

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, DECEMBER 2, 2015 AT 7:00 P.M. AT THE VILLAGE POLICE STATION BUILDING, 7760 QUINCY STREET, IN THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Regular Meeting November 4, 2015 (APPROVE)
 - C. Minutes - Village Board Meeting October 12 and October 26, 2015
4. PLAN COMMISSION OLD BUSINESS: Zoning Hearing Case 15-06: (ROC Willowbrook LLC - 7501-7601 Quincy) Consideration of a motion to approve a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD. (Remanded by Village Board on November 23, 2015).
 - A. DISCUSSION AND CONSIDERATION OF A MOTION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-07: (David Froberg - Willowbrook Square Management Co. - 6262 S. Route 83) Amendment to PUD to reduce the "dwell time" on approved digital sign for each message from 20 seconds to 8 seconds.
 - A. PUBLIC HEARING
 - B. DISCUSSION
6. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-08: (The Willows PUD - Pete's Fresh Market) Petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building as a multi-tenant building and construction of a new multi-tenant commercial building, including on-site

improvements and offsite improvements to both Plainfield Road and Route 83.

- A. PUBLIC HEARING
- B. DISCUSSION

7. VISITOR'S BUSINESS

8. COMMUNICATIONS

9. ADJOURNMENT

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE PLAN COMMISSION

2nd PC Meeting Date: December 2, 2015

Public Hearing Date: November 4, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-06: 7501-7601 Quincy. ROC PUD

Petitioner: ROC Willowbrook LLC.

Action Requested: Approval of a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD

Location: East side of Quincy between Willowbrook Center Parkway (75h Street extended) on the north and Executive Drive on the south

PINs: 09-28-403-28 and part of 09-28-403-027

Existing Zoning: M1

Existing Land Use: The north property is currently improved with a multi-use industrial building. The south property is vacant.

Property Size: 15.434 Acres

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Vacant Property North of 75th	M1
<i>South</i>	Stone Wheel	M1
<i>East</i>	Multi-Tenant Industrial	M1 & OR
<i>West</i>	5 Lots/Buildings	M1 & OR

Documents Attached:

- Exhibit 1. November 4, 2015 Staff Report
- Exhibit 2. Exceptions of PC 15-06
- Exhibit 3. List of Documents Approved for PC 15-06
 - 3a. Color Elevations (2 Sheets on file)
 - 3b. ROC Industrial Subdivision (2 Sheets attached)
 - 3c. Landscape Plan (2 Sheets on file)
 - 3d. Photometric Plans (3 Sheets attached)
 - 3e. Building A details (10 Sheets on file)
 - 3f. Building B details (14 pages on file)
 - 3g. Final Engineering (14 pages, attached, Sheet C12 on file)

Necessary Action by Plan Commission: Consider sample motion provided on pages 13 and 14 of this report.

Background/History:

At the regular November 4, 2015 meeting, the Plan Commission approved a motion recommending approval of this project. After consulting with legal counsel after the meeting, it was determined that certain statutory requirements were lacking in the public hearing record and the recommendation made by the Plan Commission. Specifically, State Statutes and local codes require the Plan Commission make "findings" with regard to certain "standards" in their recommendations. These standards are typically included in staff reports and referenced in sample motions provided by staff when recommendations are anticipated. They were not provided or referenced in the staff report for this case since a recommendation was not anticipated. The applicant was informed of this deficiency after the hearing and advised that it would be necessary to remand the case back to the Plan Commission so that they could consider a motion that, at a minimum, made the required findings on the required standards and ensure an accurate record for this case. The applicant agreed that the Village Board should remand the case back to the Plan Commission to allow them an opportunity to receive a recommendation from the Plan Commission that ensures an accurate record. The Village Board approved a motion remanding this case back to the Plan Commission at their November 23, 2015 meeting.

This report has been prepared as a follow-up and supplement to the November 4, 2015 staff report for this case and from the discussions during and after the public hearing on this topic. A copy of the November 4, 2015 staff report is attached as Exhibit 1 (minus all exhibits). Staff also met with the applicant on November 16th to discuss some of the necessary changes, and received the following revised full size documents from the applicant on Friday November 20th:

1. Undated revised colored elevations provided by Williams Architects (2 Sheets).
2. Sheet C-12 of the Engineering Plans, although the date was not revised from the previous date.
3. Sheets L-1 ad L-2 (Landscape Plan), although the dates were not revised from the previous dates.
4. Quincy Street Storage Building A, although the dates were not revised from the previous dates.
5. Quincy Street Storage Building B, although the dates were not revised from the previous dates.

Digital copies of these documents were not provided so they are not attached to this report, but will be available for inspection at the meeting.

The remainder of this report is broken up into 5 sections as follows:

Section 1: Clarification and Direction on Issues.

Section 2. Required Changes.

Section 3. Proposed Conditions of Approval

Section 4: A list of Special Use and Planned Development Standards and how the proposed project meets those standards. This represents the "findings" of the Plan Commission.

Section 5. Sample Motion

Section 1. Clarification and Direction on Issues.

- A. Parking.** Parking was again discussed with the applicant after the last meeting. According to the information provided by staff in the November report, the existing northern building is deficient 32 parking spaces, when utilizing the tenant and square footage data provided the

applicant and calculating the cumulative requirements as required by the Zoning Ordinance. This number is reduced to a deficiency of only 3 parking spaces when the 29 parking spaces in Lot 1 to the south are included. Knowing now that the applicant does not wish to take advantage of the PUD to better address the way parking is calculated, the 29 parking spaces in Lot 1 will be regulated and available to the north building by a Parking Easement Agreement between the two properties, to be executed in the format shown in Exhibit 2. A condition is included that the existing building on Lot 2 can utilize the 29 parking spaces on the north side of the northern building on Lot 1 only as long as the use on Lot 1 is for self-storage.

- B. Elevations.** As noted in the November staff report, the Comprehensive Plan designates this area for industrial uses. So, while the area has begun to embrace non-industrial uses, care must be taken to ensure the area continues to appear and operate like an industrial park. Indoor self-storage facilities are becoming popular, and there is evidence to suggest the industry guiding this use likes to capitalize on an overly commercial outward appearance.

The images below were provided in the last staff report as an example of what would not be appropriate in this industrial park.

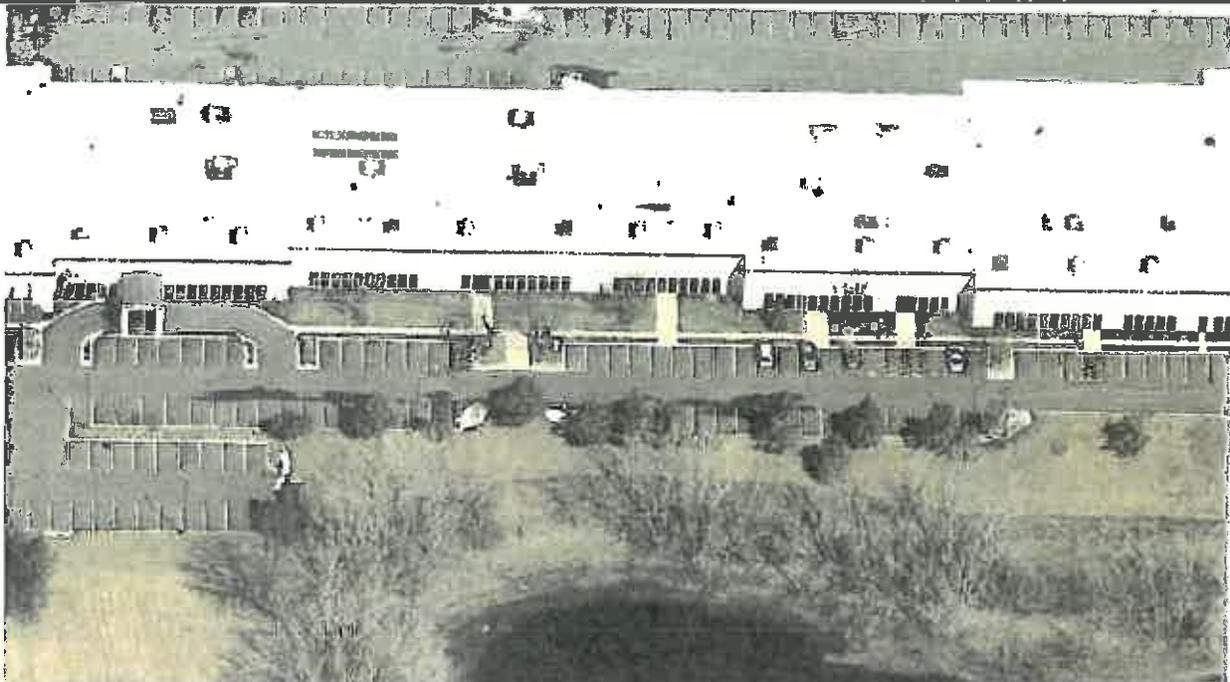


While the applicants colored elevations provided in the November staff report are shown to include appropriate colors in this industrial park, there were no details in the plan documents for Buildings A and B that would regulate these colors. Typically, PUDs provide sample materials and color details that are tied to the approval, however after speaking with the applicant further last week, these details are not available. The only alternative staff can offer given the applicant's desire for a quick recommendation is that the no building permits shall be issued unless final plan documents provide details that show colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator. This has been included as a Condition of Approval.



Another element of the design that was discussed in the staff report that was not discussed at the last meeting was a lack of architectural details on the buildings. Both buildings include very long, very flat walls at the same height, except for near the office area on Building A, which is taller. The change in building material on the southwest corner of Building B also serves to distinguish that corner, but the opposite ends of both buildings are fairly featureless in terms of building articulation or varying roofline heights. A change in color is used at the east end of Building B as shown on the elevations and is somewhat helpful.

In contrasting this design with the building to the north which is also part of the PUD, the colors are somewhat consistent, as is the use of windows along the street frontages. The northern building further breaks up the horizontal expanses with varying building setbacks, as shown in the image on the next page. This is not possible/practical in the new buildings at this point, so what isn't achieved with color and windows can only be achieved with additional variations in building height, similar to the higher elevation near the office in Building A.



As read by the applicant during the hearing, Section 9-8-4I(c) of the Zoning Ordinance allows the use of these precast panels in the M-1 district “provided adequate contrasting architectural accents and/or features are used. Such accents and/or features may include painted reveals, masonry bands, built-out cornices or quoins, decorative masonry copings, protruding soffits, and exterior trim of a similar nature.” How many of these features are required to determine “adequate” is subjective. The applicant has chosen the use of “painted reveals” from this list, although the plans do not reference reveals. Instead they indicate “10” insulated pre-cast panels with painted accent stripes (typ.)”. At a minimum a condition adding the “reveal” requirement is included in the conditions. Please note that the applicant proposes no reveals on the northeast corner of Building A, which backs to the pond, with an explanation that this part of the building is not visible because of the heavy trees surrounding the pond.

The Plan Commission did discuss the windows along the Quincy Street frontage of Building A. Staff noted for the applicant that the details for the windows shown on the Building A elevation details showed window size and spacing that was not consistent with the colored elevation in the plan view drawings. This has since been changed on the latest set of plans received.

The Plan Commission also discussed lighting in the windows and the color of the storage unit doors behind the windows in Building A along the Quincy Street elevation. The applicant showed the picture on the next page during the November meeting, to demonstrate the how the lighting in their facility in Lisle appears at night. The proposed Willowbrook facility will appear somewhat different given that the windows and the spacing between the windows are both about 18’. In a separate discussion with staff, the applicant noted that the lighting in this hall is the same as the lighting in the rest of the building, but that these lights stay on all the time. Other lights in the facility are intended to be motion activated and/or turned off when the facility is closed at night. A condition that the amount of lighting in these windows be regulated is included in the list of conditions.



Appearance is a subjective matter, so it is important that the Plan Commission provide direction about what, if any, changes are necessary to make a finding that the proposed project design is compatible with its industrial environment and therefore consistent with the Comprehensive Plan.

It would be helpful if the Plan Commission addressed the following design issues described in more detail above:

1. Are building color(s)/reveals appropriate?
2. Should additional building cornices/elevation heights be utilized?
3. Is it OK to eliminate building details on the northeast corner of Building A given proximity to existing trees? What if trees die back?
4. What details, if any should be discussed for the two sides of both buildings not shown in the colored elevations?

Additional "Conditions of Approval" are required for any changes other than the change listed in Number 1 above.

C. Landscaping. Several changes required in the Landscape Plan were enumerated in the staff report that are not reflected in the revised plans. These changes are noted again in this staff report in Section 2, Required Changes.

D. Monument Sign. Since the last meeting, the applicant has changed the location of the proposed monument sign in front of Building A, and has moved it to within approximately 1 foot of the drive way. If possible, the sign should be relocated further from the drive (at least 5 feet), and the setback dimensions from the property line and the driveway should be

indicated on the plans. Additionally, the ordinance requires a landscaped area consisting of a minimum 87 square feet surrounding the sign, separate from lawn and rain garden area. This area should be shown on the plan and the landscape plan revised to provide improved signage landscaping in this. Specifically, it is common that these types of signs be landscaped with more than just 6 small deciduous shrubs and 8 flowers. A combination of evergreen and deciduous shrubs should be utilized, that also incorporate differing heights, with taller materials on the building side of the sign to help draw attention to the sign.

E. Wall Signs. The applicant testified at the hearing that he intended to comply with Sign Code regulations with regard to wall signs. Therefore, given that the end user is not known, staff recommended all signage be removed from drawings and that the ordinance will indicate compliance with the Sign Code regulations.

F. Garbage: As indicated in the last report, the new construction site does not provide for any outside enclosed dumpster area. The owner contends that providing any kind of dumpster outside is an invitation for everyone who leases space to use them for more than just their residual garbage. Furthermore, the owner says its office use will produce very little garbage, and testified during the hearing that it might be possible to allow the garbage truck access to and through Building A to pick up garbage inside the building. While this provides the most assured way that dumpsters will never be left outside, after further review, staff has concerns whether this is a viable solution. First, the overhead door is only 14' in height, which may not accommodate a garbage truck moving through the door. This should be confirmed if this alternative is ultimately required as a condition. The alternative to driving through the building is rolling the dumpsters outside, however at the last hearing it was determined it would be impractical for a garbage truck to pick up the dumpster outside the northeast door of Building A, only to have to back up down the driveway it took to get to the dumpster in order to exit the property.

When staff met with the applicant after the meeting, he noted that it may be possible to roll garbage out a man door on the southeast corner of Building A, from the room marked "Mechanical/Fire Equipment". Approval of that location may be subject to building and/or fire code restrictions and would require the installation of a different kind of door in that location, as a dumpster would likely not fit through the door shown on the plans.

Staff recommends the garbage truck driving through Building A be required if it can be accommodated, as that option is least likely to require any follow-up enforcement work on behalf of Village Staff. If a different "roll-out" location is requested, staff has no objection as long as the location is defined and there is a provision that requires the later construction of an enclosed dumpster if it becomes an enforcement problem. An either/or condition is provided for consideration by the Plan Commission in the proposed conditions of approval section.

G. Mechanical Equipment. The applicant informed staff after the hearing that with the exception of mechanical equipment above the office area in the southwest corner of Building A, no mechanical equipment would be located closer than 30' from any edge of the building. Given that these details are not on the plans, this will be incorporated as a condition of approval and shall note that any equipment that extends higher than the parapet near the office area shall be screened as approved by the Village Administrator.

H. Subdivision Plat. There was no discussion on the Subdivision Plat at the last meeting, but it was determined at the meeting between the applicant and staff after the meeting that the

timing of the recording of the document as it relates to the Parking Easement agreement was important. A condition is included that references that requirement.

Section 2. Required Changes

Landscape Changes, to be submitted prior to consideration by the Village Board

1. Two landscape islands shall be added and landscaped with 1 shade tree and sod each where the parking lots connect between Lots 1 and 2. All relevant engineering and landscape documents shall be revised.
2. The Landscape Plan shall be revised to require a 50 percent mix of seeds and planted plugs in the rain gardens.
3. The Landscape Plan shall be revised to show disturbed areas on the north and west sides of Building A, and all parkway areas to be sodded (not seeded).
4. The Landscape Plan shall be revised to modify Note Number 5 to indicate substitutions must also be approved in writing by the Village of Willowbrook prior to delivery of material.
5. The Landscape Plan shall be revised to modify Note Number 7 to indicate the Village must also inspect and approve the material prior to installation.

Section 3. Proposed Conditions of Approval

1. Development shall be in substantial compliance with the "List of Documents Approved for PC 15-06" outlined in Exhibit 3 of the staff report prepared for the Plan Commission's December 2, 2015 meeting, except as noted in Section 2 "Required Changes" in the staff report.
2. Approval for two self-storage use buildings only (one for household goods and one for automobiles). Any other alternate use is subject to the approval of a Major Change to a PUD by the Village Board pursuant to the Zoning Ordinance
3. The overhead doors visible on Building A from Quincy and on Building B from Executive Drive shall only be used as a means of egress out of the buildings with no ability to activate these doors from outside the buildings. Ingress into the buildings shall only be allowed from the opposite side of the building.
4. The Parking Easement Agreement shall add language that the easement may not be modified without the written consent of the Village of Willowbrook, and it should be recorded prior to the plat of subdivision. The plat of subdivision should be revised to reference the easement and the date granted.
5. Tenant parking requirements for the building on Lot 2 shall be measured to include the 237 parking spaces on Lot 2 plus the 29 parking spaces in the northern most parking lot on Lot 1 only as long as the use on Lot 1 is for self-storage.
6. Elevations and elevation plan details shall specify the use of "10" pre-cast panels with painted reveal accent stripes."
7. No building permits shall be issued unless final plan documents provide details that show color in substantial compliance with the colors provided in the color renders as determined by the Village Administrator.
8. Storefront windows along the Quincy Frontage of Building A shall be lit so as not to exceed lighting standards in the Zoning Ordinance and the color of doors visible through these windows shall be only one color, to be approved by the Village Administrator.
9. There shall be no outdoor storage of any kind.
10. There shall be no retail sales except for retail sales of moving boxes or other moving/storage supplies that are stored inside from the office located in the southwest corner of Building A.
11. There shall be no dispensing of gasoline.
12. There shall be no servicing of vehicles on the site.

13. Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent property, in compliance with the requirements of section 9-9-8 of this title.
14. The dumpster shall be located inside Building A, and shall be serviced inside the building by allowing garbage trucks access to and through the building. OR The dumpster shall be rolled out for service day only (WHERE?), and rolled back inside immediately after being serviced. Failure to successfully perform this requirement on three separate occasions will require the construction of a code compliant masonry dumpster enclosure with locking gates in a location approved by the Village Administrator.
15. All mechanical equipment shall be located on the roof, and except for the area above the proposed office are in Building A, no mechanical equipment shall be located closer than 30' to a building edge. Any mechanical equipment above the office area in Building A that is taller than the parapet extension in that area shall be screened as approved by the Village Administrator.
16. The monument sign shall be relocated north as far as possible, the setback dimensions from the property line and the driveway added to the plans, a minimum 87 square feet of signage landscape area designated on the plans, and mix of evergreen, deciduous and flowering plant materials with a variety of heights utilized for the sign.
17. Wall signs shall conform to Ordinance requirements.
18. Given that these details are not on the plans, this will be incorporated as a condition of approval and shall note that any equipment that extends higher than the parapet near the office area shall be screened as approved by the Village Administrator.

Section 4. Special Use and Planned Development Standards

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the standards is provided below, along with a "finding" that can be referenced in the Plan Commission's motion. Please note that the "findings" assume acceptance of the required changes and proposed conditions in this report. Modifying a required change or proposed condition may require changing a listed finding.

Special Use Standards.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Given the unique characteristics of this use, a major change to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Except as modified in the list of exceptions outlined in Exhibit 2 of the Staff Report prepared for the December 2, 2015 meeting, the project will comply with the applicable regulations of the M-1 Zoning District.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

The Village Board has not considered any special use permit on this property in the last year.

Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

If designed as recommended by the Plan Commission, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy is added to be consistent with the Comprehensive Plan.

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

The proposed development contains 15.434 acres.

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of the pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of a storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overly commercialized appearance, which may have a negative influence on surrounding industrial properties.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since change to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

The buildings are one story and there is a 32.74' separation between the buildings

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

The proposed project meets this requirement.

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allowing access and parking to 29 parking spaces on Lot 1.

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

No variations to the Willowbrook Subdivision regulations are required.

- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the restrictions recommended.

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Minor exceptions are incorporated into the PUD as identified in the staff report prepared for the December 2, 2015 meeting, however the development does comply with standards A, B, C, D, H, I and K as required.

Planned Unit Development Findings

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 29 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

The PUD meets the standards as identified above.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

The PUD includes exceptions as identified in the staff report prepared for the December 2, 2015 meeting.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenants" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

The proposed plan promotes new development in compliance with Zoning Ordinance requirements and will bring new people to the area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

The plan conforms to the spirit and intent of the Village's current planning objectives if developed as recommended by the Plan Commission.

Section 5. Recommendation/Sample Motion.

Staff has prepared the following sample motion in an effort to provide the applicant and Plan Commission with an opportunity to finalize their recommendation if they wish. It will be up to the applicant to decide whether to forward as recommended or to clean up the documents based on the recommendations before forwarding to the Village Board for their consideration.

Based on the submitted petition and testimony and presented, I move that the Plan Commission forward its findings for special use and planned unit development referenced in the staff report for PC 15-06 prepared for the December 2, 2015 meeting (except as the PC may modify during meeting) and recommend to the Village Board approval of the relief associated with PC 15-06 including a preliminary and final Plat of Subdivision, approval of a special use for a Planned Unit Development, including exceptions outlined in Exhibit 2 of the December 2, 2015 staff report, and other relief as may be necessary to accommodate proposed project, subject to the following conditions:

1. List any additional design changes.
2. That the approval be in substantial compliance with the List of Documents Approved for PC 15-06 included in the December 2, 2015 staff report for PC 15-06, except as modified or required by all Required Changes identified in Section 2 and except as may be required for compliance with the requirements of the Village Engineer or the Building Inspector as part of the Building Permit review process.

3. Compliance at all times with the Conditions of Approval identified in Section 3 of the December 2, 2015 staff report for PC 15-06.

Exhibit 1

November 4, 2015 Staff Report (minus exhibits)

Meeting Date: November 4, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-06: ROC Storage Northwest Corner of Quincy and Executive

Petitioner: ROC Willowbrook LLC.

Action Requested: Approval of a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD

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PINs: 09-28-403-28 and part of 09-28-403-027

Existing Zoning: M1

Existing Land Use: The north property is improved with a multi-use industrial building. The south property is vacant.

