

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, JANUARY 11, 2016, AT 6:30 P.M. AT THE BURR RIDGE POLICE DEPARTMENT TRAINING ROOM, 7700 COUNTY LINE ROAD, BURR RIDGE, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
  - a. Waive Reading of Minutes (APPROVE)
  - b. Minutes - Regular Board Meeting - December 14, 2015 (APPROVE)
  - c. Warrants - \$569,302.11 (APPROVE)
  - d. Monthly Financial Report - December 31, 2015 (APPROVE)
  - e. Ordinance - An Ordinance Declaring Surplus Property and Authorizing the Disposal of the Same (PASS)
  - f. Ordinance - An Ordinance Amending Title 3, Section 3-12-5(B)(1) of the Village Code - Classifications: Class B-1 License (PASS)
  - g. Resolution - A Resolution Authorizing A Representative to Sign Loan Documents - IEPA SRF Low Interest Loan in the Total Amount of \$1,417,000 for the Painting and Maintenance of Two (2) Potable Water Storage Tank Structures (ADOPT)
  - h. Resolution - A Resolution Authorizing the Execution of the Local Public Agency Agreement for Federal Participation in the Clarendon Hills Road Reconstruction Project (ADOPT)
  - i. Motion - A Motion to Approve Application for a License to Hold a Raffle - Willowbrook / Burr Ridge Chamber of Commerce (PASS)

NEW BUSINESS

6. DELINQUENT WATER BILLS
7. ORDINANCE - AN ORDINANCE APPROVING A PRELIMINARY AND FINAL PLAT OF SUBDIVISION, AND GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL PLAT OF PUD, INCLUDING WAIVERS FROM THE ZONING ORDINANCE - ROC PUD, 7501 - 7601 QUINCY STREET
8. ORDINANCE - AN ORDINANCE AUTHORIZING AND GRANTING A FRANCHISE TO NORTHERN ILLINOIS GAS COMPANY (d/b/a NICOR GAS COMPANY) ITS SUCCESSORS AND ASSIGNS, TO CONSTRUCT, OPERATE, AND MAINTAIN A NATURAL GAS DISTRIBUTING SYSTEM IN AND THROUGH THE VILLAGE OF WILLOWBROOK, ILLINOIS
9. RESOLUTION - A RESOLUTION EXPRESSING OFFICIAL INTENT REGARDING CERTAIN EXPENDITURES TO BE REIMBURSED FROM THE BUSINESS DISTRICT FUND FOR AND/OR FROM PROCEEDS OF AN OBLIGATION ISSUED, IF ANY, IN CONNECTION WITH A PROPOSED BUSINESS DISTRICT COMMONLY DESCRIBED AS ROUTE 83/PLAINFIELD ROAD

PRIOR BUSINESS

10. COMMITTEE REPORTS
11. ATTORNEY'S REPORT
12. CLERK'S REPORT
13. ADMINISTRATOR'S REPORT
14. MAYOR'S REPORT
15. EXECUTIVE SESSION
16. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, DECEMBER 14, 2015 AT THE VILLAGE POLICE STATION BUILDING, 7760 QUINCY STREET, IN THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Attorney Michael R. Durkin, Village Administrator Timothy Halik, Director of Finance Carrie Dittman, Chief Mark Shelton, Deputy Chief Mark Altobella, Assistant to the Village Administrator Garrett Hummel, Deputy Clerk Cindy Stuchl, Planning Consultant JoEllen Charlton, and Administrative Intern Tiffany Kolodziej.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Downers Grove Township Supervisor Frank Wurster to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None presented.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - November 23, 2015 (APPROVE)
- c. Warrants - \$513,546.68 (APPROVE)
- d. Monthly Financial Report - November 30, 2015 (APPROVE)
- e. Resolution - A Resolution of the Village of Willowbrook Setting the 2016 Calendar Year Schedule of Regular Meetings of the Mayor and Board of Trustees and the Schedule of Regular Meetings of Commission and Committees of the Village of Willowbrook, DuPage County, Illinois - Resolution No. 15-R-76 (ADOPT)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda.

MOTION: Made by Trustee Davi and seconded by Trustee Oggerino to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

6. PRESENTATION - DOWNERS GROVE TOWNSHIP

Supervisor Wurster and Public Relations Director Lori Wrzesinski from the Downers Grove Township gave a presentation of the services and programs that the Township offers.

