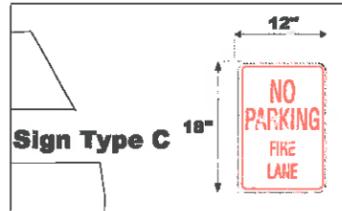
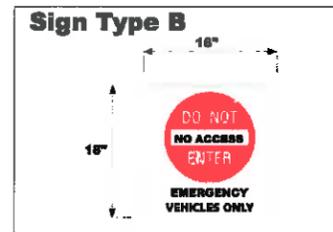
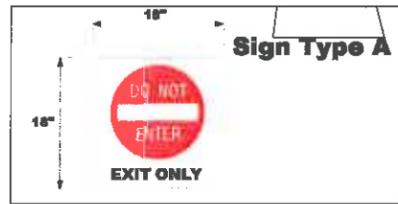


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REV	DATE	DESCRIPTION
0	02/21/15	CONCEPT PLAN
1	06/24/15	FINAL ENGINEERING
2	06/24/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

SIGN LOCATION PLAN
7601 S. QUINCT ST.
WILLOWBROOK, IL



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 1821 Ogden Avenue
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REV	DATE	DESCRIPTION
0	08/04/15	CONCEPT PLAN
1	08/24/15	FINAL ENGINEERING
2	08/19/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

SIGNAGE DETAILS
 7601 S. QUINCT ST.
 WILLOWBROOK, IL