Property Size: 15.434 Acres

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Vacant Property North of 75th	M1
<i>South</i>	Stone Wheel	M1
<i>East</i>	Multi-Tenant Industrial	M1 & OR
<i>West</i>	5 Lots/Buildings	M1 & OR

Documents Attached:

- Exhibit 1. Color Building Elevations (2 Sheets)
- Exhibit 2. Concept Wall Signage Exhibit (1 Sheet)
- Exhibit 3. ROC Industrial PUD Plat (2 Sheets)
- Exhibit 4. ROC Industrial Subdivision (2 Sheets)
- Exhibit 5. Landscape Plan (1 Sheet)
- Exhibit 6. Photometric Plans (3 Sheets)
- Exhibit 7. Building A details (10 Sheets)
- Exhibit 8. Building B details (14 Pages)
- Exhibit 9. Final Engineering (15 Pages)

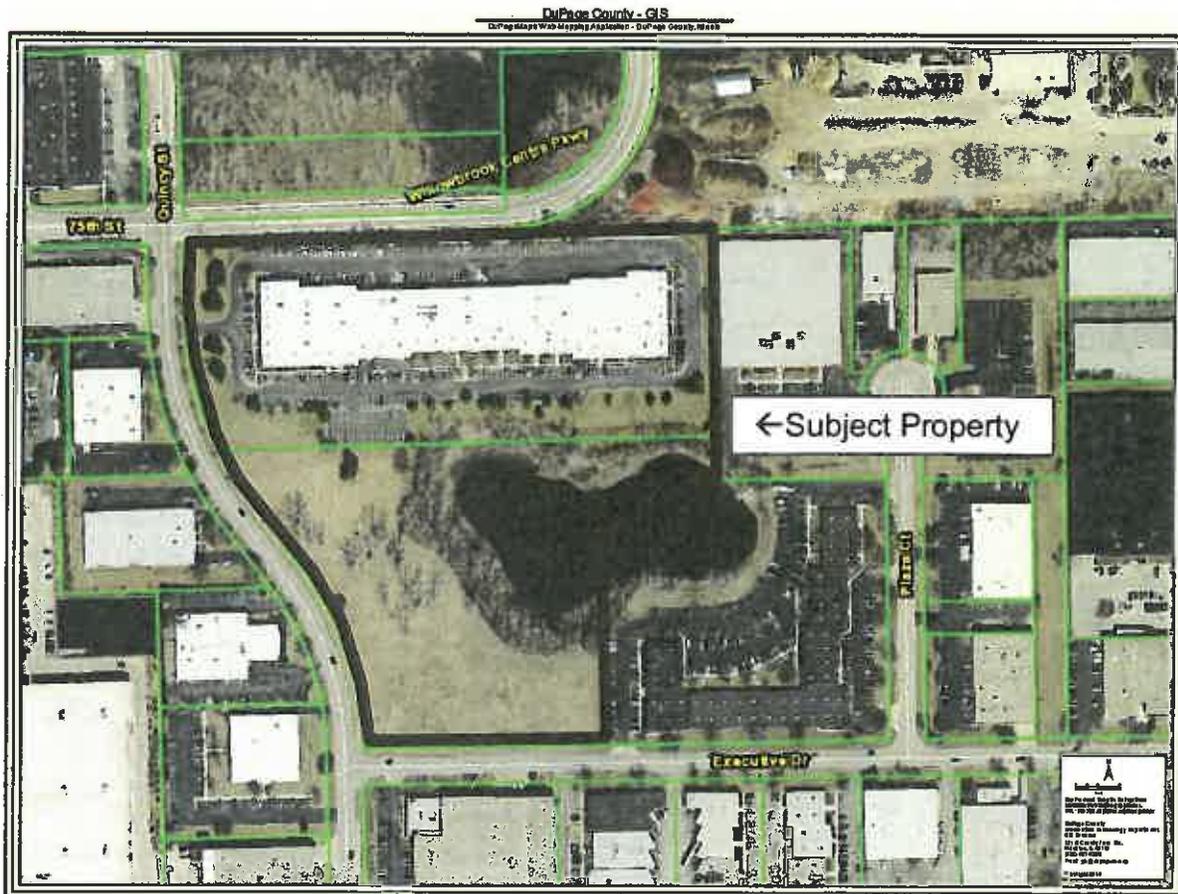
Necessary Action by Plan Commission: Conduct Public Hearing and provide direction to staff and applicant on details raised in the staff report, and direct applicant to prepare changes and/or final documents for final consideration at a future (next) meeting.

Site Description:

The subject property is located on the east side of Quincy Avenue between 75th Street/Willowbrook Centre Parkway on the north and Executive Drive on the south. The site is currently improved with one 94,976 square foot multi-tenant building at the north end of the site with site access from Quincy. Located south of the existing building is large undeveloped grassed and treed area and about two thirds of a large pond, which provides detention volume for these properties, as well as properties in the Plaza Court subdivision to the east.

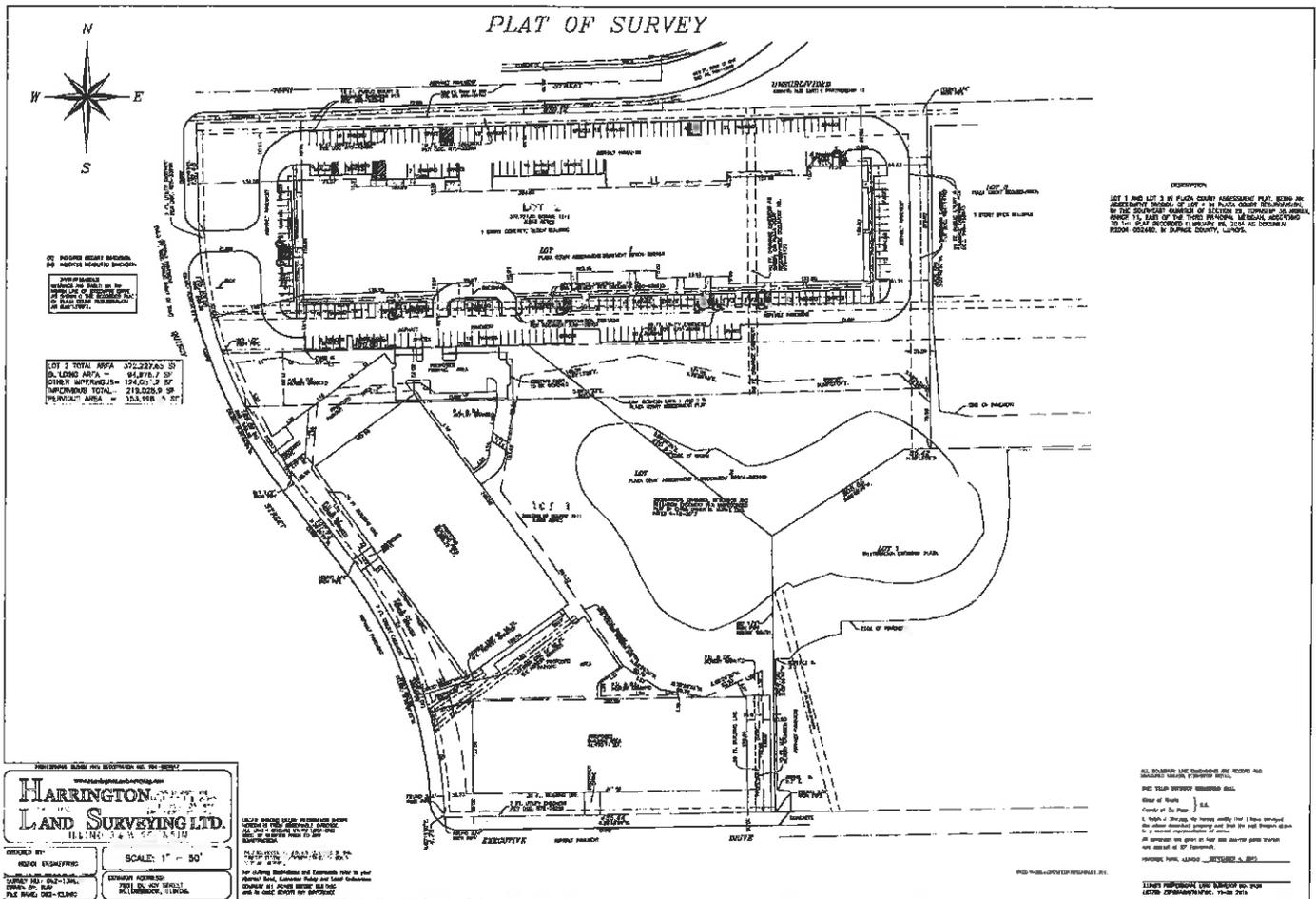
History and Proposal:

The applicant wishes to subdivide and receive PUD approval so that the existing building can be maintained on its own new separate lot. This lot would involve the shifting of an assessment lot line shown located just below (south) of the parking lot to the north, so that the smaller parking lot would become part of the improvements on the new southern lot.



The applicant proposes to build two (2) buildings on a newly created southern lot. As can be seen in the picture below, each of the two new lots will include part of the pond. A larger copy of this image is provided as an attachment. Note that one of the new buildings would parallel and front Quincy, while the southern building would parallel Executive and have frontage on both Quincy and Executive Drive. The new northern building is intended for “drive-in” general goods storage and will contain 55,656 square feet. Access to this building will be possible via a shared access

point through the existing parking lot of the building to the north and full access drives on both the north and south sides of the building. Patrons wishing to purchase a storage space will enter the parking lot on the south side of the building to access the office area, which will be in the southwest corner of the north building. Patrons wishing to store their goods within this building will enter the building in their cars from the north side of the building which provides access to a garage door located on the east side of the building. Once they are finished, they will exit the building through an exit-only garage door to Quincy located midpoint in the building. The second building is intended for the storage of automobiles. It will contain 44,410 square feet. Access to the building will be via Quincy, located between the two buildings. Patrons will be able to drive into the building on the north, and out of the building on the south side to Executive Drive, where the driveway aligns with the access drive to the business across the street. The east side of this building also has a "fire lane" emergency only access drive on the east side of the building.



A larger version of this drawing is attached as Exhibit 3

Staff Analysis

Bulk Regulations and PUD Standards

PUDs may depart from the strict conformance with the required density, dimension, area, height, bulk and other regulations for the underlying zoning district and other provisions of the Zoning Ordinance to the extent specified in the preliminary plat and document authorized the PUD so long as it will not be detrimental to or endanger the public health, safety and general welfare, except that there are no exceptions for complying with 7 of the 12 PUD Standards which will be discussed in more detail at the next meeting as part of the findings and recommendation by the Plan

Commission. The departures are identified as “exceptions” and outlined in any approving ordinance. A list of the underlying bulk requirements for which “exceptions” are being requested is provided in the table below.

Regulation	Required/Allowed	Provided
Lot 1 West Building Setback	40'	Minimum 30' (varied per plan)
Lot 1 South Building Setback	40'	30'
Lot 1 East Parking Setback	10'	5' for Fire Lane Only.
Lot 1 North Parking Setback	10'	0' (varied per plan)
Lot 1 Driveway to lot line	Minimum 70'	5' (fire lane only)
Lot 1 Minimum Foundation Lscape	7'	Minimum 0' (per plan)
Lot 1 Loading Space	1 for each building	None
Lot 1 Dumpster	1 enclosed and landscaped	None
Lot 2 South Parking Setback	10'	None
Lot 2 Parking	269	237
Spacing between driveways	Minimum 400'	310' between 2 northern drives
Driveway Centerline	Not < 70' from lot line	22.5 (only fire lane from east line per plan)
Landscaping		Per plan

Access, Circulation, and Parking Lots

As shown and discussed above, there are two main parking lots being added as part of the new development. The new northern parking lot will be accessed and located on the north side of the new north building. The parking lot will be accessible via a new driveway on Quincy, located about 310 feet south of the existing driveway serving the existing building on the north end of the property. The new north parking lot will also be accessible via the existing parking lot that serves the north building. Staff is recommending the end landscape islands be extended into the existing parking lot on Lot 1 to better define the cross connection and protect parked cars from turning movements. The cross connection between the existing and the new buildings will be covered by a new “cross access easement” allowing the perpetual cross-over between the two properties even if ownership on one or both lots changes in the future. There are a total of 53 parking spaces in the new north parking lot.

The second new parking lot will be located between the two new buildings, south of the lot discussed above. Patrons wishing to lease space in either of the two new buildings will use this parking lot to visit the leasing office located in the southwest corner of the north building. This lot will also be the primary entrance point for patrons who lease space in the south building to store their automobiles. There are a total of 18 parking spaces in the new south parking lot.

It is important to note that the location on both buildings where vehicles exit the building provides only a short distance between the building and the street, about enough for one car. Staff is recommending a condition that the flow through the building be mandated so that these doors may only be used to exit the building since reversing the flow and utilizing these doors to enter the buildings would cause backups in the public streets if more than one vehicle was waiting to enter the building.

Parking and Loading Space Requirements

Because this project involves the relocation of an existing lot line that effectively reduces parking for the existing building located on the north side of this lot, parking is evaluated for the existing building as well as the two new buildings:

- Existing Building Parking Requirement.** The existing building on the north side of the project provides 237 existing parking spaces, excluding those spaces in the small lot extension on the south, which contains 29 parking spaces. The developer intends that these new spaces will be redeveloped and incorporated on the lot with new construction. It is therefore necessary to evaluate whether the remaining existing parking adequately serves the existing building on the north end of this property.

The parking table below summarizes the Zoning Ordinance parking requirement for the existing 7501 Quincy building. This building accommodates nine tenants, most of whom are a hybrid of office, warehouse, and distribution uses, so while the table selects “the best” use classification for each tenant, it’s likely that each use isn’t solely a true “office” or “warehouse” user.

**Parking Calculations for 7501 Quincy
 (Tenants, Square Footages and Employee Data provided by Owner)**

Unit	Tenants	Sqft	Parking Use Type (1)	Emp	Sqft Park Calc	Emp Park Calc	Required Parking
100	Remprex	17,688	1	40	78.61		79
10	Carrier Corp	10,152	2	9	7.77	6	8
130	King Koil A	20,000	2	15	14.33	10	14
	King Koil B	6,797	1		30.21		30
140	Denbur, Inc	3,610	2	2	3.41	1.333333	3
145	South Side Control	3,835	2	2	3.56	1.333333	4
150	Those Funny Little People	3,883	2	2	3.59	1.333333	4
160	Rimkus	16,884	1	13	75.04		75
175	Federal Heath Sign Co	5,065	1	7	22.51		23
180	LaForce, Inc.	6,500	1	12	28.89		29
	TOTALS	94,414		102			269
	Available Parking						237

Surplus/(Deficit) (32)

(1) Parking Use Type

1 = Office = 1 space for every 225 square feet

2 = Warehouse, Storage and Mail Order Establishments = Greater of 4 spaces + 1 space for every 1,500 sf
 gt 4,500; or 1 space for every 1.5 employees'

The table concludes that based on a strict ordinance interpretation, the building requires 269 parking spaces, while only 237 are provided. This may be why the additional 30 spaces were constructed south of the existing southern lot in the past. It is interesting to note that the 269 space parking requirement is 167 parking spaces more than the total number of employees reported by the owner.

A recent count of actual cars on a Google map image counted 94 cars on the site, which might indicate an actual parking requirement closer to the number of employees. The site may be over-parked, and the Plan Commission should ask the applicant to clarify the actual

parking need for this building. If the Plan Commission deems appropriate, a maximum employee limitation could be placed on the 7501 Quincy building as a means to better regulate parking. This is possible given the flexibility afforded by the Planned Unit Development process. If this condition is imposed, it would be up to the owner to provide employment data to the Village with each new tenant occupancy. The alternative would be to leave things status quo, especially given that a cross access and shared parking agreement is in place that allows for shared access and parking of the new lot located on the north side of the north building.

2. **New Construction Parking Requirement.** The Zoning Ordinance does not provide a specific parking requirement for a “self-storage” use. The closest use defined in the ordinance is “Warehouse, Storage, Wholesale and Mail Order Establishments”, which requires the greater of 1 space for every 1.5 employees, or 4 spaces plus 1 additional space for every 1,500 square feet over 4,500 square feet. With 100,066 square feet of space in the two new buildings, this calculation requires 69 parking spaces, while 71 total parking spaces are provided on both the north and south sides of the building. Because patrons use this site primarily to either store a car in the south building or to arrive in their car, drive into the building and unload items into a storage locker, there is no real need to provide code compliant parking spaces for this use. In this regard, the site is probably over-parked. It is not uncommon for these types of uses to lease these spaces for the storage parking of trailers, RVs, and other vehicles. This is specifically prohibited in the M-1 zoning district, and will be included as a condition of approval as part of the PUD
3. **New Construction Loading Requirement.** The Zoning Ordinance requires one loading space for each of the two new buildings, however none are provided given the inside loading function of this particular use. The only concern with granting this exception given the design of the project is that there is no room to add loading spaces if at any point in the future this property is sold for a use other than a self-storage facility. The Plan Commission should consider whether conditions on future use should be imposed on this approval.

Stormwater Management

Detention for this property was provided in the past, when the owner made improvements to the existing pond to provide additional storage. It was determined at that time that the additional storage could be utilized for the future development of this southern vacant property. This is why there is no new stormwater feature included with this development. The pond improvements, however, do not meet the “bmp” requirements of the DuPage County Stormwater Ordinance, which is why “rain gardens” are incorporated into the design of Lot 1. The Village Engineer has evaluated the latest set of Civil Engineering documents for compliance with the County Ordinance and is satisfied that conditions are met.

Comprehensive Plan:

Similar to many of the surrounding properties, the Comprehensive Plan recommends industrial uses for this site. This development pattern was established when development began in the area and this site is one of only a couple of new development site remaining in the “industrial” area. Unfortunately, many of the industrial uses were constructed at a time with little regard to adequate provision of off-site loading, so many existing buildings in the park must use the public streets to wait and/or to maneuver into the loading dock areas. This is particularly prevalent along Quincy and the section of Executive Drive adjoining the subject property. This is why the developer was asked to ensure minimal traffic impacts on these adjoining streets. The proposed project’s design

meets this objective, but only if the vehicular flow through the buildings is directed on way...with the overhead doors along both street frontages only being used for exiting purposes. This is very important and will be memorialized as a condition of approval.

As a use that caters to the general public who have mostly home based goods to store, a self-storage facility is not specifically a use that is listed in the M-1 District. Although it has become apparent over the last couple of years that there is interest in properties in this area for non-traditional/non-industrial uses, the Village must exercise care when introducing these uses so as not to negatively impact the uses the area was planned for. While managing traffic and minimizing the interaction between business truck traffic and commercial automobile traffic is important as discussed above, so is maintaining the image of the area as a business/industrial park. Traditional self storage facilities like the one on Frontage Road would not be appropriate here visually, with all the overhead doors. The proposed “drive-in” storage facility works well in this location. On the other hand, the appearance of this project should be decidedly industrial, with great care taken not to allow an overly commercialized appearance. There are two facts about these types of indoor storage facilities that are fairly consistent in the industry; they’re big and they like to utilize large portions of the building elevations for corporate identity. See the pictures below. This project has been designed appropriately to function well and in harmony with its surroundings, but in order for the Plan Commission to make a finding that this use is consistent with the Comprehensive Plan, it will also be important that the overly commercialized appearance be regulated, while still providing appropriate opportunities for visibility and image. This has been somewhat overlooked so far, while everyone was working so hard to make the project function properly on the property. Elevation details are too limited at this point to ensure an appropriate design and use of the building’s elevations, and for this reason, staff is recommending these details be discussed at the meeting, direction provided and that these details be memorialized in document revisions for final PUD consideration at the next meeting. Additional information is provided below under “Elevations.”



Use:

The property is zoned M-1, which lists the following as a permitted use:

“Any production, manufacturing, assembling, processing, cleaning, servicing, testing, repair or storage of materials, goods or products and business offices accessory thereto, which conforms with the performance standards set out in Chapter 9 of this Title.” Chapter 9 mostly deals with typical noise, vibration, glare, and odor issues that can accompany some industrial uses. It is important to note that the M-1 District also includes the following standards, which will apply to this development:

- (A) **Outdoor Storage:** All operations, activities and storage shall be conducted wholly inside a building or buildings. The outdoor storage of trucks, buses and other vehicles is expressly prohibited.

The Village interprets this to prohibit the outdoor storage of vehicles in the parking lot by lease holders or for storage of vehicles for the purpose of renting vehicles or trailers for moving purposes.

- (B) **Retail Sales:** Except for medical cannabis dispensaries as provided in section [9-8-2](#) of this chapter, no retail sales or services shall be permitted except as incidental or accessory to a permitted use.

The Village normally would interpret that the retail sales of boxes or other storage/moving supplies in the leasing office would be permitted.

- (C) **Dispensing Of Gasoline:** Dispensing of gasoline from underground storage tanks on premises shall be limited to the requirements of vehicles necessary to the conduct of a permitted use.

The dispensing of gasoline will not be allowed on this site.

- (D) **Service Of Vehicles:** Service and maintenance of vehicles shall be permitted only such as is necessary to the conduct of a permitted use.

The servicing of vehicles will not be allowed on this site.

- (E) **Exterior Lighting:** Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent property, in compliance with the requirements of section [9-9-8](#) of this title.

- (F) **All Premises:** All premises shall be furnished with all weather, hard surface walks, and except for parking areas, the grounds shall be landscaped.

- (G) **Residential District:** If the lot adjoins a residential district, screening shall be provided at the lot line sufficient to protect on a year round basis the privacy of the adjoining residential uses.

- (H) **Residential Purposes:** No building shall be used for residential purposes. (Ord. 97-O-05, 1-27-1997)

Landscaping:

Existing landscaping on the site is limited mostly to the edge of the pond and in some scattered area within the vacant lot. The owner has complied with initial requests to preserve and enhance the existing landscaping along the pond, and some material between the existing a new development as possible. All interior plant materials will be cleared for development.

In addition to preserving perimeter pond landscaping, new landscaping is being provided around all edges and in the parkway. It is not possible to meet the code compliant landscaping requirements of the Zoning Ordinance because the plan incorporates "rain gardens" in many of the open areas around the perimeter as a means to comply with the "bmp" (best management practice) requirements DuPage County Stormwater Ordinance as discussed above. These rain gardens typically consist of variety of native grasses and perennials that, once established, are not mowed and appear more native. The purpose of these grasses is to slow down and clean stormwater before it enters the sewers. The plans call for all of these areas to be seeded, however staff recommends a mix of seeds and plugs for the 2 rain gardens visible along Quincy, as this will ensure immediate as well as long term functional benefits. The Landscape Architect commented this was done, however it needs to be clarified as staff was unable to understand where the detail was added in the plans. The plans should also be revised to clarify that all areas not planted with rain garden or plant materials shall be sodded.

The plan is also not code compliant with regard to foundation landscaping in a couple of areas. The code requires a mix of deciduous and evergreen shrubs in a 7' landscape strip. The north sides of both new buildings, the east side of the south building, and the elevations next to the pond areas do not have foundation landscaping. These areas are typically less visible from the street or have been screened by other means. Finally, the following additional modifications to the Landscape Notes are required:

1. Modify note number 5 to indicate substitutions must also be approved in writing by the Village of Willowbrook prior to delivery of material.
2. Modify note number 7 to indicate the Village must also inspect and approve the material prior to installation.
3. All parkways and the non-rain garden turf area north of the north parking lot on Lot 1 shall be sodded.
4. Landscaping around the monument sign shall be revised with materials more compatible with materials in the rain garden. An elevation would be helpful. This is discussed in more detail below under "Monument Signage"

Snow Removal:

There appears to be ample opportunities to manage snow without impact the parking on the site.

Garbage:

The new construction site does not provide for any outside enclosed dumpster area. The owner contends that providing any kind of dumpster outside is an invitation for everyone who leases space to use them for more than just their residual garbage. Furthermore, the owner says its office use will produce very little garbage, and that it would prefer to handle any garbage generated by the office or by necessary removal of items from abandoned spaces by taking it out and bringing inside on garbage day after pick up. This can be accommodated as part of the PUD, however staff has concerns. Specific information about garbage handling is provided on Sheet C-12 of the plans. It

provides details that up to a 2 yard dumpster will be utilized and moved in and out by office staff on garbage day, but it does not indicate where outside. This should be indicated on the plans and staff recommends it be in the northeast corner of Lot 1, as there is not another appropriate site to wheel out a 2 yard dumpster.

Staff also recommends a permanent outdoor location for an enclosed dumpster be identified and required in the future if outside garbage containers are consistently utilized outside more than just on pick-up days. One possible alternate location would be at the northeast corner of the site, where vehicles would enter the driveway to access the northern building.

Elevations

Elevation plans and color elevation drawings are provided for both building. Both buildings propose to use 10" insulated pre-cast panels with painted accent stripes. The north building (Building A) is 23' tall and includes a taller element (25') at the southwest corner near the office. The south building (Building B) is a continuous 23' tall building. The north building incorporates a series of spaced storefront type windows, which help break up the long expanse of building. Given that these windows are likely not intended as storefront windows, they should incorporate reflective glazing that does not allow visibility into the building. Storage facilities are notorious for utilizing "windows" as additional signage areas by placing brightly lit faux storage units behind the windows. With 7 large windows spaced along the Quincy frontage, this should not be allowed, except perhaps in the windows near the office. If something other than reflective glazing is utilized, additional details should be provided. Instead of typical "storefront" windows, Building B incorporates 4x4 square windows placed between 12' and 16' high along the façade. It is assumed these windows are more functional and intended to provide natural light into the car storage building. The windows are likely a more practical way to provide light without encouraging vandalism to the vehicles stored inside. Building B also incorporates something different on the corner with no details. The color elevation implies something very different, but staff cannot comment due to the lack of details.



Larger copies of these elevations are included as Exhibit 1

Staff recommends some additional architectural details in both buildings to help break the long horizontal lines. The difference in color and the slightly higher elevation near the office in Building A helps, but additional relief should be utilized on both buildings...especially Building B, which has no change in vertical elevation. Lighting details should be incorporated on the elevation plans, showing the location of proposed wall packs. It is also necessary that elevation plans be better coordinated with civil and landscape plans so that required "man doors" include necessary sidewalk additions (if required) and landscape modifications.