7. ORDINANCE - AN ORDINANCE APPROVING A PRELIMINARY AND FINAL PLAT OF SUBDIVISION, AND GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL PLAT OF PUD, INCLUDING WAIVERS FROM THE ZONING ORDINANCE - ROC PUD, 7501 - 7601 QUINCY STREET

Planning Consultant Charlton related that this property is a 15½ acre property located on the northeast side of Quincy Street and Executive Drive. As part of the proposed project, the applicant wishes to subdivide the property. There is an existing building on the northern portion of the property that covers 8½ acres. The new lot will be almost 7 acres and the proposal will accommodate two separate buildings that total approximately 100,000 square feet and will be used for self-storage for general goods and exotic cars.

The proposal is for a PUD in order to take advantage of the allowance of multiple buildings on one zoning lot. The proposal shows a setback of 30 feet along Executive Drive, which is consistent with other buildings along that road. The setback along Quincy Street varies from 30 feet to almost 60 feet along Quincy.

Planning Consultant Charlton advised that the Plan Commission discussed this proposal at two separate meetings. The Plan Commission related that the setbacks were consistent with surrounding properties. There were concerns about inside storage of garbage. The applicant advised that he had contacted the garbage service and was notified that their trucks would be able

to bring their trucks inside the building for pick ups. The Plan Commission recommended that the garbage be stored inside the building and brought outside on pick up day and required to be brought back into the building by the end of the day. Planning Consultant Charlton advised that a provision has been added to the ordinance that if the applicant is cited on three occasions for not moving the garbage to the inside of the building, the applicant must then construct an outside garbage enclosure per Village code.

Mr. Mike Siurek, from ROC Willowbrook, LLC, addressed the Board about his proposal. Mr. Siurek related that having garbage dumpsters on the outside of a building invites nuisances with people loading up the dumpsters when emptying out their storage units. Garbage pick up will be for the sole purpose of office staff.

Mr. Siurek related that there will be no servicing of vehicles in the car storage building. There will only be an area to wipe down the cars.

Trustee Mistele stated that he feels the buildings are too large for the site. Trustee Mistele related that there is a health issue with having the garbage dumpsters on the inside of the building and should be placed outside. Trustee Mistele also recommended that loading docks be included for both buildings. Trustee Mistele advised that the set back along Quincy Street should be in-line with the Stone Wheel building to the south.

Administrator Halik clarified that the proposal would not need to be brought back to the Plan Commission and can return directly to the Village Board.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to postpone discussion on this ordinance until a revised plan is presented to the Board on January 11, 2016.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

8. RESOLUTION - A RESOLUTION AUTHORIZING THE CHIEF OF POLICE TO PURCHASE TEN (10) PANASONIC TOUGHBOOK CF-31 RUGGED IN-CAR COMPUTERS - CDS OFFICE TECHNOLOGIES

Chief Shelton related that the current in-car computers being used in the squad cars are owned by Southwest Central Dispatch.

Since the police department will be changing over dispatch services to DU-COMM, new computers will be necessary. The target date to switch services is April 27, 2016. By purchasing the computers at this time, it will allow for leeway time for the computers to be implemented with current data systems in order for the switch to occur with no problems.

Chief Shelton advised that the costs for these computers will come from the Asset Forfeiture Fund and will not affect the Village General Fund.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to adopt Resolution No. 15-R-77 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

9. RESOLUTION - A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ACCEPT A PROPOSAL FOR PROFESSIONAL ENGINEERING SERVICES RELATING TO THE DESIGN OF AN INTERSECTION AND APPROACH STREETLIGHTING PROJECT, KINGERY HIGHWAY (ILLINOIS ROUTE 83) AND 63<sup>RD</sup> STREET - CHRISTOPHER B. BURKE ENGINEERING, LTD.

Administrator Halik related that the Village was awarded a \$509,000 grant to be used to install streetlights at the intersection of Kingery Highway and 63<sup>rd</sup> Street. This grant includes federal funding so the project must be designed and installed to meet all federal guidelines for intersection and approach lighting and follow a federal approval process.

The project will include 50 new streetlights. The total estimated cost of this project is approximately \$730,000. The grant will cover 70%. Project engineering costs are separate and cannot be part of the grant proposal.

The engineering design will cost approximately \$76,900. Accepting this proposal now will enable the project to move forward and be put to bid during mid 2016.

A separate engineering expense also not covered by the grant will be for construction oversight. This component must be in place prior to going out for bid. Proposals will be obtained after the first of the year.

Total costs not covered by the grant are approximately \$295,000. Funds can be paid through the Village's general fund, or through other methods such as establishing a Special Service Area or creating a business district sales tax overlay district.