Staff is satisfied with the use of black, white and grey tones for the building color, as shown in the colored elevation, however these details need to be specified on the elevation drawings. Overhead door colors should also be specified. Modifications to building material or color should only be allowed for signage areas to allow appropriate branding. This is discussed in more detail below under "Signage".

Wall Signage:

Up to 100 square feet of wall signage is permitted on both buildings. The latest details show a wall sign near the office, along the Quincy frontage on Building A, and a wall sign on the south elevation of Building B, along the Executive Drive Frontage. The Sign on Building A needs to be revised so that the height of the largest element of the sign is indicated (which is larger than 27").

The latest elevation for a wall sign on the south elevation of Building B also exceeds the 100 square foot limitation, and is also shown placed upon the building material that was not defined very well on the elevation drawings as discussed above. Additional details are required for both the sign and the building material, before support can be provided, especially given that the final operator of this facility has not been identified. Failing to require specific details on this corner may be viewed as an invitation to incorporate more "corporate identity" than the Village may be willing to support.

Monument Signage:

Sheet C-12 provides details for the proposed monument sign, which is proposed to be located near the office, on the north side of the south parking lot. The proposed double faced sign will be situated in the middle of the rain garden which is at a lower grade. As a result, the base of the sign is about 4' high. This rain garden area is heavily planted with native plants, grasses and perennials so it is not clear how landscaping around the sign will work. Grading and landscaping details as part of the elevation detail would be helpful. It is unclear how the proposed signage landscaping will be incorporated with the rain garden landscaping. Additionally, in lieu of the aluminum covering, the base of the sign needs to incorporate the same material as the building in order to comply with the Zoning Ordinance.

HVAC and other Utilities

The location of HVAC and other utilities should be identified. If they are at grade level and visible to the street, they should be screened. If they are on the rooftop, they should also be screened depending on their size and location. Screening details, if necessary, should be provided on the plans

Public Improvements

The only public improvements required as part of this project are the extension of the sidewalk along Quincy and new and replacement parkway trees, which are provided on the plans.

Summary

Staff is generally supportive of the use and the proposed design layout on the site. Efforts so far have focused very successfully on making this product work physically on this site, and there are only minor modifications in that regard that are required. Additional efforts, however, are required to ensure the intended uses on and within the property are fully understood and to finalize details on materials and elevation details and signage or identity as discussed in this report. This is a relatively large project in a very visible and well-traveled part of the community, and additional efforts from the Village and the developer are required to solidify details that ensure the end product will be successful for the end use while remaining compatible with the industrial environment it will share with its neighbors, which ensures compatibility of this project with the Comprehensive Plan. Staff therefore recommends the Plan Commission conclude the public hearing if all testimony is concluded, but that the Plan Commission continue its final consideration of its recommendation to its next meeting to allow an opportunity for these important plan details to be more carefully discussed, understood, and memorialized in revised plans and documents.

Exhibit 2

Exceptions of PC 15-06

Regulation	Required/Allowed	Provided
Lot 1 West Building Setback	40'	Minimum 30' (varied per plan)
Lot 1 South Building Setback	40'	30'
Lot 1 East Parking Setback	10'	5' for Fire Lane Only.
Lot 1 North Parking Setback	10'	0' (varied per plan)
Lot 1 Driveway to lot line	Minimum 70'	5' (fire lane only)
Lot 1 Minimum Foundation Lscape	7'	Minimum 0' (per plan)
Lot 1 Loading Space	1 for each building	None
Lot 1 Dumpster	1 enclosed and landscaped	None
Lot 2 South Parking Setback	10'	None
Lot 2 Parking	269	237
Lot 1 Parking	71	69
Spacing between driveways	Minimum 400'	310' between 2 northern drives
Driveway Centerline	Not < 70' from lot line	22.5 (only fire lane from east line per plan)
Landscaping		Per plan

Exhibit 3

List of Approved Documents for PC 15-06

Digital copies of the documents indicated as "on file" were not provided and are therefore not attached to this report. Three hard copies are "on file" and will be available for inspection at the meeting.

3a. Color Elevations (2 Sheets, on file)

3b. ROC Industrial Subdivision (2 Sheets, attached)

3c. Landscape Plan (2 Sheets, on file)

3d. Photometric Plans (3 Sheets, attached)

3e. Building A details (10 Sheets, on file)

3f. Building B details (14 pages, on file)

3G. Final Engineering (14 pages, attached with the exception of revised Sheet C12, on file)

FINAL PLAT ROC INDUSTRIAL P.U.D.

P.I.N. 09-26-403-027
09-26-403-028

SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
835 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



BASE OF BEARINGS
BEARINGS ARE BASED ON THE
NORTH LINE OF EXECUTIVE DRIVE
AS SHOWN ON THE RECORDED
PLAT OF PLAZA COURT
RESUBDIVISION AS S.89°13'09"E.

(R) INDICATES RECORD DIMENSION
(M) INDICATES MEASURED DIMENSION

AREA IS EQUAL TO:
672,518.54 SQUARE FEET OR 15.434
ACRES

P.U. INDICATES PUBLIC UTILITY EASEMENT
D.E. INDICATES DRAINAGE EASEMENT

LINE DIMENSIONS

NO.	BEARING	DISTANCE
L1	N.84°15'13"E	60.06
L2	S.69°11'13"E	28.63
L3	N.88°27'29"E	64.27
L4	S.33°00'00"E	6.80
L5	S.55°00'00"W	49.94
L6	N.67°11'01"E	109.00
L7	S.54°07'38"E	24.88
L8	N.89°21'36"E	79.08
L9	S.07°43'53"W	22.57
L10	S.10°18'40"W	31.70
L11	S.54°07'36"E	26.29
L12	S.10°31'04"W	11.07
L13	N.54°07'36"W	25.65
L14	S.10°18'40"W	21.87
L15	S.48°21'18"W	25.25
L16	N.35°00'00"W	129.82
L17	S.67°11'01"W	118.42
L18	S.55°00'00"W	14.52
L19	S.05°15'47"W	67.81
L20	S.38°00'00"W	122.70
L21	S.65°00'00"W	10.77
L22	S.37°14'0"E	33.76

LINE DIMENSIONS

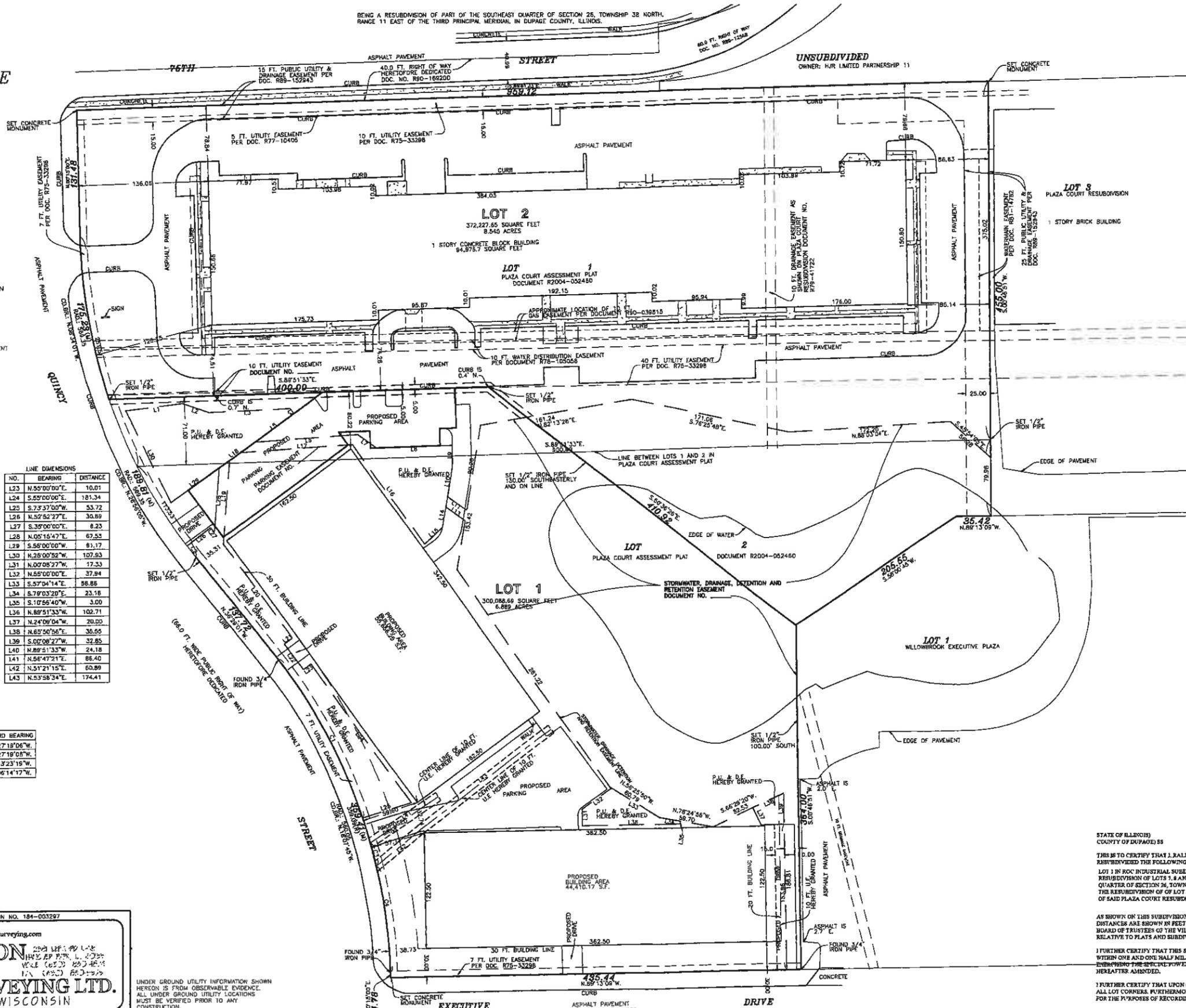
NO.	BEARING	DISTANCE
L23	N.55°00'00"E	10.01
L24	S.55°00'00"E	181.34
L25	S.73°37'00"W	53.72
L26	N.52°52'27"E	30.89
L27	S.39°00'00"E	8.23
L28	N.05°15'42"E	67.55
L29	S.58°00'00"W	81.17
L30	N.25°00'52"W	107.93
L31	N.07°08'27"W	17.33
L32	N.55°00'00"E	37.94
L33	S.57°04'14"E	88.88
L34	S.78°03'20"E	23.18
L35	S.10°56'40"W	3.00
L36	N.89°51'33"W	102.71
L37	N.24°09'04"W	20.00
L38	N.65°00'06"E	35.65
L39	S.02°08'27"W	32.85
L40	N.89°51'33"W	24.18
L41	N.56°47'21"E	86.40
L42	N.57°21'15"E	60.89
L43	N.53°58'34"E	174.41

CURVE DIMENSIONS

NO.	ARC LENGTH	RADIUS	CHORD BEARING
C1	191.70	560.05	N.27°19'06"W
C2	14.53	569.35	N.27°19'08"W
C3	25.42	560.05	N.13°23'19"W
C4	114.37	560.05	N.06°14'17"W

USE AREA TABULATION

LAND AREA:
NO. OF BUILDINGS - 2
NO. OF DWELLING UNITS - NONE
NO. OF DWELLING UNITS PER ACRE - NONE



SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com

HARRINGTON

LAND SURVEYING LTD.

ILLINOIS & WISCONSIN

UNDER GROUND UTILITY INFORMATION SHOWN
HEREON IS FROM OBSERVABLE EVIDENCE.
ALL UNDER GROUND UTILITY LOCATIONS
MUST BE VERIFIED PRIOR TO ANY
CONSTRUCTION.

THIS PROFESSIONAL SERVICE CONFORMS TO THE
CURRENT ILLINOIS MICHIGAN STANDARDS FOR A
SURVEYING SERVICE.

For Building Restrictions and Easements refer to your
Abstract Draw, Guarantees Policy and Local Ordinances.
COMPARE ALL POINTS BEFORE BUILDING
AND AT ONCE REPORT ANY DIFFERENCE

ORDERED BY:
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD
DRAWN BY: RJM
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7601 QUINCY STREET
WILLOWBROOK, ILLINOIS.

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT J. RALPH J. MARUGG, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2466, HAVE SURVEYED AND
RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 1 IN ROC INDUSTRIAL SURVEYS/PLAT, BEING A RESUBDIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A
RESUBDIVISION OF LOTS 1, 4 AND 5 IN WILLOWBROOK EXECUTIVE PLAZA, A RESUBDIVISION OF PART OF THE SOUTHEAST
QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF LOT 2 IN
THE RESUBDIVISION OF OF LOT 35 IN WILLOWBROOK EXECUTIVE PLAZA AFOREMENTIONED, ACCORDING TO THE PLAT
OF SAID PLAZA COURT RESUBDIVISION RECORDED MAY 22, 1979 AS DOCUMENT R79-4722 IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND RESUBDIVISION, ALL
DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE
BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS,
RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR
WITHIN ONE AND ONE HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLANNED IS
HEREBY THE SUPERINTENDING POWERS AUTHORIZED BY ARTICLE 11, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR
HEREAFTER AMENDED.

I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS WILL BE SET AT
ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT
FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL, AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D. 2015

RALPH J. MARUGG
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2466
2381 LEEWARD LANE
HANOVER PARK, ILLINOIS.

FINAL PLAT
ROC INDUSTRIAL P.U.D.

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.L.N. 09-26-403-027
09-26-403-028

SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
835 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527



FLOOD ZONE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C 0909 H
REVISED DATE, DECEMBER 14, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "X". NO PORTION OF THE PARCEL IS
LOCATED IN ZONE "A", AREA OF 100-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2406

SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT I, _____, AS OWNER OF THE PROPERTY DESCRIBED AS THE
SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME, HAVE DETERMINED TO
THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH SAID SUBDIVISION IS SITUATED WITHIN.

ELEMENTARY SCHOOL DISTRICT _____ HIGH SCHOOL DISTRICT DISTRICT 86

OWNER
DATED THIS _____ DAY OF _____, A.D., 2015.

STATE OF ILLINOIS
COUNTY OF DUPAGE

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
I AM PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE AFORESAID
INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE); THEY SIGNED
THE ANNEXED PLAT AS HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT(S) FOR THE PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC _____
COMMISSION EXPIRES: _____

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY,
ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 2015.

By: _____
PRESIDENT

ATTEST:
VILLAGE CLERK

VILLAGE ENGINEERS CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT
THE PUBLIC IMPROVEMENTS FOR THIS SUBDIVISION AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREFOR, MEET THE
MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION
THEREOF.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

VILLAGE ENGINEER _____

DUPAGE COUNTY SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE) SS

APPROVED BY THE DIRECTOR OF PUBLIC WORKS FOR THE COUNTY OF DUPAGE, ILLINOIS, DATED THIS _____ DAY OF _____, A.D., 2015.

DIRECTOR _____

VILLAGE COLLECTOR CERTIFICATE

I, _____, COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY
CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS
OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF
LAND INCLUDED IN THIS PLAT.

VILLAGE COLLECTOR _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE
COUNTY, ILLINOIS, THIS _____ DAY OF _____, 2015.

SIGNED _____
CHAIRMAN

ATTEST:
RECORDING SECRETARY

UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER
PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING FROM
TIME TO TIME UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT
PROVIDING SERVICE TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO AMERITECH, NORTHERN ILLINOIS GAS COMPANY,
COMMONWEALTH EDISON COMPANY, DUPAGE PUBLIC WORKS, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENTAL CONCERNS,
AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS
BOUNDED BY THE LOT LINE AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY
AND DRAINAGE EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE
OBLIGATION, FROM TIME TO TIME TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR,
REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN
CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE
TELEVISION SERVICES, SANITARY SEWER AND ANY OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION
OF AND COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DEEMED NECESSARY BY
SAID VILLAGE, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON
THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE
CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT,
TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE
RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED
OVER GRANTEE'S FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR
WRITTEN CONSENT OF GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED
IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEE'S OTHER
RIGHT PROVIDED HEREIN. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND/OR RETENTION PURPOSES ARE GRANTED UNDER
A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES AND APPURTENANCES THERETO, SHALL BE CONTROLLED BY
SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC
GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON
THE OWNERS OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

1. A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE
VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS
BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC
UTILITY AND DRAINAGE EASEMENT. SAID GRANT OF EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM
TIME TO TIME TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE,
RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES
THERE TO IN, OVER, UNDER, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THOSE
PURPOSES.
2. NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR
THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY
AND ALL DRAINAGE FACILITIES AND APPURTENANCES THEREOF, LOCATED IN, OVER, THROUGH AND/OR UPON SUCH LOT,
INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGEATION REMOVAL, SOIL EROSION CONTROL, DITCH PROFILING, STORM
SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM GRATES. NO OBSTRUCTIONS SHALL BE PLACED, NOR
ALTERATIONS MADE, WHICH IN ANY MANNER IMPEDES OR DIMINISHES STORM WATER DRAINAGE, DETENTION OR RETENTION IN,
OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT OBLIGATION. THE VILLAGE OF
WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH
MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND
ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON
SUCH MAINTENANCE IS PERFORMED. SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY
CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO
UNPAID SPECIAL TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND
INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL
STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS
_____ DAY OF _____, 2015.

BY: _____
COUNTY CLERK

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE
CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH
SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR
COLLECTION AND DIVERSION OF SUCH SURFACE WATERS ONTO PUBLIC AREAS, OR DRAINS WHICH
THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN
ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE
LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE
SUBDIVISION.

DATED THIS _____ DAY OF _____, 2015.

BY: _____
ENGINEER

BY: _____
OWNER OR ATTORNEY

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED
IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR INTEREST IN
SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND
RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH,
AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE
THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WILLOWBROOK LLC
1804 N. KAPER BOULEVARD
SUITE 400
NAPREVILLE, ILLINOIS

MANAGING MEMBER _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE
STATE AFORESAID, DO HEREBY

CERTIFY THAT
PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED
TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN
PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE ANNEXED PLAT
AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET
FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC _____

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS.

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND
DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR
INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE
SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES
THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE
STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WCBS LLC

1804 N. KAPER BOULEVARD
SUITE 400
NAPREVILLE, ILLINOIS

MANAGING MEMBER _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS.

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE
STATE AFORESAID, DO HEREBY

CERTIFY THAT
PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE)
SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME
THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE
ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND
PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC _____

MORTGAGE CERTIFICATE

STATE OF _____)
COUNTY OF _____) SS.

THE UNDERSIGNED WELLS RAIT FINANCIAL TRUST AS MORTGAGEE UNDER MORTGAGE
RECORDED IN THE RECORDER'S OFFICE OF _____ COUNTY,
ON _____ DAY OF _____, A.D. _____,
AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES
THE RESUBDIVISION AND THE PLAT HEREON DRAWN.

RAIT FINANCIAL TRUST

BY: _____

ATTEST: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS.

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY
THAT _____ OF _____

WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO
THE FOREGOING INSTRUMENT AS SUCH _____ AND
RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED
AND DELIVERED THIS SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE
AND VOLUNTARY ACT OF SAID _____ AS MORTGAGEE, FOR THE USES AND PURPOSES
THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC _____

SHEET 2 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 164-003287

www.HarringtonLandSurveying.com
HARRINGTON
LAND SURVEYING LTD.
ILLINOIS & WISCONSIN

ORDERED BY:
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD
DRAWN BY: RJM
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7801 QUINCY STREET
WILLOWBROOK, ILLINOIS.

STATE OF ILLINOIS) SS
COUNTY OF DUPAGE)

THIS INSTRUMENT NO. _____ WAS FILED IN THE RECORDER'S OFFICE OF DUPAGE
COUNTY, ILLINOIS AFORESAID ON THIS _____ DAY OF _____, A.D., 2015.
O'CLOCK _____

BY: _____
RECORDER OF DEEDS

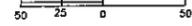
For Building Restrictions and Easements refer to your
Abstract Deed, Guarantee Policy and Local Ordinances.
COMPARE ALL POINTS BEFORE BUILDING
AND AT ONCE REPORT ANY DIFFERENCE

FINAL PLAT ROC INDUSTRIAL SUBDIVISION

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 36 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.L.N. 09-26-403-027
08-26-403-028

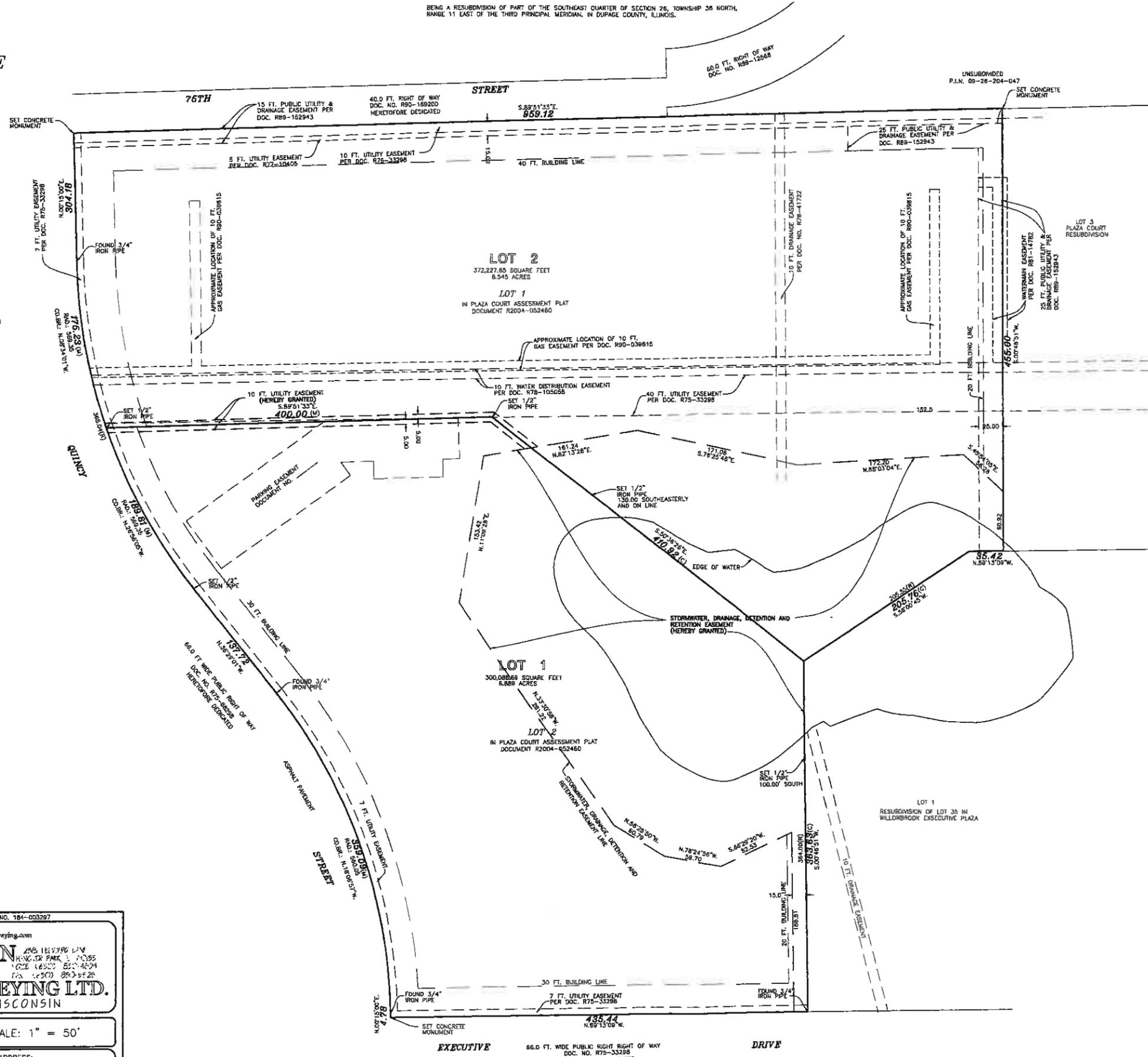
SUBMITTED BY AND RETURN TO:
VILLAGE OF WILLOWBROOK
635 MIDWAY DRIVE
WILLOWBROOK, ILLINOIS 60527



BASE OF BEARINGS
BEARINGS ARE BASED ON THE
NORTH LINE OF EXECUTIVE DRIVE
AS SHOWN ON THE RECORDED PLAT
OF PLAZA COURT RESUBDIVISION
AS S.89°13'08"E.

(R) INDICATES RECORD DIMENSION
(M) INDICATES MEASURED DIMENSION
(C) INDICATES CALCULATED DIMENSION

AREA IS EQUAL TO:
672,316.34 SQUARE FEET OR 15.434
ACRES



SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com
HARRINGTON
LAND SURVEYING LTD.
ILLINOIS & WISCONSIN

ORDERED BY:
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13WEST
DRAWN BY: RJM

COMMON ADDRESS:
7801 QUINCY STREET
WILLOWBROOK, ILLINOIS.

ROC INDUSTRIAL SUBDIVISION

P.L.N. 08-26-403-027
08-26-403-028



FLOOD ZONE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 1706C 000 H REVISED DATE, DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "X", NO PORTION OF THE PARCEL IS LOCATED IN ZONE "A". AREA OF 100-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2456

SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT I, _____ AS OWNER OF THE PROPERTY DESCRIBED AS THE _____ SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH SAID SUBDIVISION IS SITUATED WITHIN.

ELEMENTARY SCHOOL DISTRICT _____ HIGH SCHOOL DISTRICT _____ DISTRICT _____ DISTRICT 86

OWNER DATED THIS _____ DAY OF _____, A.D., 2015.

STATE OF ILLINOIS
COUNTY OF DUPAGE

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT I AM PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE AFORESAID INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/ THEY SIGNED THE ANNEXED PLAT AS HIS/HER/THEIR OWN FREE AND VOLUNTARY ACT(S) FOR THE PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC
COMMISSION EXPIRES: _____

STATE OF ILLINOIS
COUNTY OF DUPAGE

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS _____ DAY OF _____, A.D., 2015.

By: _____
PRESIDENT
ATTEST: _____
VILLAGE CLERK

VILLAGE ENGINEERS CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE

I, _____ VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT THE PUBLIC IMPROVEMENTS FOR THIS SUBDIVISION AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREOF, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015.

VILLAGE ENGINEER

DUPAGE COUNTY SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS FOR THE COUNTY OF DUPAGE, ILLINOIS, DATED THIS _____ DAY OF _____, A.D., 2015.

DIRECTOR

VILLAGE COLLECTOR CERTIFICATE

I, _____ COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

VILLAGE COLLECTOR

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 2015.

SIGNED _____
CHAIRMAN

ATTEST: _____
RECORDING SECRETARY

UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICE TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO AMERITECH, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, DUPAGE COUNTY WORKS, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENTAL CONCERNS, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER AND ANY OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF AND COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEE'S FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEE, AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEE'S OTHER RIGHT PROVIDED HEREIN. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND OR RETENTION PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES AND APPURTENANCES THERE TO, SHALL BE CONTROLLED BY SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNERS OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

- A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. SAID GRANT OF EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERE TO, IN OVER, UNDER, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THOSE PURPOSES.
- NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERE TO, LOCATED IN, OVER THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROFILING, STORM SEWER CLEANING, BLOCKAGE REMOVAL, AND REPLACEMENT OF STORM GRATES. NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPEDE OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT OBLIGATION. THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____, 2015.

BY: _____
COUNTY CLERK

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS ONTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 2015.

BY: _____
ENGINEER

BY: _____
OWNER OR ATTORNEY

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WILLOWBROOK LLC
1804 N. NAHER BOULEVARD
SUITE 460
NAPREVILLINOIS, ILLINOIS
MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015

NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED IN THE ANNEXED PLAT AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR INTEREST IN SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CAUSED THE SAME TO BE SURVEYED AND RESUBDIVIDED AS INDICATED THEREON FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS _____ DAY OF _____, A.D., 2015.

ROC WCBLS LLC
1804 N. NAHER BOULEVARD
SUITE 460
NAPREVILLINOIS, ILLINOIS

MANAGING MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)

I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (THEY) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D., 2015

NOTARY PUBLIC

MORTGAGE CERTIFICATE

STATE OF _____)
COUNTY OF _____)

THE UNDERSIGNED WELLS RAIT FINANCIAL TRUST AS MORTGAGEE UNDER MORTGAGE RECORDED IN THE RECORDERS OFFICE OF _____ COUNTY, _____ ON _____ DAY OF _____, A.D., _____ AS DOCUMENT NO. _____ HEREBY CONSENTS TO AND APPROVES THE RESUBDIVISION AND THE PLAT HEREON DRAWN.

RAIT FINANCIAL TRUST

BY: _____

ATTEST: _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT _____ OF _____

WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID _____ AS MORTGAGEE, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, A.D., 2015.

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, RALPH J. MARUOG, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2456, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY: LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 7, 8 AND 9 IN WILLOWBROOK EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF LOT 10 OF THE RESUBDIVISION OF LOT 35 IN WILLOWBROOK EXECUTIVE PLAZA AFORESAID, ACCORDING TO THE PLAT OF SAID PLAZA COURT RESUBDIVISION RECORDED MAY 22, 1999 AS DOCUMENT R34-1172 IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR WITHIN ONE AND ONE HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLANNED IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE 11, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS WILL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS _____ DAY OF _____, A.D., 2015

RALPH J. MARUOG
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2456
2881 LEDWARD LANE
HANOVER PARK, ILLINOIS

SHEET 2 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003287

www.HarringtonLandSurveying.com

HARRINGTON LAND SURVEYING LTD.

ILLINOIS & WISCONSIN

ORDERED BY:
KOZIOŁ ENGINEERING

SCALE: NONE

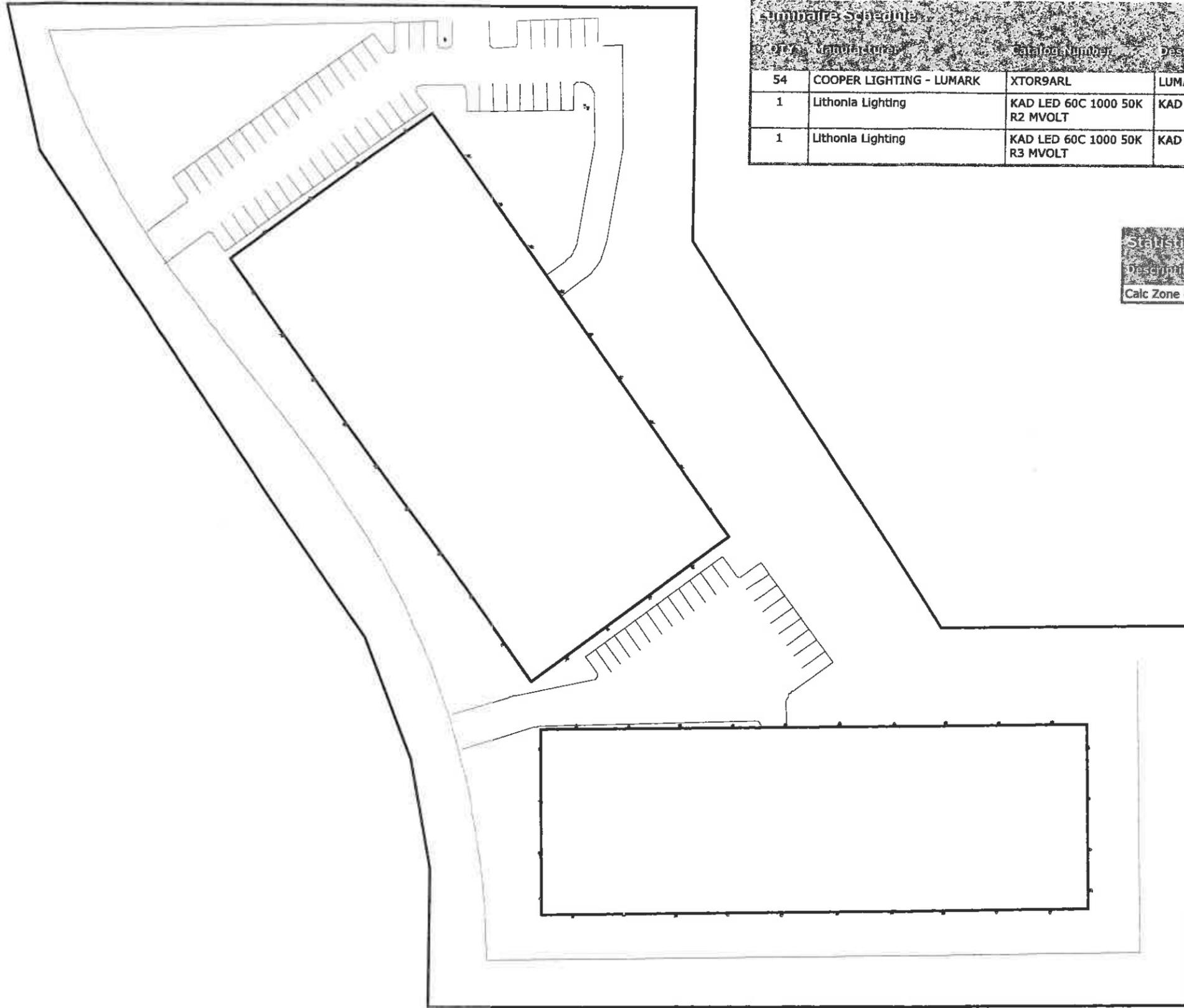
SURVEY NO.: 062-13WEST
DRAWN BY: RJM
FILE NAME: 062-13.DWG

COMMON ADDRESS:
7601 QUINCY STREET
WILLOWBROOK, ILLINOIS

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS INSTRUMENT NO. _____ WAS FILED IN THE RECORDERS OFFICE OF DUPAGE COUNTY, ILLINOIS AFORESAID ON THIS _____ DAY OF _____, A.D., 2015.

BY: _____
RECORDER OF DEEDS



Plan View

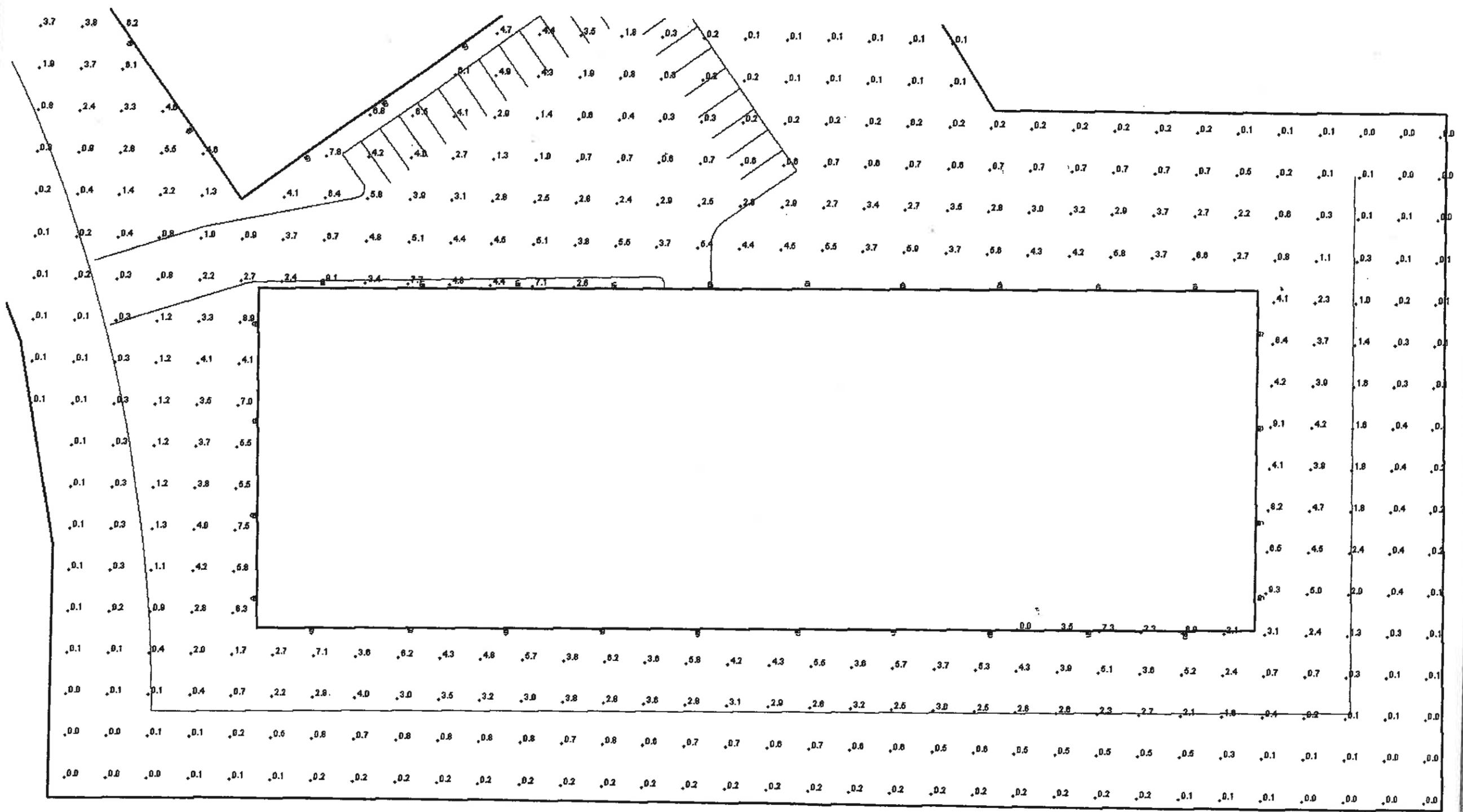
QTY	Manufacturer	Catalog Number	Description	Watts
54	COOPER LIGHTING - LUMARK	XTOR9ARL	LUMARK CROSSTOUR MAXX LED 85W - 5000K, REFRACTIVE LENS	84.6
1	Lithonia Lighting	KAD LED 60C 1000 50K R2 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 2 OPTICS.	432
1	Lithonia Lighting	KAD LED 60C 1000 50K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 3 OPTICS.	216

Statistics								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max	
Calc Zone #1	+	1.8 fc	9.3 fc	0.0 fc	N/A	N/A	0.2:1	

**7601 Quincy St
 Willowbrook, IL
 LED Wall Packs**

Designer
 Josh Helsel
Date
 6/4/2015
Scale
 Not to Scale
Drawing No.

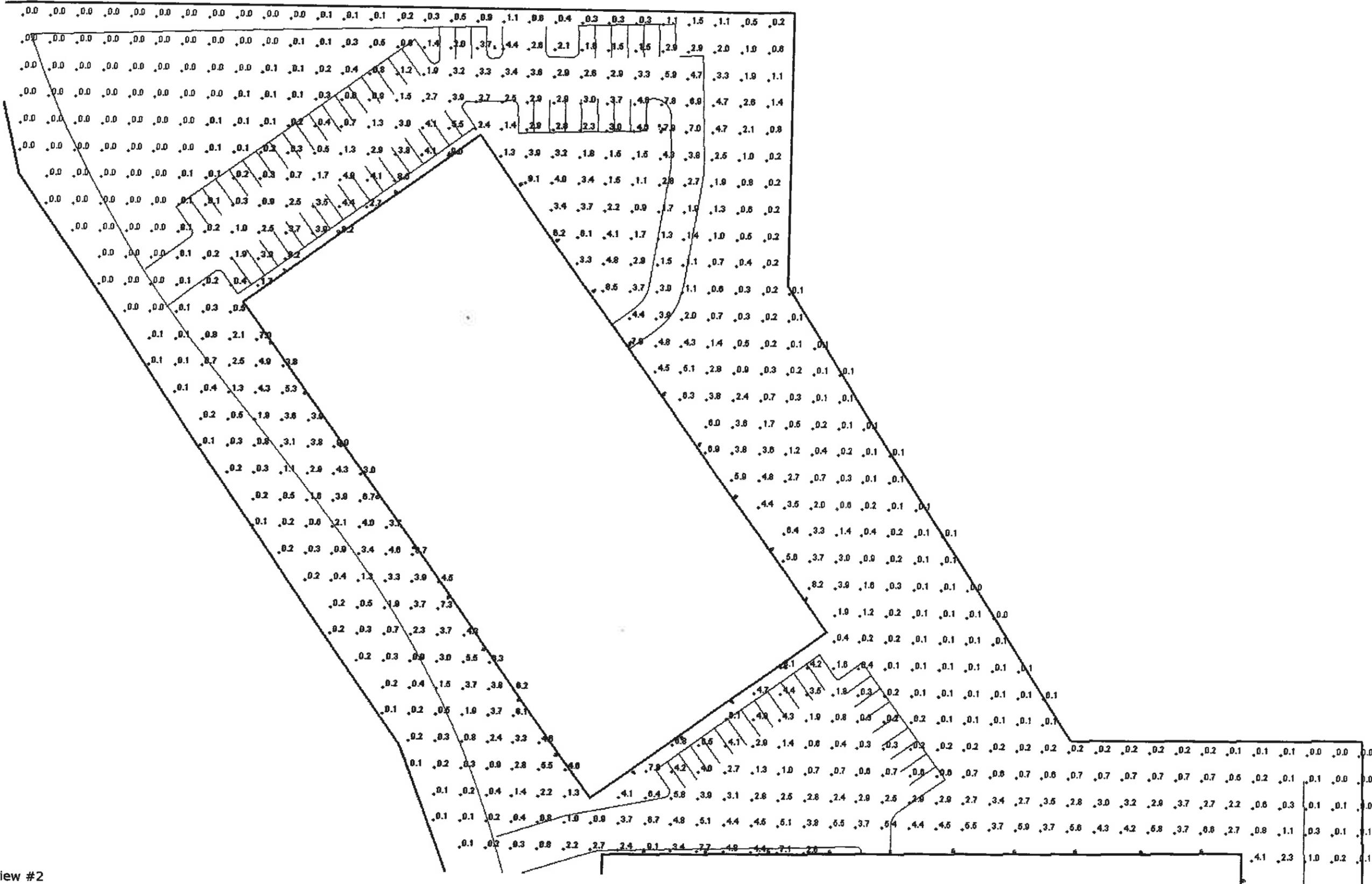
Summary



View #1

7601 Quincy St
 Willowbrook, IL
 LED Wall Packs

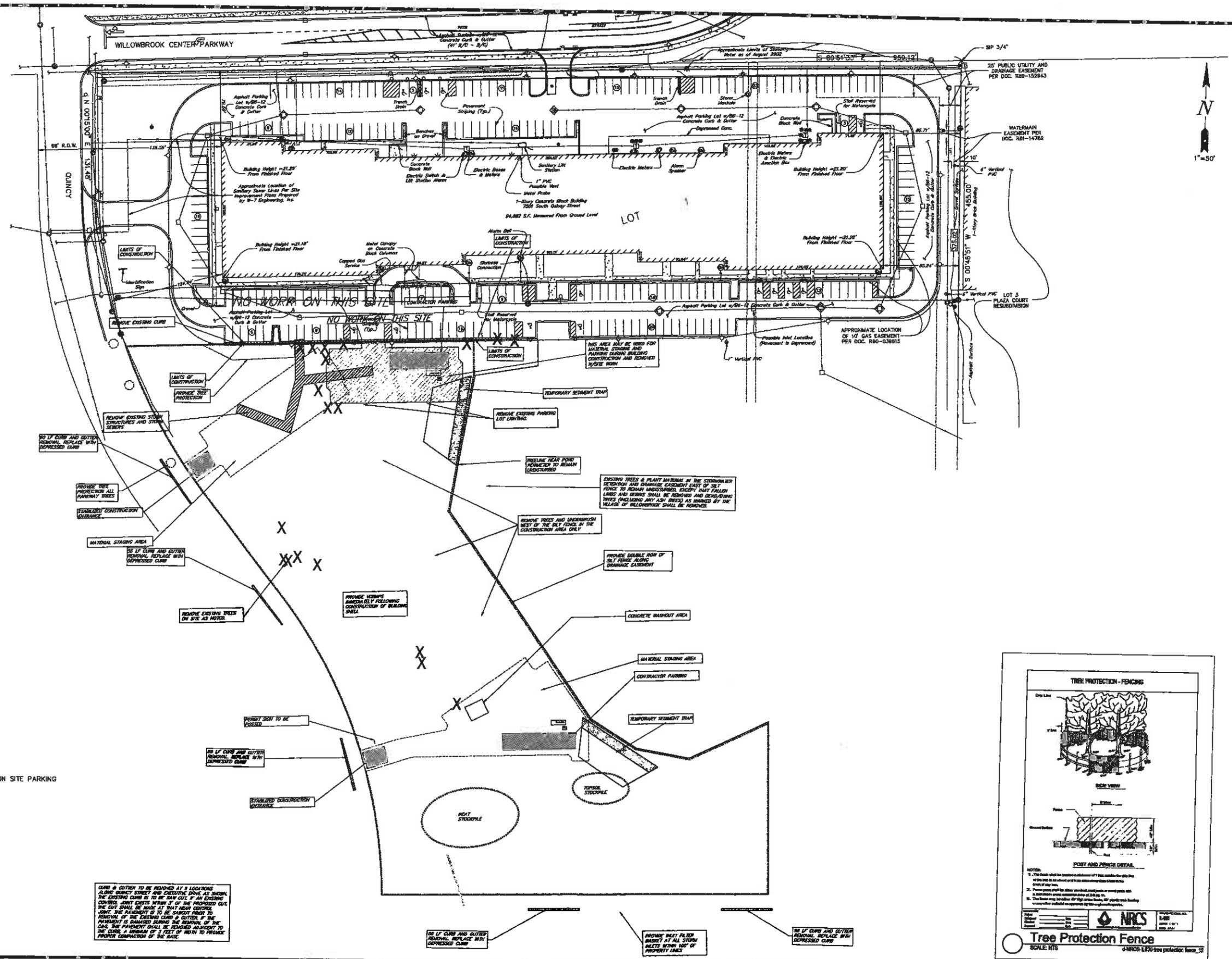
Designer
 Josh Helsel
 Date
 6/4/2015
 Scale
 Not to Scale
 Drawing No.
 Summary



View #2

7601 Quincy St
Willowbrook, IL
LED Wall Packs

Designer
Josh Helsel
Date
6/4/2015
Scale
Not to Scale
Drawing No.
Summary



X TREES TO BE REMOVED
 PROPOSED CONTRACTOR ON SITE PARKING

CURB & GUTTER TO BE REMOVED AT 8 LOCATIONS ALONG QUINCT STREET AND EXISTING DRIVE AS SHOWN. THE EXISTING CURB IS TO BE SAW CUT, IF AN EXISTING CONCRETE JOINT EXISTS WITHIN 3' OF THE PROPOSED CUT, THE CUT SHALL BE MADE AT THAT JOINT. THE PAVEMENT IS TO BE SAWCUT PRIOR TO REMOVAL OF THE EXISTING CURB & GUTTER. IF THE PAVEMENT IS DAMAGED DURING THE REMOVAL OF THE CURB, THE PAVEMENT SHALL BE REPAIRED ADJACENT TO THE CURB. A MINIMUM OF 3' DIST. OF NEW TO PROVIDE PROPER COMPACTON OF THE BASE.

PROVIDE LEGS AS NECESSARY FOLLOWING CONSTRUCTION OF BUILDING SHELL

EXISTING TREES & PLANT MATERIALS IN THE STOPPING ZONE AND DRAINAGE EASEMENT EAST OF S.E. 7' LINES AND BEYOND SHALL BE REMOVED AND EXISTING TREES (INCLUDING ANY ADV. TREES) AS MARKED BY THE RELEASE OF WILLOWBROOK SHALL BE REMOVED.