Staff will prepare funding options and present them to the Village Board during the Budget Workshop in March.

MOTION: Made by Trustee Davi and seconded by Trustee Mistele to adopt Resolution No. 15-R-78 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

10. MOTION - A MOTION TO APPROVE THE CALENDAR YEAR 2016 PAYMENT TO THE INTERGOVERNMENTAL RISK MANAGEMENT AGENCY (IRMA) AND DISCUSSION OF THE DISTRIBUTION OF THE CREDIT AMOUNT TO ELIGIBLE EMPLOYEES

Assistant to the Village Administrator Hummel informed the Village Board that IRMA issues an annual premium notice in December to the Village based upon each member's revenues and claims experience. The Village experienced an excellent loss history during the past five years which enabled the Village to earn a credit for the 2016 calendar year. The estimated credit is \$55,968.

The Board annually considers approval of the annual premium to IRMA for continued liability insurance coverage. In addition, the Board must approve if the credit is to be divided amongst the eligible employees.

Assistant Hummel also reviewed the IRMA annual premium for calendar year 2016. The premium for this year is \$219,500, which is \$12,537 under budget.

MOTION: Made by Trustee Neal and seconded by Trustee Kelly to approve the 2016 payment to IRMA and distribution of the credit amount to eligible employees.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRIOR BUSINESS

11. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele provided an update to the police department design process and advised that the police department operations will be temporarily relocated to the Community Resource Center located at 825 Midway Drive during renovations. Trustee Mistele also stated that a design development budget will be presented to the Board at the January 11, 2016 Board meeting.

Trustee Berglund related that she had attended the Parks and Recreation Department's annual Children's Christmas party and thanked the Parks and Recreation Commission for a job well done.

Trustee Davi had no report.

Trustee Oggerino had no report.

12. ATTORNEY'S REPORT

Attorney Durkin had no report.

13. CLERK'S REPORT

Clerk Hansen had no report.

14. ADMINISTRATOR'S REPORT

Administrator Halik reminded the Board of the meeting location changes during calendar year 2016. Village Board meetings will be held at the Burr Ridge Police Department Training Room. Time will begin at the same time of 6:30 p.m. Committee meetings will be held at the Village Hall beginning at 5:30 p.m. instead of 6:00 p.m.

15. MAYOR'S REPORT

Mayor Trilla had no report.

16. EXECUTIVE SESSION

Mayor Trilla stated that there was no need for Executive Session during tonight's meeting.

17. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino, to adjourn the Regular Meeting at the hour of 8:02 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

January 11, 2016.

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Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

## WARRANTS

January 11, 2016

GENERAL CORPORATE FUND	-----	\$519,728.51
WATER FUND	-----	18,365.95
HOTEL/MOTEL TAX FUND	-----	2,000.00
DEBT SERVICE	-----	1,639.66
L.A.F.E.R FUND	-----	27,567.99
TOTAL WARRANTS	-----	\$569,302.11



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Carrie Dittman, Director of Finance

APPROVED:

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Frank A. Trilla, Mayor

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
12/17/2015	APCH	5(E)	EFTPS	EMP DED PAY- FED	01-00-210-202	13,991.85
		5(E)		EMP DED PAY- FICA	01-00-210-207	2,470.18
		5(E)		EMP DED PAY - MEDICARE	01-00-210-212	1,623.07
						<u>18,085.10</u>
12/17/2015	APCH	6(E)	ILLINOIS DEPT. OF REVENUE	EMP DED PAY - ILL	01-00-210-203	2,011.01
12/22/2015	APCH	87881	COMMUNITY BANK OF WILLOWBROOK	EMP DED PAY - MEDICAL REIMB	01-00-210-219	304.15
		87881		EMP DED PAY - CHILD CARE	01-00-210-220	300.00
						<u>604.15</u>
12/22/2015	APCH	87882	EFTPS	EMP DED PAY- FED	01-00-210-202	23,172.91
		87882		EMP DED PAY- FICA	01-00-210-207	4,626.69
		87882		EMP DED PAY - MEDICARE	01-00-210-212	3,355.15
		87882		EMP DED PAY-F I C A	02-00-210-207	352.47
						<u>31,507.22</u>
12/22/2015	APCH	87883	I.M.R.F. PENSION FUND	EMP DED PAY - IMRF	01-00-210-206	18,725.16
		87883		EMP DED PAY-I M R F	02-00-210-206	1,081.75
						<u>19,806.91</u>
12/22/2015	APCH	87884	ICMA	ICMA RETIREMENT PLAN	01-00-210-209	525.00
12/22/2015	APCH	87885	ILLINOIS DEPT. OF REVENUE	EMP DED PAY - ILL	01-00-210-203	3,847.18
12/22/2015	APCH	87886	ILLINOIS FRATERNAL	UNION DUES - POLICE	01-00-210-215	731.00
		87886		UNION DUES - POLICE SERGEANTS	01-00-210-227	129.00
						<u>860.00</u>
12/22/2015	APCH	87887	ILLINOIS STATE DISBURSEMENT UNIT	WAGE GARNISHMENT	01-00-210-225	1,848.93
12/22/2015	APCH	87888	USCM/MIDWEST	EMP DED PAY - USCM/NATIONWIDE		** VOIDED **
		87888		EMP DED PAY - USCM/NATIONWIDE		** VOIDED **
12/22/2015	APCH	87889	VILLAGE OF WILLOWBROOK	EMP DED PAY- POLICE PENSION	01-00-210-205	7,337.26
		87889		POLICE PENSION	01-30-630-155	23,635.77
						<u>30,973.03</u>
12/22/2015	APCH	87890	NATIONWIDE RETIREMENT SOLUTIONS	EMP DED PAY - USCM/NATIONWIDE	01-00-210-216	3,142.18
12/22/2015	APCH	87891	NATIONWIDE RETIREMENT SOLUTIONS	EMP DED PAY - USCM/NATIONWIDE	01-00-210-216	3,244.07

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
12/23/2015	APCH	87892	CAR REFLECTIONS	MAINTENANCE - VEHICLES	01-30-630-409	1,990.00
12/23/2015	APCH	87893	I.M.R.F. PENSION FUND	EMP DED PAY - IMRF	01-00-210-206	2,515.17
01/06/2016	APCH	87894	7-Eleven	7-11 overpayment ck 686 12/18/15	01-00-210-101	100.00
01/06/2016	APCH	87895	ACTARA	EDP SOFTWARE	02-50-417-212	1,200.00
01/06/2016	APCH	87896	ACTIVE	TRAFFIC FINES	01-00-310-502	300.00
01/06/2016	APCH	87897	AIRGAS USA LLC	EQUIPMENT RENTAL	01-35-750-290	58.28
01/06/2016	APCH	87898	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES	01-30-630-247	13,485.00
		87898		RED LIGHT - MISC FEE	01-30-630-249	195.00
						<u>13,680.00</u>
01/06/2016	APCH	87899	ASSOCIATED TECHNICAL SERV. LTD.	LEAK SURVEYS	02-50-430-276	1,384.00
01/06/2016	APCH	87900	AT & T MOBILITY	PHONE - TELEPHONES	02-50-401-201	60.61
01/06/2016	APCH	87901	AZAVAR AUDIT SOLUTIONS INC	UTILITY TAX	01-00-310-205	311.47
01/06/2016	APCH	87902	BARCUS, EDWARD	UTILITY TAX (5%)	01-00-130-209	8.16
		87902		WATER	02-00-130-101	163.19
						<u>171.35</u>
01/06/2016	APCH	87903	BATTERIES PLUS 286 or 288	MAINTENANCE - VEHICLES	01-30-630-409	110.87
01/06/2016	APCH	87904	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING	01-35-725-418	310.00
01/06/2016	APCH	87905	BS & A SOFTWARE	EDP EQUIPMENT	01-25-625-641	75.00
01/06/2016	APCH	87906	CALL ONE INC	PHONE - TELEPHONES	01-10-455-201	1,011.40
		87906		PHONE - TELEPHONES	01-30-630-201	916.43
		87906		PHONE - TELEPHONES	02-50-401-201	693.93
						<u>2,621.76</u>
01/06/2016	APCH	87907	CENTURY 21 RAINBO REALTY	CUSTOMER OVERPAYMENT	02-00-280-135	347.25
01/06/2016	APCH	87908	CHRISTINE ROBLES	UNIFORMS	01-30-630-345	452.07
01/06/2016	APCH	87909	CHRISTOPHER B. BURKE	REIMB EXP - ENGINEERING	01-15-520-247	2,010.65
		87909		PLAN REVIEW - ENGINEERING	01-15-520-254	646.92