REMOVE TREES AND UNDERBRUSH WEST OF THE S.E. 7' LINE IN THE CONSTRUCTION AREA ONLY

PROVIDE DOUBLE ROW OF SILT FENCE ALONG DRAINAGE EASEMENT

CONCRETE WASHOUT AREA

INTERNAL STAGING AREA

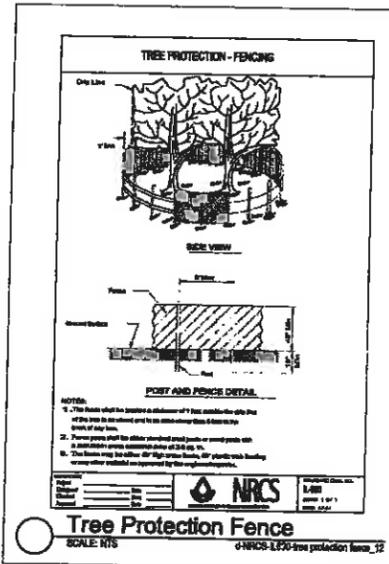
CONTRACTOR PARKING

TEMPORARY SEDIMENT TRAP

POST STOCKPILE

PROVIDE NEAR FLYING BASKET AT ALL STOPPING SALES WITHIN 100' OF PROPERTY LINE

NO 12" CURB AND GUTTER REMOVAL, REPLACE WITH DEPRESSION CURB



DESIGNED BY: JEK DRAWN BY: JEK SCALE: 1/50 FILE NAME: 14189
 DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

KOZIOL ENGINEERING SERVICES
 PROFESSIONAL ENGINEERS
 1821 Ogden Avenue
 Oak Brook, IL 60452
 PH: (630) 438-8888 F: (630) 438-8889
 www.koziol-engineering.com



REV	DATE	DESCRIPTION
0	02/24/15	CONCEPT PLAN
1	02/25/15	FINAL ENGINEERING
2	02/25/15	FINAL ENGINEERING
3	02/25/15	FINAL

EXIST COND./ DEMO / SWPPP PLAN
 7601 S. QUINCT ST.
 WILLOWBROOK, IL



PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK TO BE EXTENDED TO 75TH ST. TO THE NORTH. SET 1.0' OFF THE PROPERTY LINE. MATCH GRADE ALONG EAST SIDE OF SIDEWALK AND PITCH @ 2.0% (MAX) TO THE STREET SIDE.

RIM:709.63
INV:706.33

SIGN TYPE 'F'



ALL SIGNS TO BE SETBACK 5.0' (MIN) FROM PROPERTY LINE)

(4.806oc)

BE A SMALL DUMPSTER TO THE MANAGEMENT CLEANING OUT STORAGE THE DUMPSTER WILL BE EARLY SCHEDULED DAY TO BE HAULER. THE DUMPSTER WENT THE SAME DAY AS

BE LIMITED TO A LARGE THE MANAGEMENT INTO THE PICK UP DAY.

PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK w/ DETECTABLE WARNING SURFACES AT ALL INTERSECTIONS WITH DRIVEWAYS AND STREET SET 1/WALK = EXISTING GRADE. THICKEN SLAB THROUGH DRIVEWAY

RIM:711.68
SEALED SHUT

SIGN TYPE 'A' "DO NOT ENTER" EXIT ONLY

SITE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88

RIM:709.07
INV:705.52

RIM:708.78
INV:704.97

MATCH EXISTING ASPHALT

3' WIDE DEPRESSED CURB TYP. 3 PLCS

5' WIDE DEPRESSED CURB TYP. 2 PLCS
G=709.60

15'x10'L-4" RIP-RAP 18" DEEP OVER NON-WOVEN FILTER FABRIC. FOLLOW EXISTING GRADE

VCBMP-RAIN GARDEN
AREA=3,941.32
AREA=5,127.07

9'x9.5' DEPRESSED CURB
G=709.60

15' WIDE DEPRESSED CURB TYP. 2 PLCS
G=709.46(E)
G=709.66(W)

DEPRESSED CURB

4" RIP-RAP 12" DEEP NON-WOVEN FILTER FABRIC. PITCH SUBGRADE 4:1 FROM BUILDING

8" PCC OVER 6" COMPACTED CA-6 DRIVE AND APRON

NOTE: ALL DEPRESSED CURBS PITCH BACK TO VCBMP/PCBMP

VCBMP-RAIN GARDEN
AREA=1,737.34
AREA=5,314.64

14'x14' OHD

6' WIDE DEPRESSED CURB TYP. 2 PLCS
G=711.50

6" CONCRETE FILLED PIPE BOLLARD

TRASH ENCLOSURES ARE TO BE PROVIDED INSIDE OF BUILDINGS AND REMOVED BY A CONTRACTED SERVICE

5' SIDEWALK

BUILDING MOUNTED "HANDICAPPED SIGN w/ \$350 FINE" SIGN TYPE 'D'

55,656.25 S.F. BUILDING A
FIN. FLR. = 712.0

CONCRETE WALK

SPRINKLER ROOM

FDC

BUILDING MOUNTED "NO PARKING FIRE LANE"

30'0" (MIN) SETBACK

DESIGNED BY: JEK
DRAWN BY: JEK
SCALE: 1/20
FILE NAME: 14189
DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

KOZIOL ENGINEERING SERVICES
PROFESSIONAL ENGINEERS
www.koziolengineering.com
Linda Koziol, P.E.
911 Ogden Avenue
Ft. Lauderdale, FL 33304
F: (954) 435-8866



REV	DATE	DESCRIPTION
0	03/20/18	CONCEPT PLAN
1	04/16/18	FINAL ENGINEERING
2	04/16/18	FINAL ENGINEERING
3	10/07/18	FINAL ENGINEERING

GEOMETRIC PLAN-NORTH
7601 S. QUINCY ST.
WILLOWBROOK, IL

SHEET NUMBER
C-3

SEE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88



"HANDICAPPED SIGN
w/ \$350 FINE"
SIGN TYPE 'D'

SPRINKLER ROOM
FDC
BUILDING MOUNTED
"NO PARKING FIRE
LANE"

FH#1 LOCATE FH 3'-6"
FROM B/C TO CL HYD EA
DIRECTION FLNG ELEV=711.41

FIRE TRUCK
TURN AROUND
DEPRESS CURB 5' WIDE

FH#2 3'-6"
B/C TO CL HYD

SIGN TYPE 'G'
"TOW AWAY ZONE"
SIGN. PARKING PERMITTED
IN STRIPED AREAS ONLY

SIGN TYPE 'C'
"NO PARKING"
"FIRE LANE"

TRASH ENCLOSURES ARE TO BE
PROVIDED INSIDE OF BUILDINGS AND
REMOVED BY A CONTRACTED SERVICE

PROVIDE "FIRE LANE" YELLOW STRIPING

5.0' LANDSCAPE AREA

70'x70' SIGHT
TRIANGLE

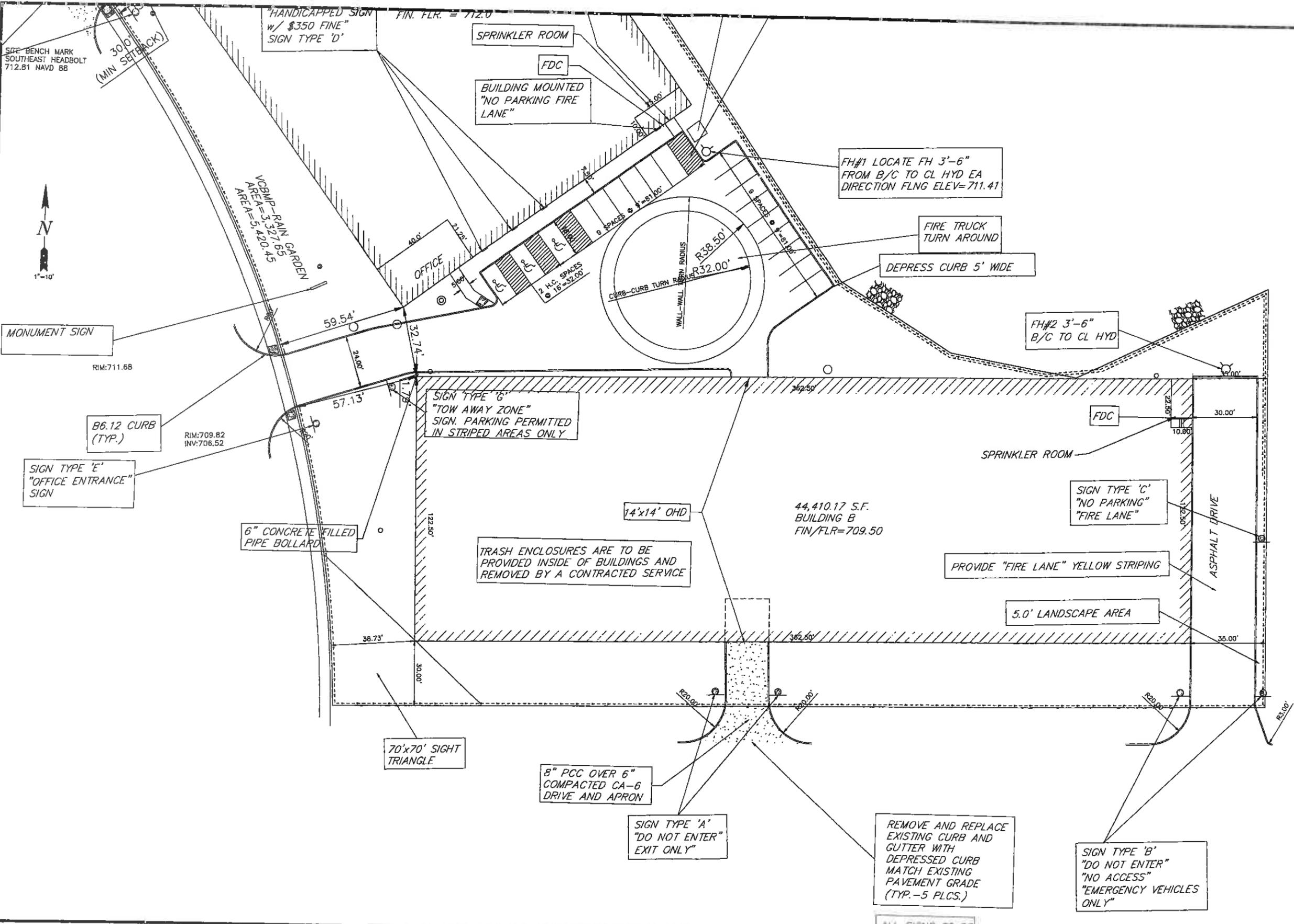
8" PCC OVER 6"
COMPACTED CA-6
DRIVE AND APRON

SIGN TYPE 'A'
"DO NOT ENTER"
EXIT ONLY

REMOVE AND REPLACE
EXISTING CURB AND
GUTTER WITH
DEPRESSED CURB
MATCH EXISTING
PAVEMENT GRADE
(TYP.-5 PLCS.)

SIGN TYPE 'B'
"DO NOT ENTER"
"NO ACCESS"
"EMERGENCY VEHICLES
ONLY"

ALL SIGNS TO BE

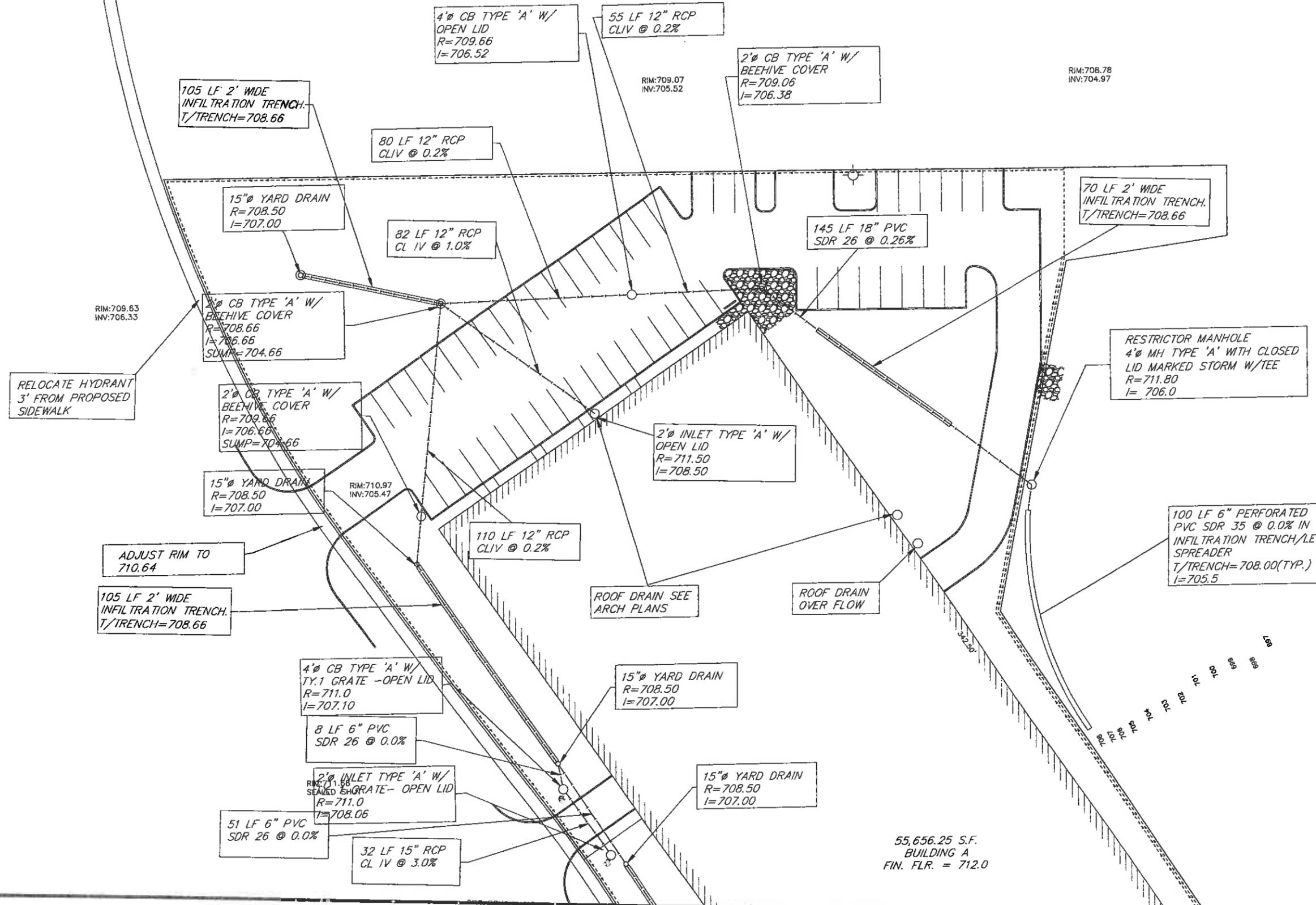


KOZIOL ENGINEERING SERVICES
PROFESSIONAL ENGINEERS
www.koziolengineering.com
1021 Ogden Avenue
P.O. Box 404888
St. Louis, MO 63140-4888
F. (314) 435-9999



REV.	DATE	DESCRIPTION
0	ISSUED	CONCEPT PLAN
1	REVISION	FINAL ENGINEERING
2	REVISION	FINAL ENGINEERING
3	REVISION	FINAL ENGINEERING

GEOMETRIC PLAN-SOUTH
7601 S. QUINCT ST.
WILLOWBROOK, IL



KOZIOL ENGINEERING SERVICES
 PROFESSIONAL ENGINEERS
 www.koziolengineering.com
 1621 Cooper Avenue
 PH: (847) 432-6666
 Lark, Illinois 60132
 F: (847) 432-6669



REV	DATE	DESCRIPTION
0	02/07/16	CONCEPT PLAN
1	02/09/16	FINAL ENGINEERING
2	02/10/16	FINAL ENGINEERING
3	10/07/16	FINAL

UTILITY PLANNING NORTH
 7601 S. QUINCY ST.
 WILLOWBROOK, IL

SITE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88

FIN. FLR. = 712.0

SAN M.H. NO. 1
4" MH TYPE A W/ CLOSED
LID MARKED "SANITARY"
R=711.05
I=706.11

FH#1
FLNGE ELEV=711.0

1500 GAL OIL SEPARATOR
R=709.84
Iout=706.47

155 LF 2' WIDE
INFILTRATION
TRENCH
T/TRENCH=708.66

4" CB TYPE 'A' W/
BEEHIVE COVER
R=711.50
F/L=711.00
I=707.43

4" CB TYPE 'A' W/
BEEHIVE COVER
R=711.25
I=707.16

18 LF 12" RCP
CL IV @ 1.5%

20 LF 8" PVC
SDR 26 @ 0.5%

15 LF 2' WIDE
INFILTRATION
TRENCH
T/TRENCH=704.60

FH#2
FLNGE ELEV=705.77

27 LF 2' WIDE
INFILTRATION
TRENCH
T/TRENCH=706.00

145 LF 8" PVC ASTM-2241
PRESSURE PIPE WATERMAIN
QUALITY
SDR 26 @ 0.4%

REWORK EXISTING
STRUCTURE TO
RIM=710.47

15" YARD DRAIN
R=708.50
I=707.00

RECEIVING
PIT

LAUNCH PIT

89 LF 8" PVC
SDR 26 @ 0.4%
INSULATED TRENCH

ROOF DRAIN
OVER FLOW

ROOF DRAIN SEE
ARCH PLANS
SPRINKLER ROOM

162 L.F. D.I.W.M
CL 52(2) POLYWRAPPED
6' MIN COVER

44,410.17 S.F.
BUILDING B
FIN/FLR=709.50

ROOF DRAIN SEE
ARCH PLANS

92 LF 12" RCP
CL IV @ 0.5%

2" INLET TYPE 'A'
W/TYPE 8 GRATE
R=709.50
I=707.62

24 LF 12" RCP
CL IV @ 1.0%

ADD WYE OR TEE @ I=704.33. ROLL
CONNECTION TO CLEAR STORM SEWER.
PROVIDE WATERMAIN QUALITY PIPE FOR
ENTIRE LENGTH OF SERVICE
AUGER SANITARY SERVICE UNDER ROAD

PRESSURE TAP EXISTING MAIN
W/VALVE IN VAULT
R=710.20(MATCH EXISTING GRADE)

231 LF 6" DIWM CL52(2)
POLY WRAPPED
6'(MIN) COVER

SLAB=712.0



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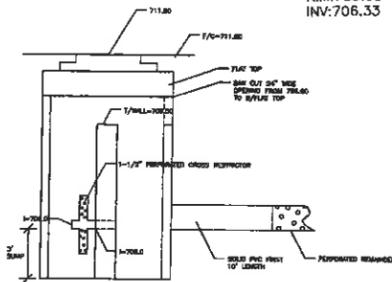
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0	03/27/14	CONCEPT PLAN
1	02/25/16	FINAL ENGINEERING
2	08/14/16	FINAL ENGINEERING
3	10/07/16	FINAL ENGINEERING

UTILITY PLAN-SOUTH
7601 S. QUINCT ST.
WILLOWBROOK, IL

DESIGNED BY: JEK DRAWN BY: JEK SCALE: 1/20 FILE NAME: 14169
DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

SHEET NUMBER
C-6

- 1 T81M=706.82
B5AN=706.77
- 2 T4WTR=704.0
B5AN=706.17
- 3 T4WTR=704.0
B5TM=707.61
- 4 T5AN=706.89
B5TM=707.43



STM STR NO.1
RESTRICTOR DETAIL

ALL RAMPS TO CONFORM
TO ADA DETAILS SHOWN
ON DETAIL SHEET

F/G = 710.66 (TYP.)
PRE-CAST WILL BE
EXPOSED IN THESE
AREAS AND BE PAINTED
A MAXIMUM OF 6" ABOVE
F/G TO MATCH BUILDING

55,656.25 S.F.
BUILDING A
FIN. FLR. = 712.0

RIM:709.07
INV:705.52

RIM:708.78
INV:704.97

RIM:709.63
INV:706.33

HWL=708.66

HWL=708.66

RIM:711.68
SEALED SHUT

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REV	DATE	DESCRIPTION
0	08/25/15	CONCEPT PLAN
1	02/27/15	FINAL ENGINEERING
2	08/19/15	FINAL ENGINEERING
3	10/07/15	FINAL

REV	DATE	DESCRIPTION
0	08/25/15	CONCEPT PLAN
1	02/27/15	FINAL ENGINEERING
2	08/19/15	FINAL ENGINEERING
3	10/07/15	FINAL

DESIGNED BY: JEK DRAWN BY: JEK SCALE: 1/2" = 1'-0" FILE NAME: 14169
DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

SHEET NUMBER
C-7

SITE BENCH MARK
SOUTHEAST HEADBOLT
712.81 NAVD 88



FIN. FLR. = 712.0

2% MAX SLOPE
ANY DIRECTION

5' LANDING @
2.0% MAX

10'x10' RIP-RAP

ALL RAMPS TO CONFORM
TO ADA DETAILS SHOWN
ON DETAIL SHEET

RIM: 709.82
INV: 706.52

F/C WILL BE ABOVE
FLOOR LEVEL IN THIS
AREA. PRECAST TO BE
SEALED TO 3" ABOVE
GRADE AND PAINTED
ABOVE

SPRINKLER ROOM

44,410.17 S.F.
BUILDING B
FIN/FLR=709.50

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REV	DATE	DESCRIPTION	DATE	DESCRIPTION
0	08/07/15	CONCEPT PLAN		
1	08/26/15	FINAL ENGINEERING		
2	09/16/15	FINAL ENGINEERING		
3	10/07/15	FINAL ENGINEERING		

GRADING PLAN-SOUTH
7601 S. QUINCT ST.
WILLOWBROOK, IL

DESIGNED BY: JEK DRAWN BY: JEK SCALE: 1/20 FILE NAME: 14168
DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

SHEET NUMBER
C-6



PROVIDE SEED MIX IN PERVIOUS AREAS PER LANDSCAPE

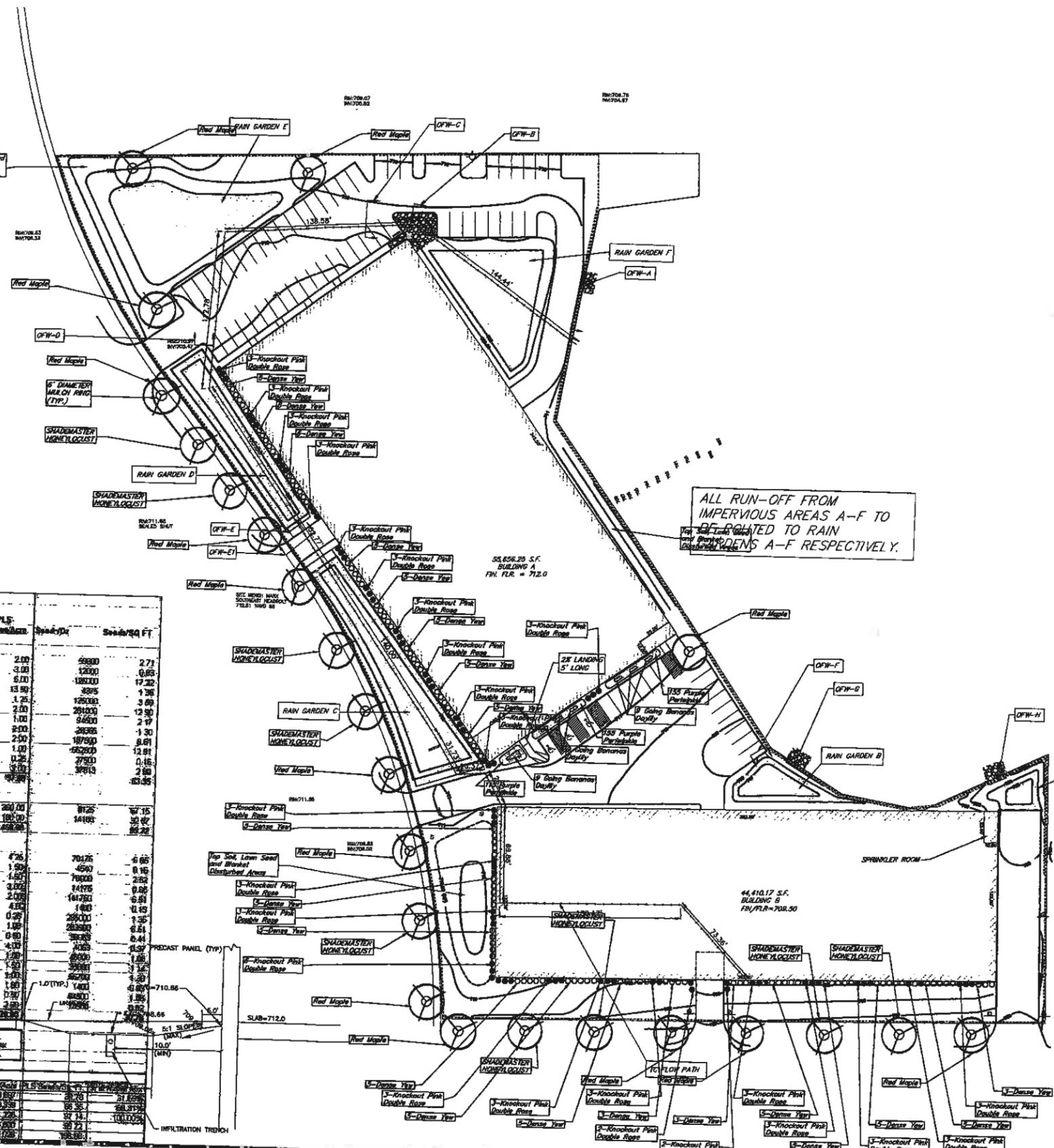
PLANT LIST				
Quantity	Size	Common Name	Latin Name	Notes
22	2.5" cal.	Outdoor Glory Tree	Acer rubrum 'Outdoor Glory'	100%
2	2.5" cal.	Stolonchloa tenax	Stolonchloa tenax	100%
73	12" dia.	Red Maple	Acer rubrum	100%
41	20" dia.	Red Maple	Acer rubrum	100%
27	30"	Red Maple	Acer rubrum	100%
25	30"	Red Maple	Acer rubrum	100%

LANDSCAPE REQUIREMENT CHART				
Location	Distance in Feet	Quantity	Spaced	Notes
Quincy Street	50'	1 shade tree per 50'	22 trees	11 trees
Quincy Drive	50'	1 shade tree per 50'	22 trees	11 trees

GENERAL NOTES: LANDSCAPE

- Notes included on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plans.
- The landscape contractor shall be responsible for making themselves familiar with all underground utilities and structures.
- All existing trees to be removed shall be removed and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore all areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug this planting season it is installed, and shall conform to the American Association of Nurserymen's standards.
- Do not install plants with plantings as designed when it is obvious that observations and/or gross differences exist that may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- Plants shall be healthy, vigorous condition, free of dead or broken branches, frost damage, broken branches, or damage of any kind. Plants shall have a full, even, well developed branching and dense, thick, and vigorous root system.
- Plant locations shall be flagged in field with Owner's Rep. Final location of all plant material shall be subject to approval of the Owner's Representative prior to digging any holes. The landscape contractor is responsible for providing Owner's Representative with 48-hour minimum advance notice prior to planting.
- Plant material shall be size and type specified. Substitution of plant material shall be on a case by case basis and approved in writing. In no case shall plant material be smaller than indicated in the plans.
- Planting and watering shall be under favorable weather conditions, and shall begin prior April 1 and complete by June 15, or start begin after Sept. 1 and complete by Oct. 1.
- Plants shall be watered on the day they are planted and maintained with watering until final acceptance of the project.
- Apply pre-emergent as per manufacturer's specification prior to installing plants. Beds and tree rings (6" diameter) shall have 3" of hardwood mulch applied and a 4" deep triple edge of lawn. Trees that are not located in beds, shall have a tree ring. All weeds and their root systems shall be removed prior to planting. Mulch shall not touch trunk of tree trunks. Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by rero-tilling 2" of HIGHWAY ROADWAY Compost into new beds.
- Shade trees shall have a clear trunk free of branching to a minimum height of 8'-0". Overall tree height shall be between 12'-14' and no more than 18' in height. Trees shall be banded and burlapped.
- Lawn seeding shall be under favorable weather conditions, and shall follow above specification. Turf mixes shall be installed and lawn established at all disturbed areas.
- Contractor shall replace all grass destroyed as a result of construction.

Plant Name	Quantity	PLS	Spaced	Seeds/50 FT
Parthenocarpus	2.00	2.00	59000	2.73
Castor Oil Sedge	3.00	3.00	12000	0.83
Bottlebrush Sedge	6.00	6.00	18000	1.25
Brown Fox Sedge	13.50	13.50	39000	2.93
Virginia Wild Ryegrass	1.25	1.25	25000	1.96
Foot Mamma Grass	2.00	2.00	20000	1.50
Common Rush	1.00	1.00	10000	0.75
Nice Cut Grass	2.00	2.00	20000	1.50
Stylidium	2.00	2.00	20000	1.50
Red Top	2.00	2.00	20000	1.50
Wood Grass	1.00	1.00	10000	0.75
Red Top	0.25	0.25	2500	0.19
Common Rush	0.25	0.25	2500	0.19
Total	49.25	49.25	141000	10.85



ALL RUN-OFF FROM IMPERVIOUS AREAS A-F TO BE ROUTED TO RAIN GARDENS A-F RESPECTIVELY.

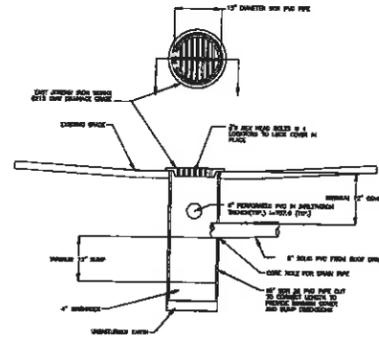
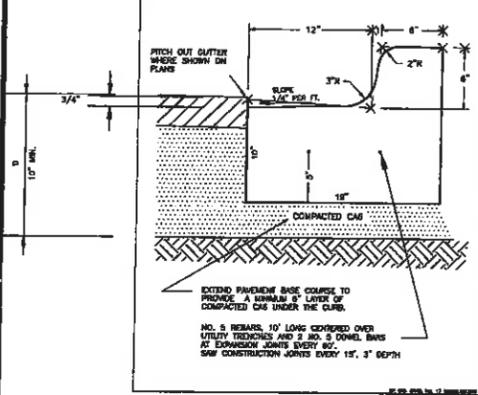
DATE	DESCRIPTION
08/15/23	CONCEPT PLAN
09/15/23	FINAL ENGINEERING

DATE	REVISION	DESCRIPTION
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09/15/23	1	REVISED

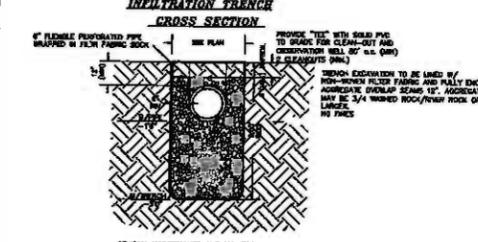
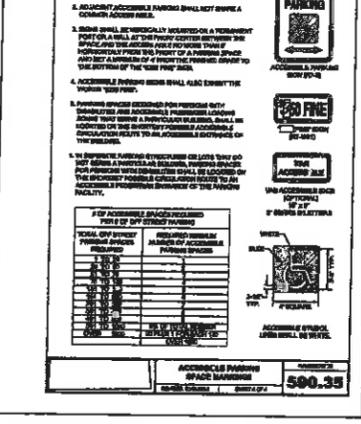
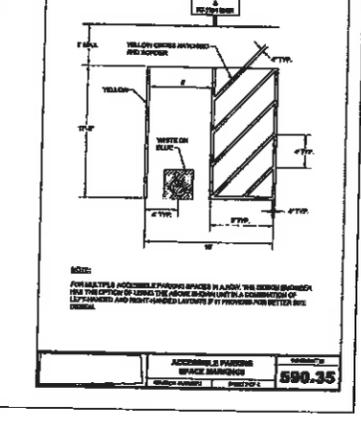
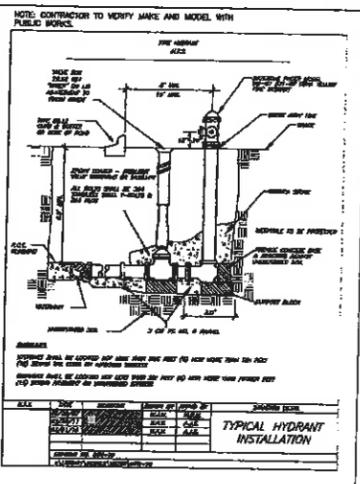
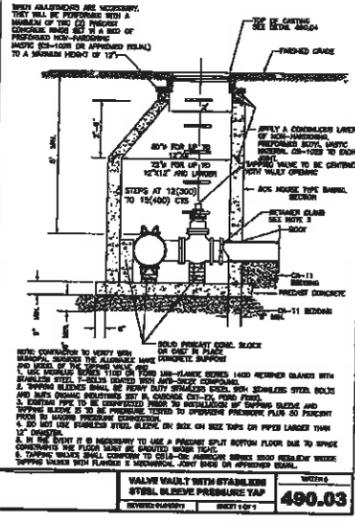
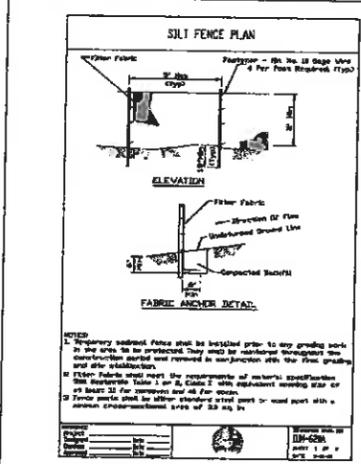
LANDSCAPING PLAN
 7601 S. QUINCT ST.
 WILLOWBROOK, IL
 SHEET NUMBER
 C-10

DETAILS

B6.12 CURB & GUTTER

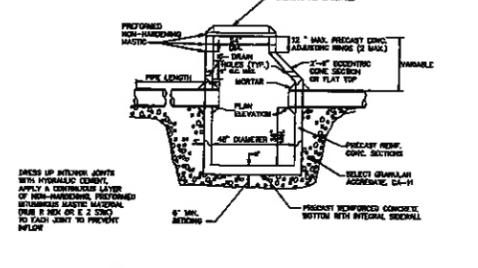


PVC YARD DRAIN DETAIL IN VCBMP/PCBMP

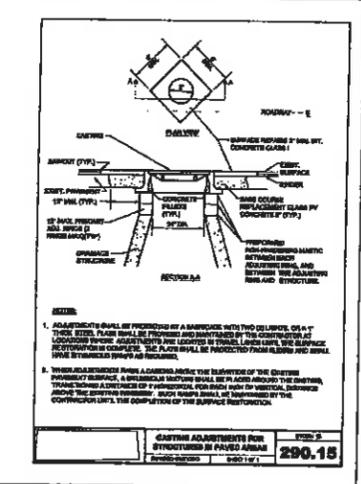
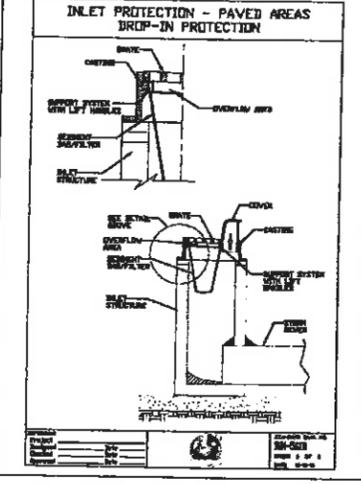
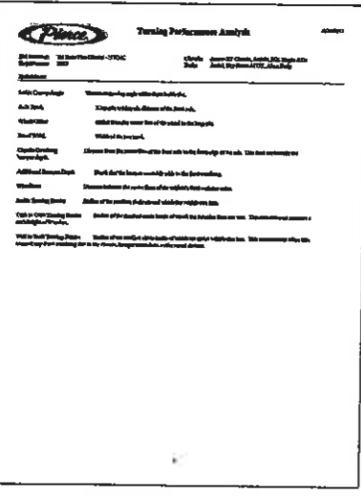
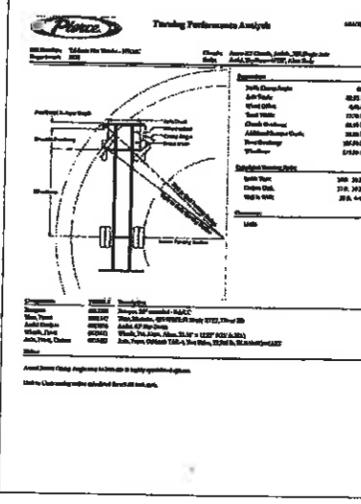
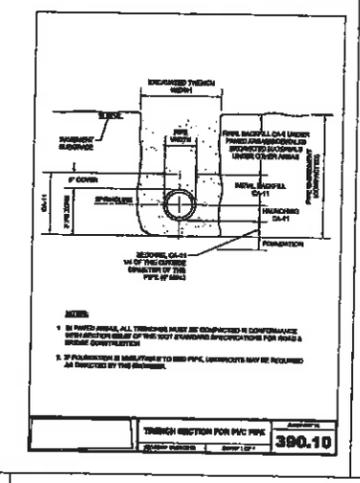
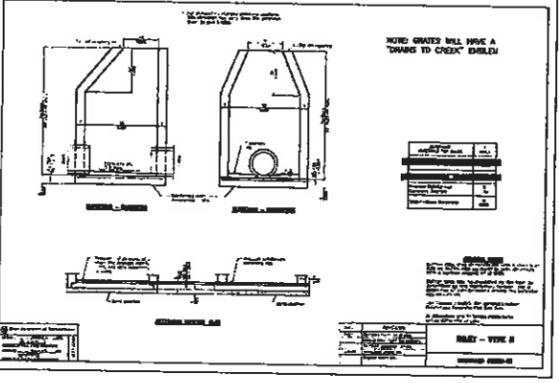
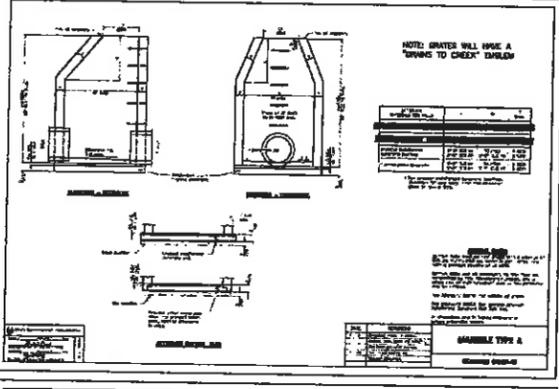


GENERAL MAINTENANCE AND MONITORING THE INFILTRATION TRENCH SHOULD BE INSPECTED AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1" RAIN EVENT. THE CLEAN-OUT WILL BE THE RESPONSIBILITY OF THE USER. THE INFILTRATION TRENCH SHOULD BE CLEANED OUT AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1" RAIN EVENT. THE CLEAN-OUT WILL BE THE RESPONSIBILITY OF THE USER. THE INFILTRATION TRENCH SHOULD BE CLEANED OUT AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1" RAIN EVENT. THE CLEAN-OUT WILL BE THE RESPONSIBILITY OF THE USER.

CATCH BASIN TYPE A



NOTES:
1. PROVIDE SELECT GRANULAR BASECOURSE, CA-11 AROUND CATCH BASIN TO SUBGRADE ELEVATION IN PAVED AREA.
2. ALTERNATE CATCH BASIN DESIGN - PRECAST REINFORCED CONCRETE BASE. CONCRETE FILLER SHALL BE MADE WITH NON-SHRINKING MORTAR TO PROVIDE A SMOOTH TRANSITION BETWEEN THE CATCHER AND ALIASING ROAD (TOP SURF OF STRUCTURE). SEE SECTION 8.2.
3. WHEN ADJUSTMENTS ARE NECESSARY, THEY WILL BE PERFORMED WITH A MINIMUM OF 1" OF PRECAST CONCRETE REBAR SET IN A BED OF PRECAST NON-SHRINKING MORTAR (3/4" - 1" OR APPROXIMATE) TO A MAXIMUM HEIGHT OF 1 1/2" ABOVE THE ROAD SURF. TWO #4 BARS SHALL ONLY BE USED WHEN ADJUSTMENT IS LESS THAN 1/2".
4. NO REBAR SHALL BE USED TO INCREASE PRECAST ADJUSTING RANGE.
5. CATCH BASIN ARE TO BE USED IN PAVED AREAS ONLY.
6. A MINIMUM OF FOUR (4) TWO (2) INCH DIAMETER HOLES SHALL BE PROVIDED WITHIN ONE (1) FOOT OF THE LOWER EDGE HEIGHT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A ONE (1) FOOT BY ONE (1) FOOT SECTION OF UNDERPAVEMENT FLEXIBLE CEMENT MIXTURE SHALL BE INSTALLED TO THE OUTSIDE OF THE HOLES IN AN AREA OF 18" BY 18" TO PREVENT SPALLING DURING CONSTRUCTION. THE HOLES SHALL BE EITHER PRE-CAST OR DRILLED. DRILL HOLES ARE REQUIRED FOR ALL CATCH BASINS IN PAVED AREAS.
7. SEE SECTION 8 FOR STEP DETAIL.



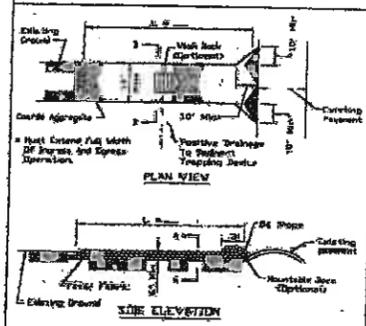
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1827 Ogden Avenue
Willowbrook, IL 60187
PH: (630) 435-8888



REV	DATE	DESCRIPTION
0	08/21/15	CONCEPT PLAN
1	08/25/15	FINAL ENGINEERING
2	08/25/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

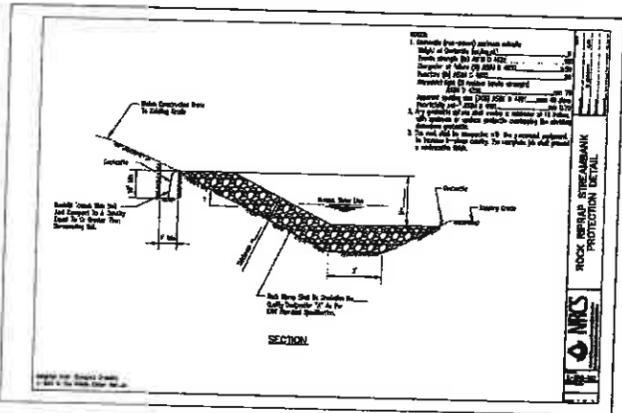
DETAILS

STABILIZED CONSTRUCTION ENTRANCE PLAN

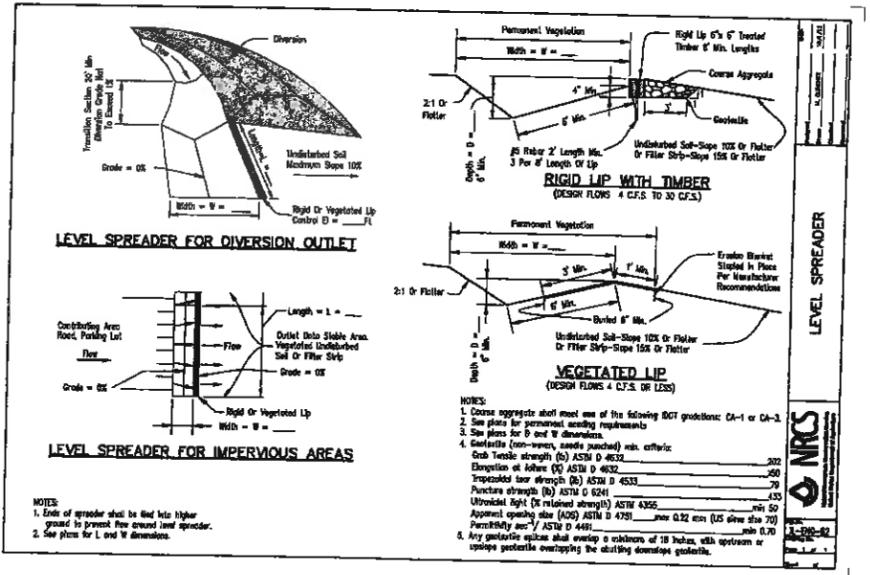
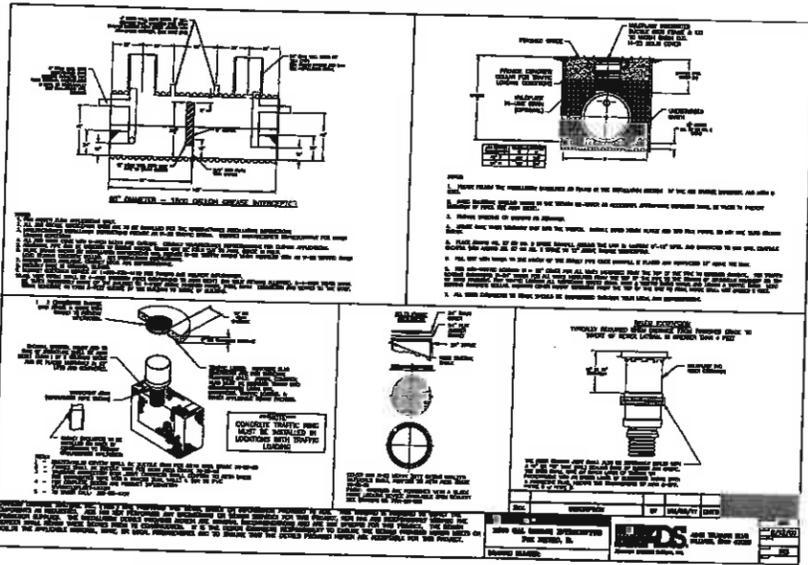
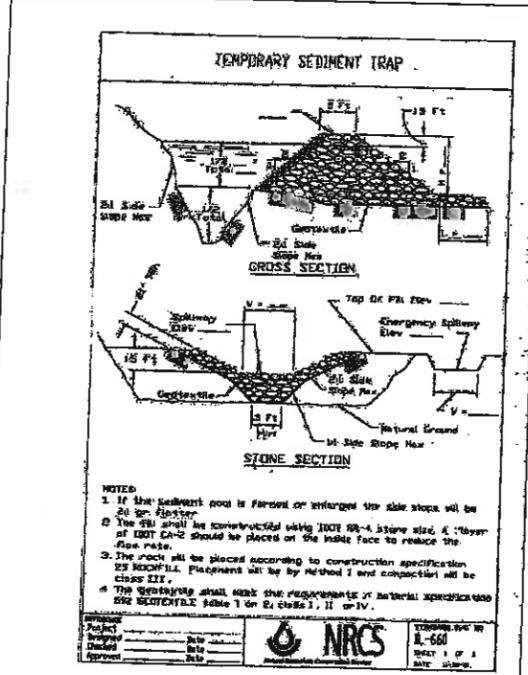
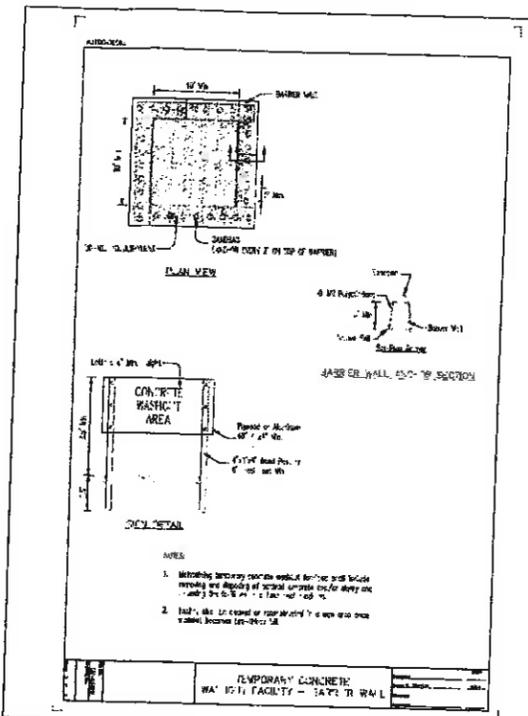
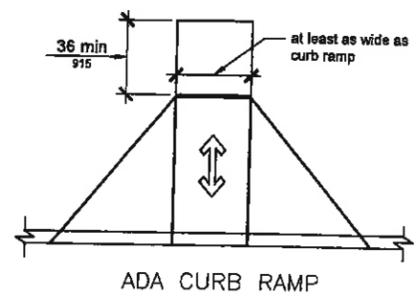


NOTES
 1. This fabric shall meet the requirements of material specification and shall be installed in accordance with the manufacturer's instructions.
 2. The fabric shall be installed in accordance with the manufacturer's instructions.
 3. The fabric shall be installed in accordance with the manufacturer's instructions.
 4. The fabric shall be installed in accordance with the manufacturer's instructions.