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
87909				PLAN REVIEW - PLANNER	01-15-520-257	7,434.67
87909				FEES - ENGINEERING	01-35-720-245	7,717.33
87909				FEES - ENGINEERING	01-40-820-245	546.75
87909				PLAN REVIEW - DRAINAGE ENGINEER	01-40-820-259	1,958.22
87909				WATER TANK REPAIRS	09-65-440-604	1,639.66
87909				POLICE DEPT REMODEL (7760 QUINCY)	14-75-930-411	10,853.20
87909				CRC REMODEL (825 MIDWAY DR)	14-75-930-412	5,345.60
						<u>38,153.00</u>
01/06/2016	APCH	87910	VOID	** VOIDED **		** VOIDED **
01/06/2016	APCH	87911	CHRISTOPHER M. DRAKE	UNIFORMS	01-30-630-345	135.45
01/06/2016	APCH	87912	CINTAS FIRST AID & SAFETY	MAINTENANCE - BUILDING	01-10-466-228	42.90
01/06/2016	APCH	87913	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	01-10-466-228	90.00
01/06/2016	APCH	87914	CLARENDON COURIER INC	CHILDRENS SPECIAL EVENTS - OTHER	01-20-585-150	111.00
01/06/2016	APCH	87915	COLLEGE OF DUPAGE	SCHOOLS/CONFERENCES/TRAVEL	01-30-630-304	95.00
01/06/2016	APCH	87916	COMCAST CABLE	EDP SOFTWARE	01-10-460-212	129.85
87916				EQUIPMENT MAINTENANCE	01-35-715-263	104.85
						<u>234.70</u>
01/06/2016	APCH	87917	COMMONWEALTH EDISON	ENERGY/COMED (835 MIDWAY)	01-10-466-240	283.06
87917				RED LIGHT - COM ED	01-30-630-248	117.75
87917				ENERGY - STREET LIGHTS	01-35-745-207	1,205.36
87917				ENERGY - ELECTRIC PUMP	02-50-420-206	1,930.90
						<u>3,537.07</u>
01/06/2016	APCH	87918	CRITICAL REACH INC	FEES/DUES/SUBSCRIPTIONS	01-30-630-307	285.00
01/06/2016	APCH	87919	DARREN BIGGS	UNIFORMS	01-30-630-345	433.92
01/06/2016	APCH	87920	DECISION SYSTEMS COMPANY	EDP EQUIPMENT	01-25-625-641	1,500.00
01/06/2016	APCH	87921	DELTA DENTAL PLAN OF ILLINOIS	EMP DED PAY- INSURANCE	01-00-210-204	1,114.13
87921				EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-10-455-141	271.09
87921				EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-15-510-141	57.16
87921				EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-25-610-141	156.77
87921				EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-30-630-141	2,270.01

Check Date	Bank	Check #	Payee	Description	GL #	Amount
		87921		EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-35-710-141	192.71
		87921		EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-40-810-141	171.48
		87921		EMPLOYEE BENEFITS - MEDICAL INSURANCE	02-50-401-141	192.70
						<u>4,426.05</u>
01/06/2016	APCH	87922	DUPAGE CNTY CHIEFS OF POL.ASSN.	FEES/DUES/SUBSCRIPTIONS	01-30-630-307	50.00
01/06/2016	APCH	87923	DUPAGE CONVENTION	FEES/DUES/SUBSCRIPTIONS	03-53-401-307	2,000.00
01/06/2016	APCH	87924	DUPAGE COUNTY ANIMAL CARE & CONT	ANIMAL CONTROL	01-30-650-268	490.00
01/06/2016	APCH	87925	DUPAGE COUNTY E.T.S.B. 911	PHONE - TELEPHONES	01-30-630-201	468.37
01/06/2016	APCH	87926	DUPAGE MAYORS AND MGRS. CONF.	SCHOOLS/CONFERENCES/TRAVEL	01-05-410-304	160.00
		87926		SCHOOLS/CONFERENCES/TRAVEL	01-10-455-304	80.00
						<u>240.00</u>
01/06/2016	APCH	87927	DYLAN TRAINOR	UNIFORMS	01-30-630-345	727.39
01/06/2016	APCH	87928	EHLERS & ASSOCIATES INC	PLAN REVIEW - ENGINEERING	01-15-520-254	3,700.00
01/06/2016	APCH	87929	EXXON MOBIL	FUEL/MILEAGE/WASH	01-35-710-303	147.89
		87929		FUEL/MILEAGE/WASH	02-50-401-303	147.88
						<u>295.77</u>
01/06/2016	APCH	87930	FEDERAL EXPRESS CORP.	POSTAGE & METER RENT	01-10-455-311	57.90
01/06/2016	APCH	87931	FENSKE JOHN	CHILDRENS SPECIAL EVENTS - OTHER	01-20-585-150	66.58
01/06/2016	APCH	87932	GADDIS DAVID	UNIFORMS	01-30-630-345	256.43
01/06/2016	APCH	87933	GATEWAY SRA	SPECIAL RECREATION ASSOC PROGRAM DUES	01-20-590-518	18,159.01
01/06/2016	APCH	87934	HD SUPPLY WATERWORKS, LTD	MAINTENANCE - RADIO EQUIPMENT	01-35-735-421	57.76
01/06/2016	APCH	87935	HEAT ENGINEERING CO	MAINTENANCE - BUILDING	01-10-466-228	122.40
		87935		MAINTENANCE - GARAGE	01-35-725-413	280.00
						<u>402.40</u>
01/06/2016	APCH	87936	HINSDALE TOWNSHIP HIGH SCHOOL	CHILDRENS SPECIAL EVENTS - OTHER	01-20-585-150	117.00
01/06/2016	APCH	87937	HR SIMPLIFIED	EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-10-455-141	25.00
01/06/2016	APCH	87938	I.R.M.A.	INSURANCE - IRMA	01-10-480-272	163,532.00

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/06/2016	APCH	87939	ILL. ASSN. CHIEFS OF POLICE	FEES/DUES/SUBSCRIPTIONS	01-30-630-307	440.00
01/06/2016	APCH	87940	ILL. MUNICIPAL LEAGUE	FEES/DUES/SUBSCRIPTIONS	01-05-410-307	925.00
01/06/2016	APCH	87941	INDUSTRIAL ELECTRICAL SUPPLY	BUILDING MAINTENANCE SUPPLIES	01-10-466-351	75.00
01/06/2016	APCH	87942	INTERGOVERNMENTAL PERSONNEL	EMP DED PAY- INSURANCE	01-00-210-204	10,462.85
		87942		LIFE INS BENEFIT -APPOINTED/ELECTED	01-05-410-141	78.21
		87942		LIFE INS BENEFIT -APPOINTED/ELECTED	01-07-435-148	29.20
		87942		EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-10-455-141	570.75
		87942		EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-15-510-141	695.48
		87942		PLAN COMMISSION COMPENSATION	01-15-510-340	58.39
		87942		LIFE INS BENEFIT -APPOINTED/ELECTED	01-20-550-148	84.10
		87942		EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-25-610-141	1,965.19
		87942		EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-30-630-141	24,305.71
		87942		EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-35-710-141	967.95
		87942		EMPLOYEE BENEFITS - MEDICAL INSURANCE	01-40-810-141	2,110.43
		87942		EMPLOYEE BENEFITS - MEDICAL INSURANCE	02-50-401-141	1,023.28
						<u>42,351.54</u>
01/06/2016	APCH	87943	INTERGRATED PROJECT MANAGMENT CO	POLICE DEPT REMODEL (7760 QUINCY)	14-75-930-411	1,267.50
01/06/2016	APCH	87944	INTN'L CODE COUNCIL INC	FEES/DUES/SUBSCRIPTIONS	01-40-810-307	135.00
01/06/2016	APCH	87945	JACK PHELAN DODGE	MAINTENANCE - VEHICLES	01-30-630-409	27.10
01/06/2016	APCH	87946	JAMES MARTINO	UNIFORMS	01-30-630-345	426.47
01/06/2016	APCH	87947	JOKER LIMITED	TRAFFIC FINES	01-00-310-502	50.00
01/06/2016	APCH	87948	JOSE CHAVEZ-JIMENEZ	UNIFORMS	01-30-630-345	92.91
01/06/2016	APCH	87949	JOSE LOPEZ	UNIFORMS	01-30-630-345	227.87
01/06/2016	APCH	87950	KNOLLS CONDO	UTILITY TAX (5%)	01-00-130-209	1.50
		87950		WATER	02-00-130-101	30.00
		87950		CUSTOMER OVERPAYMENT	02-00-280-135	78.50
						<u>110.00</u>
01/06/2016	APCH	87951	KNOLLS CONDO	UTILITY TAX (5%)	01-00-130-209	1.50
		87951		WATER	02-00-130-101	30.00
		87951		CUSTOMER OVERPAYMENT	02-00-280-135	78.50