NCRS
 PROFESSIONAL ENGINEERS
 1821 Ogden Avenue
 Ft. Collins, CO 80525
 Phone: (970) 225-8888
 Fax: (970) 225-8889
 www.ncrseng.com



LAYER	LIGHT DUTY PAVEMENT (PRKG STALLS)	HEAVY DUTY PAVEMENT (AISLES)	PAVEMENT SPECIFICATIONS
SURFACE COURSE	1.5"	2"	NS0
BINDER COURSE	1.5"	2.25"	NS0
BASE	10"	10"	AGGREGATE TYPE B (CRUSHED IGR-50 (MIN.))
SUB-BASE	4"	4"	GRANULAR TYPE B IGR = 30



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 Ft. Collins, CO 80525
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 Fax: (970) 225-8889
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DETAIL SHEET
 7601 S. QUINCT ST.
 WILLOWBROOK, IL

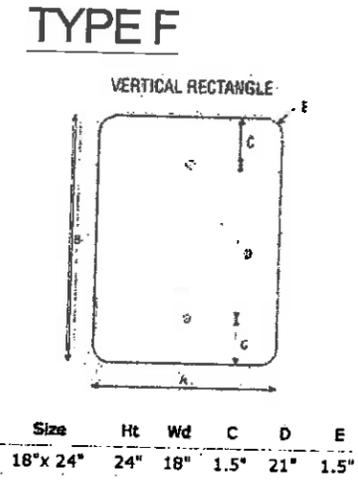
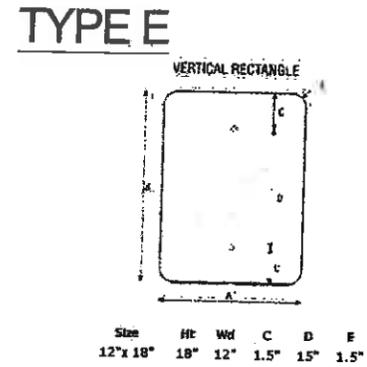
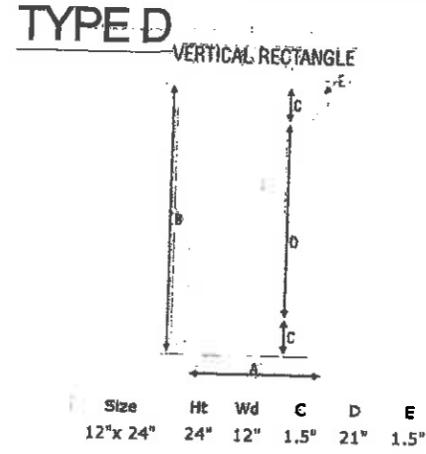
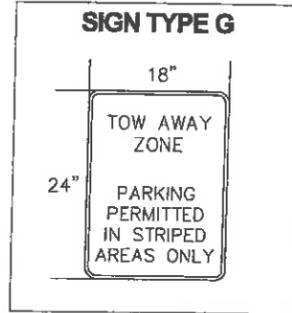
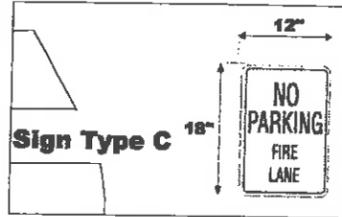
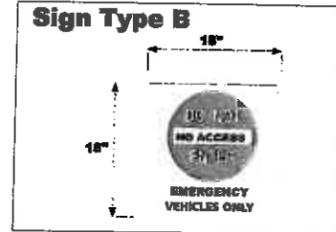
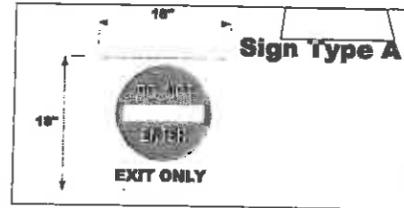
DESIGNED BY: JEK
 DRAIN BY: JEK
 SCALE: 1/40
 FILE NAME: 14169

DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

REVISIONS:

REV	DATE	DESCRIPTION
0	02/05/15	CONCEPT PLAN
1	02/05/15	FINAL ENGINEERING
2	02/05/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING

SHEET NUMBER: C-11



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REV	DATE	DESCRIPTION
0	02/28/16	CONCEPT PLAN
1	02/28/16	FINAL ENGINEERING
2	02/28/16	FINAL ENGINEERING
3	10/07/16	FINAL ENGINEERING

SIGNAGE DETAILS
7601 S. QUINCT ST.
WILLOWBROOK, IL

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE PLAN COMMISSION

Meeting Date: December 2, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Title: Zoning Hearing Case Number 15-07
Willowbrook Square PUD Amendment/Digital Sign
14-106 W. 63rd Street, Willowbrook, IL

Petitioner: David Froberg for Willowbrook Square Management Co.
6262 S. Rte 83 #302, Willowbrook, IL 60527

Action Requested by Applicant: Amendment to PUD to reduce the "dwell time" on approved digital sign for each message from 20 seconds to 8 seconds

Location: North side of 63rd, west of Route 83

Purpose: Provide passing motorists with more than one tenant display

Existing Zoning: B-2 Community Shopping/PUD

Existing Land Use: Willowbrook Square Shopping Center

Property Size: 1.807 Acres

Shopping Center Size: 29,060 square feet of retail tenant space

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	The Knolls Condos	R-5
<i>South</i>	Bank	B-2 PUD
<i>East</i>	Ruth Lake (Across Route 83)	Unincorporated
<i>West</i>	Lake	B-2 PUD

Necessary Action by Plan Commission:

Staff recommends the Plan Commission approve a motion to continue PC 15-07 to the January 13, 2016 meeting in order to provide an opportunity to review testimony and documents presented by the applicant at the hearing.

Background/History:

On May 7, 2014, the Plan Commission held a public hearing and considered this applicant's request to amend the PUD to allow for the construction and operation of a digital sign. Given that the Village did not allow any digital signs at the time of the application, staff did some initial investigation of the regulations and materials available at that time and came up with some guidelines to allow the digital sign, but to provide limitations aimed at limiting possible nuisances and safety concerns. Specifically, controlling the brightness and regulating how messages are displayed and transitioned, and the "dwell time" each message must be displayed before changing to the next were discussed. Staff research at the time suggested that static messages and longer dwell times would minimize the distraction to motorists, which could potentially prevent auto and pedestrian related accidents at the signalized intersection that is proximate to this sign.

Based on the applicant's testimony at the public hearing, the Plan Commission supported the applicant's request to reduce the "dwell time" from a conservative 30 seconds to 20 seconds, which was ultimately approved by the Village Board. Not too long after the sign was installed, code enforcements cited the owner for not complying with the 20 second "dwell time" requirements. The applicant and the "Do It Yourself Dogwash" tenant in the center both contacted the Village that the "dwell time" was too long, and that for it to be effective, more than one message needed to be displayed while motorists were passing by in one trip. The applicant asked whether they could "experiment" with different times, and was informed that he would need to comply with the ordinance that had been approved on his behalf unless he revised it again or the Village adopted amendments to its sign code to allow and regulate digital signs Village wide.

The applicant submitted the petition for this case requesting the "dwell time" condition in the ordinance that allowed the digital sign be reduced from 20 seconds to 8 seconds. Except for providing some basic details in the application, the applicant did not provide any evidence in the application to support the request. Staff advised the applicant that he would need to provide evidence and/or testimony supporting the reduction in time and that it would not be a distraction to passing motorists which could pose a safety hazard to other motorists or pedestrians that are in this intersection. The applicant indicated he had several Freedom of Information requests out to other local jurisdictions and that he was assembling research on the topic from other areas. Staff followed up with the applicant last week after not having received any documents and informed the applicant that it would be difficult to make a recommendation on documents, evidence and testimony that would not be provided until the hearing. He responded that while he was hopeful to get something to the Village, he was not sure it would be before the meeting.

As of the date of this report, no additional information has been received, so staff will not have an opportunity to evaluate or provide technical feedback on any of the verbal evidence or documents that might be presented at the meeting, and whether it would be safe to reduce the time to 8 seconds or any other possible reduction in time to something that might be beneficial to the applicant. While the applicant has informed staff that they intend to present the requirements of other local codes that have shorter "dwell times", it is important that the Village understand when and why changes in those local codes may have been made, where and under what conditions the regulations might apply, and how the balance of their regulations compare to Willowbrook's. The longer dwell times were initially approved by the Village so that motorists would not divert too much attention to a sign that displayed multiple messages during one trip past the sign. Clearly, the goal of the applicant's request to reduce the dwell time is to providing motorists with more than one message, so it is important to weight that benefit to the applicant and his tenants against any possible safety risk of drawing the

motorists attention away from the road. Hopefully, there will be some evidence presented at the meeting where experts report on the relationship of sign dwell time and traffic safety at signalized intersections.

Site Description:

The Willowbrook Square Shopping Center is part of a previously approved PUD on the northwest corner of 63rd and Route 83 that also includes a multi-story office building to the east, and a vacant property to the north. The shopping center contains 1.807 acres and 29,060 square feet of retail space.



Request: The applicant is requesting an amendment to the PUD in order to reduce the dwell time from 20 seconds to 8 seconds which is regulated by a Village Ordinance that approved an amendment to the PUD to allow for the digital sign.

OLD SIGN



APPROVED SIGN SCHEMATIC



PUD History: On 9/8/86, the Village Board approved Ordinances Nos. 86-O-28 and 86-O-29, which respectively provided for the special use permit, preliminary subdivision, PUD plat and variations and final subdivision and PUD for the Willowbrook Square Shopping Center and Hinsbrook Bank. More recent amendments to the PUD were made to authorize the construction of Little Sunshine Playhouse on Lot 2 and to allow a new digital sign (as shown in the concept image above) for the shopping center.

Staff Recommendation:

For the reasons mentioned above in Background/History, staff recommends the Plan Commission complete the public hearing if appropriate, but continue discussion and deliberation of the topic to allow an opportunity for whatever testimony the applicant submits to be more fully evaluated before a vote is considered. If the Plan Commission agrees, a motion should be approved to continue discussion and deliberation of PC 15-07 to the January 13, 2016 meeting. Please note that this meeting date is the second Wednesday of the month instead of the first Wednesday of the month.

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE PLAN COMMISSION

Meeting Date: December 2, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-08: The Willows PUD (Pete's Fresh Market)

Petitioner: Pete's Fresh Market

Action Requested: Conduct public hearing for a petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building on the northeast corner of Plainfield and Route 83 as a multi-tenant building (current plans for Pete's Fresh Market, Steinmart and Ulta), and construction of a new multi-tenant commercial building that parallels Plainfield Road, including both on-site improvements and offsite improvements to both Plainfield Road and Route 83.

Location: Northeast corner of Plainfield Road and Route 83

Existing Zoning: B-2

Existing Land Use: Vacant building formerly occupied by K-Mart and parking lot

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Willowbrook Office and Single Family	LOP and R-1
<i>South</i>	Willowbrook Town Center	B-2 PUD
<i>East</i>	Chase Bank/Office	LOP
<i>West</i>	Binnys, Burger King Radio Shack Center, Shell	B-2 and B-3

Documents Attached: Colored Elevations (Including Wall Signage Illustration (2 Sheets)
Monument Sign Illustration (1 Sheet)
Site Plan (1 Sheet)
Landscape Plan (2 Sheets)
Northern Access Proposed Easement (2 Sheets)
Off-Site Improvement Exhibits (4 pages)

Necessary Action by Plan Commission: Conduct public hearing. Continue hearing if necessary to next meeting on January 13, 2015 and continue discussion and vote to future meeting to be determined as plans are completed.

History and Proposal:

The applicant, Pete’s Fresh Market, wishes to subdivide and receive PUD approval so that the existing building can be re-purposed for a multi-tenant commercial building that will accommodate their grocery store business, a Steinmart and an Ulta cosmetic store. An additional 15,000 square foot building is planned on the south side of the property to be aligned parallel with Plainfield Road and west of the Plainfield Road access drive, which will align with Willowbrook Town Center and be signalized as part of the project. The second existing driveway on Plainfield Road will be closed. The existing driveway on Route 83 will be shifted to the south and a new driveway is planned just north of the subject property’s property line to align with 69th Street median break, on property owned by the office project to the north. The developer is currently securing easements from that owner for the use of that property. These proposed easements are shown in two of the attached exhibits.

In addition to this signalization, significant off-site improvements are required by both IDOT and DuPage County as a result of the traffic generated by this project, and will be installed by the developer as part of this project. The traffic study is over 100 pages long and is on-file in the Department for review. The off-site improvements are shown in one of the attached exhibits and will be discussed in more detail by the applicant during the hearing.

Tenants in the new commercial building will include a mix of restaurants, retail and service uses. The parking lot will be completely reconstructed and the site will be upgraded with new landscaping and amenities.

Staff Analysis

Bulk Regulations and PUD Standards

PUDs may depart from the strict conformance with the required density, dimension, area, height, bulk and other regulations for the underlying zoning district and other provisions of the Zoning Ordinance to the extent specified in the preliminary plat and document authorized the PUD so long as it will not be detrimental to or endanger the public health, safety and general welfare, except that there are no exceptions for complying with 7 of the 12 PUD Standards (discussed later). The departures are identified as “exceptions” and outlined in any approving ordinance. A list of the underlying bulk requirements for which “exceptions” are being requested is provided in the table below.

Regulation	Required/Allowed	Provided
Plainfield Road Building Setback	100’	Approximately 77’
Plainfield/Route 83 Parking Lot Setback	25’	10’ along Route 83 About 7’ along Plainfield
Parking Lot Setback from east property line	10’	0’
Lot 1 Driveway to lot line	Minimum 70’	North Driveway on Route 83
Lot 1 Minimum Foundation Lscape	7’	Minimum 0’ (per plan)
Landscaping		Per plan
Number of principal buildings on a lot	1	2
Special Uses		Grocery Store, Restaurants

Site Access

While exceptions are requested to accept reduced parking lot setbacks from property lines, the proposal is a significant improvement over existing conditions, which is a parking lot paved lot line to lot line and no landscape islands to define parking rows. As mentioned earlier, the Plainfield Road access will be signalized. Additionally, significant changes to the grade are proposed at the Plainfield Road entrance that will reduce the severity of the existing grade coming in at that location. This entrance will also be improved with a median separating ingress and egress lanes for greater than the minimum 100' of distance required. This entrance is unobstructed by parking all the way north to the existing building, which will provide ample room for cars to enter the site and make turns before selecting a parking space.

Two access drives are planned along Route 83. The existing Route 83 drive will be removed and a new right-in/right-out drive constructed just south of the existing drive location. This access is also improved with a median separating ingress and egress lanes for greater than the 100' of distance required. This realignment to the south helps minimize backups along the drive aisle lane in front of the principal commercial building that would have occurred if the access would have remained in its current location. The relocation to the south also allowed for the appropriate distance between drives that allowed them to seek approval from the State for a secondary full access in to the property from the north. This drive will allow south bound Route 83 traffic into the site without having to go to the Plainfield Road entrance. Exiting at this northern Route 83 driveway will be right out only.

Delivery trucks for the principal building will access via Route 83 for direct east bound only access to the service drive. After unloading, they will continue east to the east side of the building, travel south and exit the property at the Plainfield Road entrance.

Site Circulation and Parking Design:

Circulation and parking lot design has been carefully planned to accommodate an efficient and safe flow for both cars and pedestrians. Landscape islands and sidewalk connections have been designed to create six smaller "parking fields". For example the parking field on the west side of the Pete's building contains 106 parking spaces. 144 parking spaces are located on the south side of the Pete's store, with some of the spaces likely to be used by Steinmart customers. Ulta customers and center employees will likely parking in the east parking field, which contains 154 parking spaces. Customers for the retail outlot building will parking in one of two parking fields in that area. There are 98 parking spaces immediately adjacent that building, with another 45 parking spaces west, in a separate area just south of the southern Route 83 entrance. This small area was originally being planned for possible construction of another drive-through restaurant outlot, but overall parking in the center was deficient, and circulation of a drive-through in that location in that small amount of space was challenging. The developer dropped these plans, with the idea to complete these improvements, evaluate actual parking requirements, and possibly resurrect another building in that location in the future as part of a later amendment to the PUD.

Pedestrian Access:

Sidewalks in both Route 83 and Plainfield are being added and/or reconstructed. The Route 83 sidewalk is comfortably set back from travel lanes. Due to the addition of travel and turn lanes in the Plainfield Road right-of-way, however, the sidewalks being added in that location are both

carriage walks (immediately back of curb east of the entrance), or no more than seven feet from the curb west of the entrance. While this is less than desirable separation, two sidewalk connections into the development from the new Plainfield Road sidewalk provide opportunities for pedestrians to enter the development more quickly. These sidewalk connections align with both sides of the outlot building and continue on a separately designed path all the way to the main building.

Parking Requirements

Parking for this use is regulated by the Zoning Ordinance as the sum of the individual uses planned. The following table summarizes the proposed uses and the associated parking requirements:

Tenant	SqFt	Req	Total Req
Ulta	10,671	1/250	42.68
SteinMart	31,278	1/250	125.11
Pete's Retail	43,500	1/200	217.50
Pete's Storage	26,935	1/1500+4	21.96
Petes Mezzanine	9,528	1/1500+4	10.35
Common	1,864	1/1500+4	5.24
Pizza Restaurant	2,942	1/100	29.42
Pink Nails	1,074	1/250	4.30
Retail	2,470	1/250	9.88
Restaurant	1,662	1/100	16.62
Firehouse Sub	1,812	1/100	18.12
Lumes Restaurant	5,053	1/100	50.53
Total Required			551.71
Total Provided			547
Different			-4.71

Note that there appears to be a parking deficiency of five (5) parking spaces, which can be accommodated as part of the PUD. Overall parking is 3.94 spaces per 1,000 gross square footage, and about 4.9 when not considering the 26,935 square footage of storage at the back of the Pete's store.

Loading Requirements

Sufficient loading areas are being provided for each of the tenants in the main building. Both the loading and the garbage areas for the grocery store will be roof to minimize visual and noise nuisances. Ulta and Steinmart will share a loading area that will be screened with an eight foot (8') tall masonry wall. This loading area will also be screened by a new eight foot tall fence between the north property line and the 69th Street right-of-way. A common loading and garbage area for the retail outlot building is provided on the north side of the building and is screened with an 8' tall masonry screen wall.

Stormwater Management

Stormwater control on redevelopment sites is not required if the net new impervious area is less than 25,000 square feet. The threshold for Best Management Practices (BMPs) is 2,500 square feet of net new impervious surface. A stormwater submittal has not been submitted since the plans were revised to add the new northern driveway on Route 83 to confirm any requirements. BMPs may be required and will be evaluated once that submittal is received.

Landscaping:

A significant amount of new landscaping is being provided site wide. All three entrances will be heavily landscaped, as will all perimeter parking lot setbacks. The perimeter landscaping, while not to code, will be as heavily landscaped as the space will allow with 3" caliper shade trees and a thick row of shrubs that are intended to block headlight glare out onto the roadway. The landscaping along the northern property line is will be removed and replaced in its entirety, as most of what is there has either died or is not been very attractively maintained. Current plans show an alternating combination of deciduous State Street and Marmo Maples, with a continuous line of evergreen mission arborvitae between each tree, all located on the south side of a new privacy fence that will be installed all along the north property line. Plans also show some unidentified plant material on the north side of the new privacy fence, although it is not labeled, nor is it clear how much room there will be for plant material to grow in that area. The exact material planted in this area can be flexible if nearby residents prefer an alternative. It may also be possible to preserve some of the existing (more mature) material along the north property line if preferred by nearby residents. The images below show the type of trees currently proposed.



Marmo Maple



Mission Arborvitae



State Street Maple

Landscape islands in the parking lot are also to be landscaped with shade trees, shrubs and/or ground cover materials. Shorter ornamental trees instead of normal deciduous trees are proposed closer to the building to allow for visibility to wall signage. Staff supports this request, but only if the installed size of these ornamental trees is a minimum of 10' in height at the time of installation.

Snow Removal:

The applicant should identify their plan for snow removal.

Signage:

A combination of monument, wall, and directional signage is proposed. Identical monument signs are proposed at the Plainfield and southern Route 83 entrance. IMAGES OF THESE SIGNS.

Engineering:

Both on and off-site engineering have not yet been approved pending final changes to the design and plan.

Special Use and Planned Unit Development Standards:

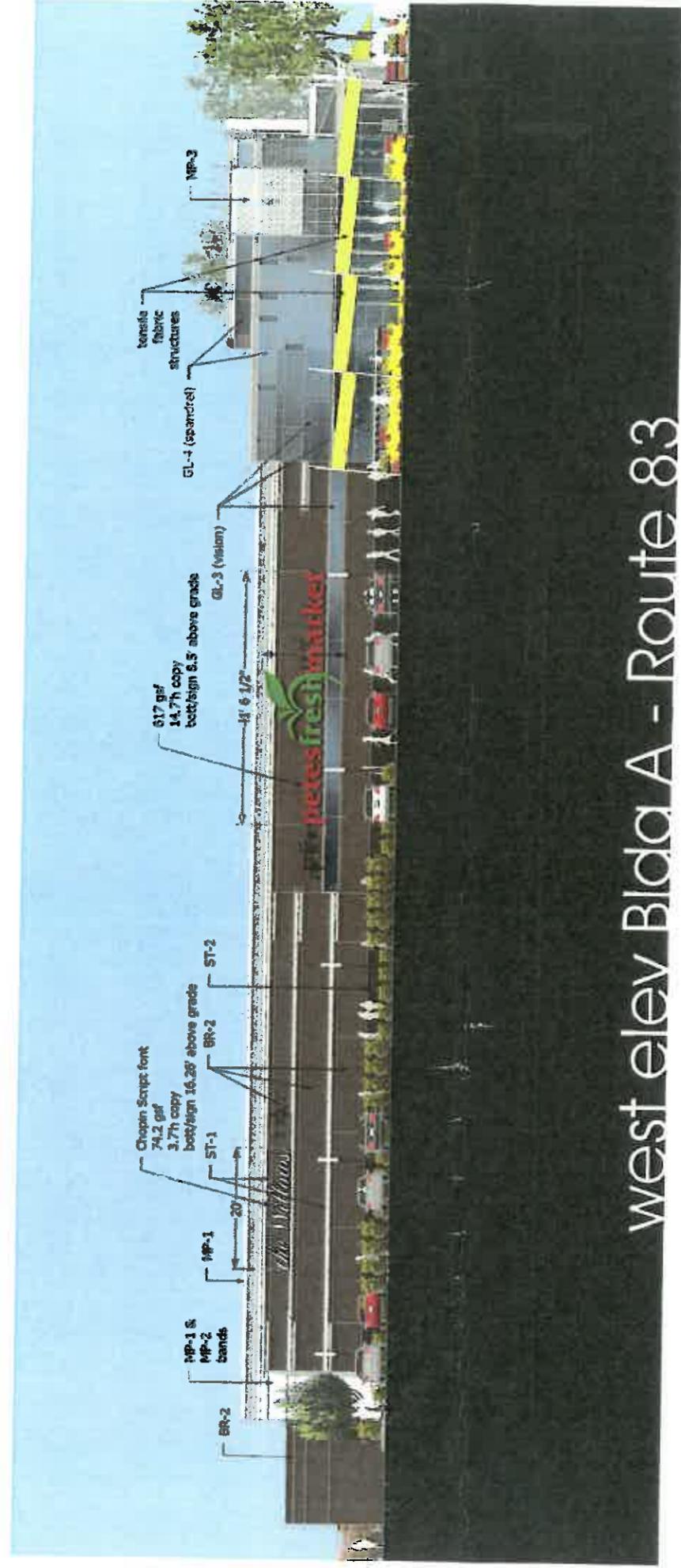
The Willowbrook Zoning Ordinance requires special uses and PUDs to meet certain standards. These standards will be enumerated and discussed as part of a later recommendation to be made by the Plan Commission.

Summary

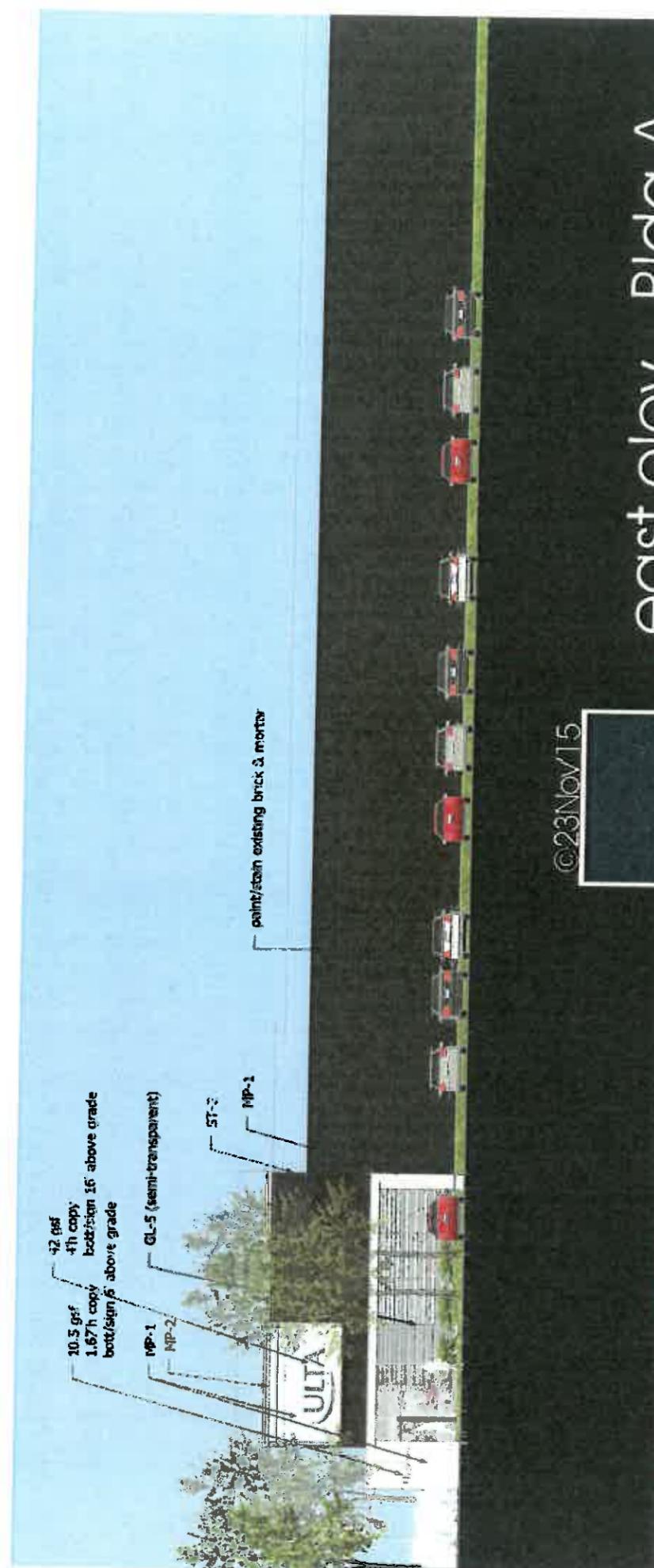
As stated earlier, the purpose of this meeting is to introduce the Plan Commission and public to this project before plans are finalized and returned to the Plan Commission at a later time for formal consideration. Staff will continue to work with the applicant as they complete their plans. A more formal staff report, including attachments for all documents, and findings and recommendations for required standards will be forwarded with the final plans.



viewing easterly - Route 83



west elev Bldg A - Route 83



east elev - Bldg A
Regional Retail Center

©23Nov15



the Willows 'Willowbrook'

www.originsDesign.com



south elevation - west end

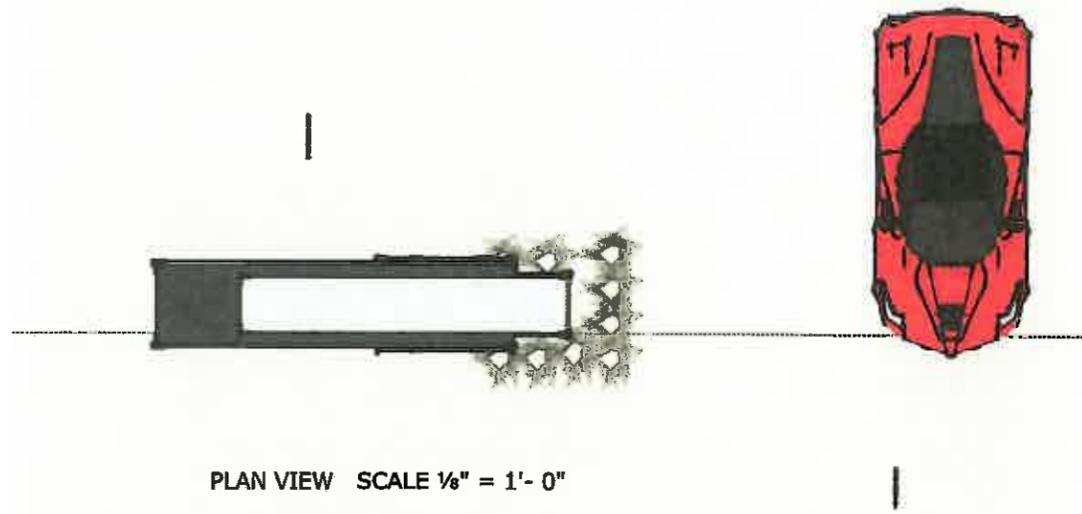


south elevation - east
Regional Retail Center

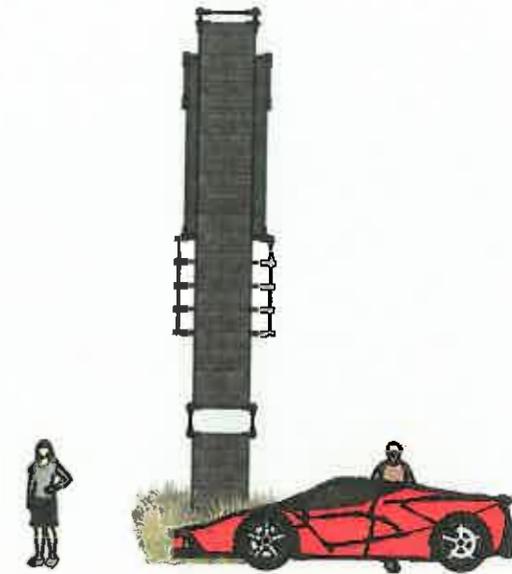
©23Nov15



the Willow Willowbrook



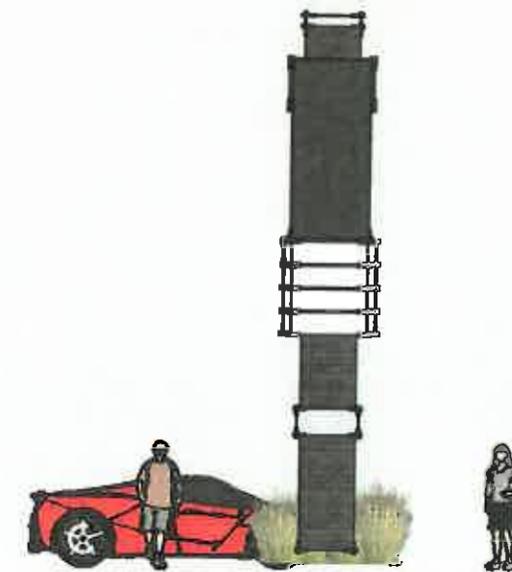
PLAN VIEW SCALE 1/8" = 1'-0"



NORTH ELEVATION SCALE 1/8" = 1'-0"



EAST ELEVATION SCALE 1/8" = 1'-0"



SOUTH ELEVATION SCALE 1/8" = 1'-0"

SHRUB LIST:	SIZE:	PERENNIAL LIST:	QUANTITY:
BB - BURNING BUSH	(4")	HRD - HAPPY RETURNS DAYLILY	(364)
GS - GOLD FLAME SPIREA	(18")	DFG - DWARF FOUNTAIN GRASS	(89)
GLS - GLO LOW SUMAC	(5 GAL)	MS - MAIDEN GRASS	(92)
SGJ - SEA GREEN JUNIPER	(5 GAL)	FRG - FEATHER REED GRASS	(212)
COV - COMPACT CARLEBII VIBURNUM	(24")		
DKL - DWARF KOREAN LILAC	(24")		
HY - HICKS YEW	(3')		
SY - SPREADING YEW	(3')		
BM - BLUE MUFFY VIBURNUM	(3')		
KR - KNOCKOUT ROSE (34)	(3 GAL)		

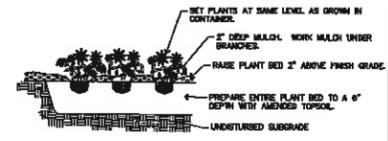
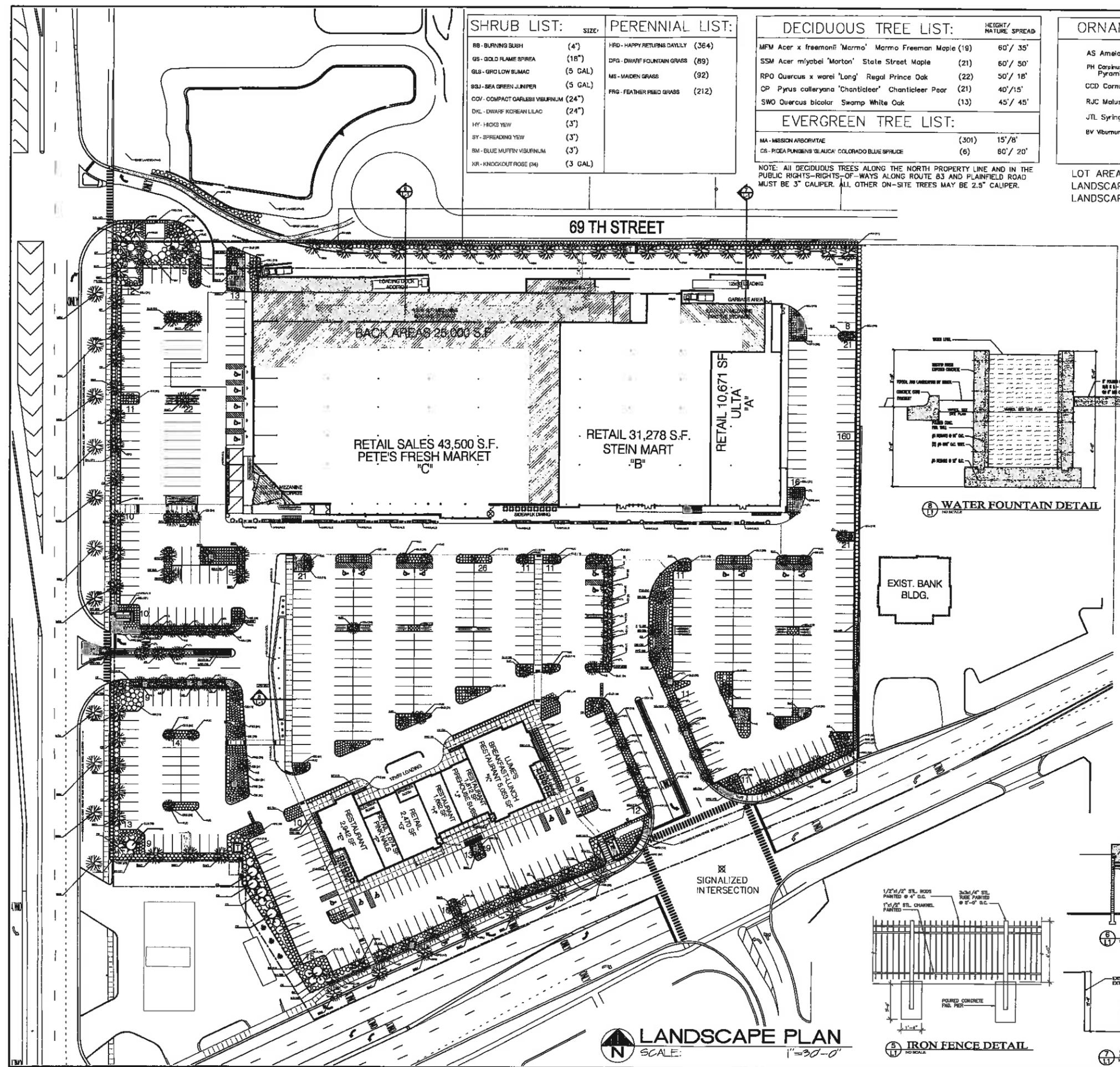
DECIDUOUS TREE LIST:	HEIGHT/ MATURE SPREAD:
MFM Acer x freemanii 'Marmo' Marmo Freeman Maple	(19) 60' / 35'
SSM Acer miyabei 'Morton' State Street Maple	(21) 60' / 50'
RPO Quercus x warei 'Long' Regal Prince Oak	(22) 50' / 18'
CP Pyrus calleryana 'Chanticleer' Chanticleer Pear	(21) 40' / 15'
SWO Quercus bicolor Swamp White Oak	(13) 45' / 45'

EVERGREEN TREE LIST:	HEIGHT/ MATURE SPREAD:
MA - MISSION ARBORVITAE	(301) 15' / 8'
CS - COCA PUNGENS 'GLAUCA' COLORADO BLUE SPRUCE	(6) 80' / 20'

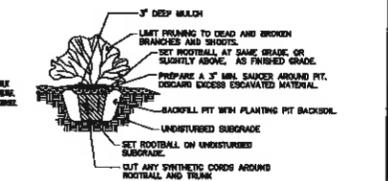
ORNAMENTAL TREE LIST:	HEIGHT/ MATURE SPREAD:
AS Amelanchier x grandiflora Apple Serviceberry	(18) 30' / 20'
PH Cornus betulus 'Fastigata' Pyramidal European Hornbeam	(32) 35' / 15'
CCD Cornus mas Cornelian Cherry Dogwood	(13) 20' / 20'
RJC Malus x Red Jewel Red Jewel Crab	(25) 15' / 12'
JTL Syringa reticulata Japanese Tree Lilac	(29) 20' / 15'
BV Viburnum Prunifolium Blackhaw Viburnum	(17) 10' / 15'

NOTE: ALL DECIDUOUS TREES ALONG THE NORTH PROPERTY LINE AND IN THE PUBLIC RIGHTS-OF-WAYS ALONG ROUTE 83 AND PLAINFIELD ROAD MUST BE 3" CALIPER. ALL OTHER ON-SITE TREES MAY BE 2.5" CALIPER.

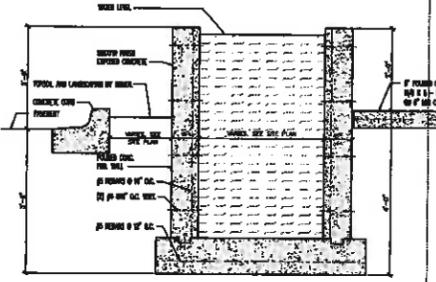
LOT AREA = 464,650 S.F. (10.6669 ACRES)
 LANDSCAPE AREA (GREEN SPACE) = 46,822 S.F.
 LANDSCAPE LOT COVERAGE = 10%



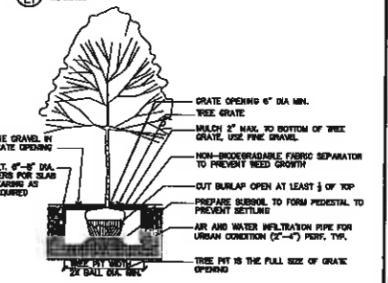
ANNUAL, PERENNIAL, AND GROUND COVER DETAIL



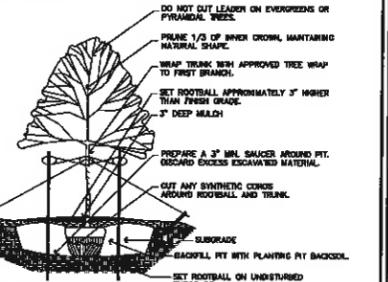
SHRUB PLANTING DETAIL



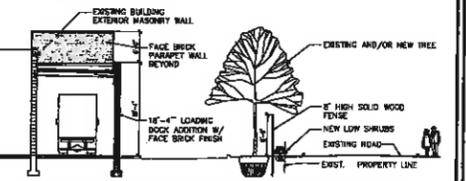
WATER FOUNTAIN DETAIL



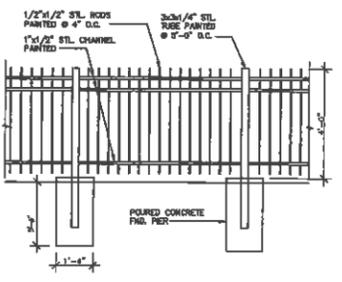
TREE PLANTING DETAIL IN PAVEMENT/METAL GRATE



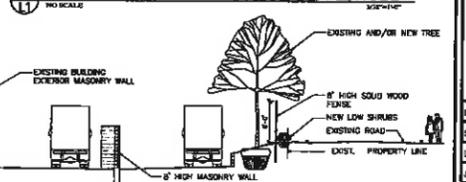
TREE PLANTING DETAIL



SECTION THRU REAR DRIVEWAY



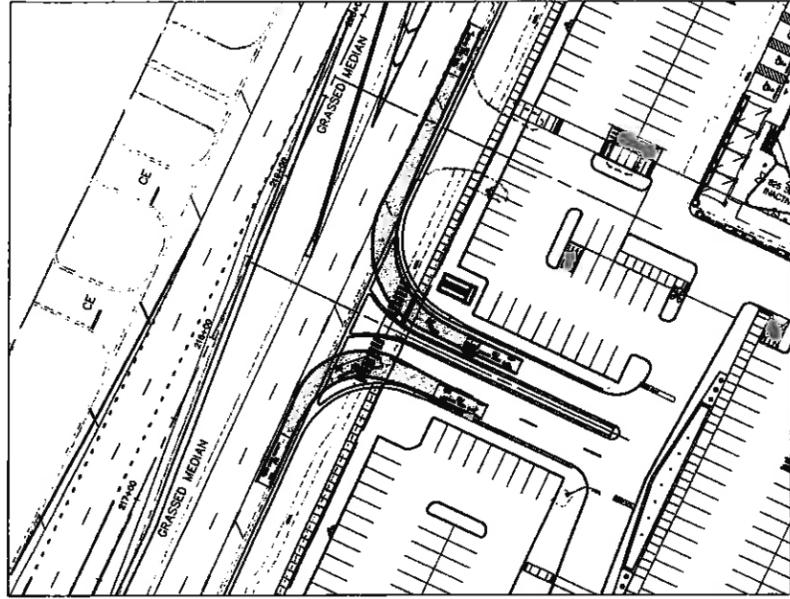
IRON FENCE DETAIL



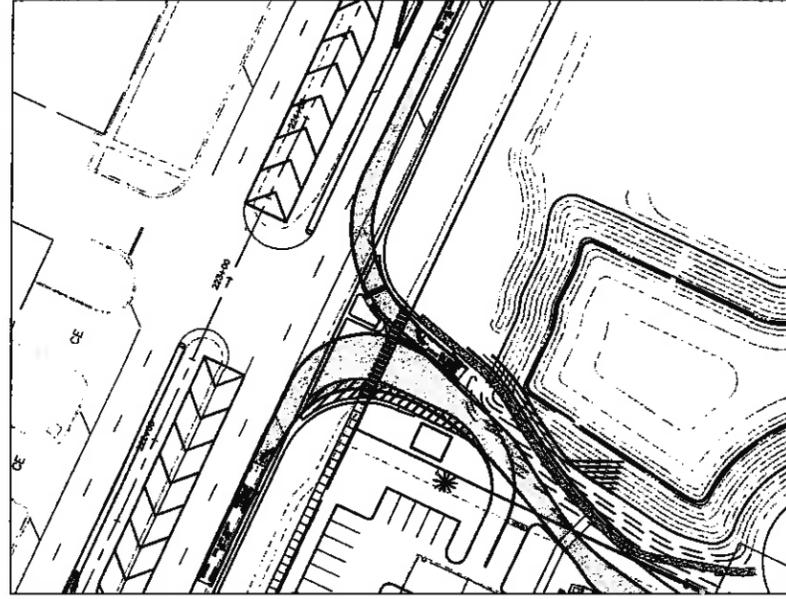
SECTION THRU REAR DRIVEWAY

LANDSCAPE PLAN
 SCALE: 1" = 30'-0"

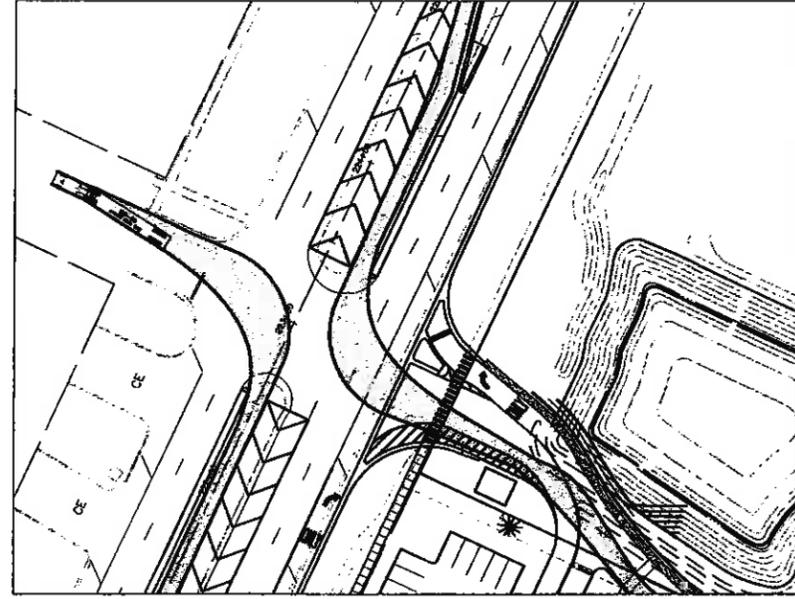
REVISIONS BY: []
 ARCHITECT: ANGELO STAMATOUKOS
 113 CENTRAL WILLOWBROOK, ILLINOIS 60157
 Telephone: (630) 788-2314 Fax: (630) 461-0860 E-mail: angelo@stamatoukos.com
 LANDSCAPE PLAN AND DETAILS
 PROPOSED DEVELOPMENT
 THE WILLOWS OF WILLOWBROOK
 NORTH-EAST CORNER OF ROUTE 83 AND PLAINFIELD ROAD, WILLOWBROOK, IL
 Date: 10/5/15
 Scale: NOTED
 Job: 100420
 Sheet: L-1



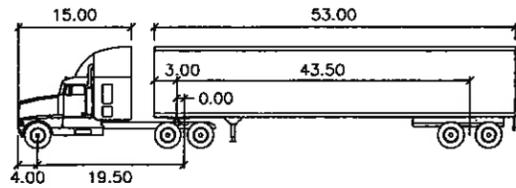
IL 83 AT SITE ENTRANCE
RIGHT IN & OUT



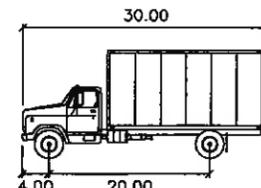
IL 83 AT TRUCK ENTRANCE
RIGHT IN & OUT



IL 83 AT TRUCK ENTRANCE
LEFT IN

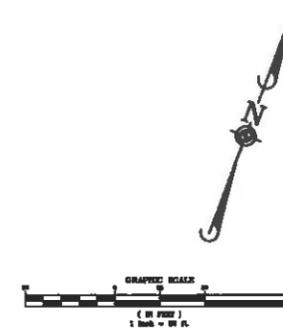


WB-65	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

DESIGN VEHICLES



DATE	DESCRIPTION
8-25-14	REVISED PER DOT COMMENTS
8-25-14	REVISED PER DOT COMMENTS
8-25-14	REVISED PER DOT COMMENTS
7-25-14	REVISED PER NEW ENTRANCE LOCATION ON IL 83

Manhard CONSULTING
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 312.467.1000
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 Civil Engineers • Surveyors • Urban Planners • Environmental Engineers • Water & Wastewater Engineers
 Construction Managers • Transportation Engineers • Landmarks Preservation

**PETE'S FRESH MARKET
 WILLOWBROOK, ILLINOIS
 DESIGN VEHICLE TURNING MOVEMENTS**

PROJ. NO.	DA
PROJ. ASSOC.	RW
DESIGNER	AS
DATE	8-25-14
SCALE	1"=50'
SHEET	4 OF 4
PM/RW	130106

September 15, 2014 - 13:18 - C:\Users\p1\OneDrive\Documents\Projects\Projects\2014\08-25-14_Pete's Fresh Market - Willowbrook, IL.dwg

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