Check Date	Bank	Check #	Payee	Description	GL #	Amount
						110.00
01/06/2016	APCH	87952	KONICA MINOLTA BUSINESS SOLUTION	COPY SERVICE	01-10-455-315	294.89
01/06/2016	APCH	87953	LAHO TRUCK SERVICE INC	MAINTENANCE - VEHICLES	01-35-735-409	510.00
01/06/2016	APCH	87954	LAKE HINSDALE VILLAGE	CUSTOMER OVERPAYMENT	02-00-280-135	176.96
01/06/2016	APCH	87955	LAUREN KASPAR	UNIFORMS	01-30-630-345	251.84
01/06/2016	APCH	87956	LAURIE LANDSMAN	CHILDRENS SPECIAL EVENTS - OTHER	01-20-585-150	52.16
01/06/2016	APCH	87957	LAW OFFICE OF J.C. BROIHIER	FEES - VILLAGE ATTORNEY	01-07-435-239	487.50
01/06/2016	APCH	87958	LAW OFFICES STORINO RAMELLO&DURK	FEES - VILLAGE ATTORNEY	01-10-470-239	3,803.34
01/06/2016	APCH	87959	LOGSDON OFFICE SUPPLY	OFFICE SUPPLIES	01-10-455-301	130.91
01/06/2016	APCH	87960	METRO REPORTING SERVICE LTD.	FEES - COURT REPORTER	01-15-520-246	1,168.05
01/06/2016	APCH	87961	METROPOLITAN MAYORS CAUCUS	SCHOOLS/CONFERENCES/TRAVEL	01-05-410-304	400.00
01/06/2016	APCH	87962	NCPERS GROUP LIFE INSURANCE	EMP DED - SUPPLEMENTAL LIFE INSURANCE	01-00-210-213	128.00
01/06/2016	APCH	87963	NICOR GAS	NICOR GAS (7760 QUINCY)	01-10-466-235	518.73
		87963		NICOR GAS (835 MIDWAY)	01-10-466-236	360.08
		87963		NICOR GAS (825 MIDWAY)	01-10-466-237	96.23
		87963		NICOR GAS	01-35-725-415	303.85
						1,278.89
01/06/2016	APCH	87964	NORTH EAST MULTI REGIONAL TRNG.	SCHOOLS/CONFERENCES/TRAVEL	01-30-630-304	150.00
01/06/2016	APCH	87965	OCCUPATIONAL HEALTH CENTERS	EXAMS - PHYSICAL	01-07-440-543	270.00
01/06/2016	APCH	87966	P.F. PETTIBONE & CO.	PRINTING & PUBLISHING	01-30-630-302	1,474.20
01/06/2016	APCH	87967	PACIFIC TELEMANAGEMENT SERVICES	PHONE - TELEPHONES	01-10-455-201	78.00
01/06/2016	APCH	87968	PCS INDUSTRIES	BUILDING MAINTENANCE SUPPLIES	01-10-466-351	268.10
		87968		MAINTENANCE - GARAGE	01-35-725-413	217.39
						485.49
01/06/2016	APCH	87969	PCS INTERNATIONAL	EDP SOFTWARE	01-25-615-212	180.00
01/06/2016	APCH	87970	PESSINA TREE SERVICE LLC	REIMB EXP - BRUSH PICKUP	01-35-755-284	9,500.00

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/06/2016	APCH	87971	PETTY CASH C/O TIM HALIK	FUEL/MILEAGE/WASH	01-30-630-303	20.00
		87971		OPERATING EQUIPMENT	01-30-630-401	15.82
						<u>35.82</u>
01/06/2016	APCH	87972	POWERDMS INC	ACCREDITATION	01-30-630-202	935.00
		87972		FEES/DUES/SUBSCRIPTIONS	01-30-630-307	2,559.30
						<u>3,494.30</u>
01/06/2016	APCH	87973	PYRAMID ENTERPRISES LLC	COMM. DEV. BOND & DEPOSITS PAYABLE	01-00-210-109	45,062.50
01/06/2016	APCH	87974	RAGS ELECTRIC, INC	MAINTENANCE - BUILDING	01-10-466-228	331.95
		87974		MAINTENANCE - PW BUILDING	01-35-725-418	642.00
		87974		MAINTENANCE - STREET LIGHTS	01-35-745-223	1,130.65
		87974		REPAIRS & MAINTENANCE-STANDPIPE/PUMPH	02-50-425-485	167.50
						<u>2,272.10</u>
01/06/2016	APCH	87975	RAY O'HERRON CO., INC.	UNIFORMS	01-30-630-345	265.43
		87975		OPERATING EQUIPMENT	01-30-630-401	575.34
						<u>840.77</u>
01/06/2016	APCH	87976	REGIONAL TRUCK EQUIPMENT CO	MAINTENANCE - EQUIPMENT	01-35-740-411	4,604.00
01/06/2016	APCH	87977	ROBERT BAKSHIS	FINANCIAL SERVICES	01-10-471-252	1,750.00
01/06/2016	APCH	87978	ROBERT WHITE CONSTRUCTION	STREET & ROW MAINTENANCE	01-35-750-328	2,900.00
01/06/2016	APCH	87979	RUTLEDGE PRINTING CO.	PRINTING & PUBLISHING	01-30-630-302	598.40
01/06/2016	APCH	87980	SCHLENKER, ROBERT	UTILITY TAX (5%)	01-00-130-209	8.71
		87980		WATER	02-00-130-101	174.07
						<u>182.78</u>
01/06/2016	APCH	87981	SCHUETZ, CHARLES.	CUSTOMER OVERPAYMENT	02-00-280-135	151.49
01/06/2016	APCH	87982	SHELL OIL COMPANY	FUEL/MILEAGE/WASH	01-10-455-303	106.79
		87982		FUEL/MILEAGE/WASH	01-30-630-303	3,534.09
		87982		FUEL/MILEAGE/WASH	01-35-710-303	497.88
		87982		FUEL/MILEAGE/WASH	01-40-810-303	70.66
						<u>4,209.42</u>
01/06/2016	APCH	87983	SHERIDAN PLUMBING & SEWER	JET CLEANING CULVERT	01-35-750-286	2,850.00

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

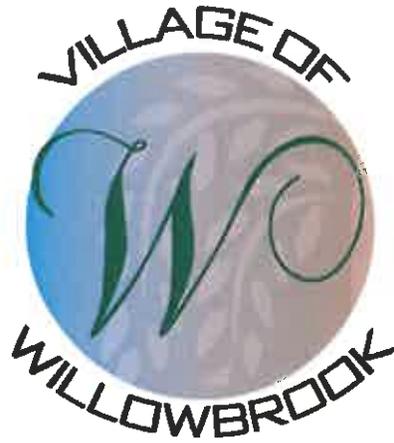
Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/06/2016	APCH	87984	SIGNS NOW	OFFICE SUPPLIES	01-05-410-301	182.50
01/06/2016	APCH	87985	SOUTHWEST CENTRAL DISPATCH	RADIO DISPATCHING	01-30-675-235	22,205.90
01/06/2016	APCH	87986	SPRINT	PHONE - TELEPHONES	01-30-630-201	37.99
01/06/2016	APCH	87987	STAPLES	OFFICE SUPPLIES	01-10-455-301	34.89
01/06/2016	APCH	87988	STERLING CODIFIERS INC.	CODIFY ORDINANCES	01-10-455-266	500.00
01/06/2016	APCH	87989	STREICHER'S	UNIFORMS	01-30-630-345	1,271.00
01/06/2016	APCH	87990	SUBURBAN LIFE PUBLICATIONS	PRINTING & PUBLISHING	01-07-435-302	70.44
01/06/2016	APCH	87991	SUNSET SEWER & WATER	WATER DISTRIBUTION REPAIRS/MAINTENANC	02-50-430-277	2,682.05
01/06/2016	APCH	87992	SVEHLA ARTHUR	UNIFORMS	01-30-630-345	614.07
01/06/2016	APCH	87993	TAMELING INDUSTRIES	STREET & ROW MAINTENANCE	01-35-750-328	42.13
		87993		LANDSCAPING - OTHER	02-50-430-299	70.80
						<u>112.93</u>
01/06/2016	APCH	87994	TCF National Bank	Refund: BL Adjustment Overpayment	01-00-210-101	30.00
01/06/2016	APCH	87995	THOMPSON PUBLISHING GROUP	FEES/DUES/SUBSCRIPTIONS	01-30-630-307	140.00
01/06/2016	APCH	87996	TRAFFIC CONTROL & PROTECTIONS	ROAD SIGNS	01-35-755-333	462.90
01/06/2016	APCH	87997	UNDERGROUND PIPE & VALVE, CO.	MATERIAL & SUPPLIES - DISTRIBUTION	02-50-430-476	6,073.00
01/06/2016	APCH	87998	UNIFIRST	MAINTENANCE - BUILDING	01-10-466-228	432.70
01/06/2016	APCH	87999	UNITED STATE POSTAL SERVICE	PREPAID POSTAGE	01-00-190-102	3,500.00
01/06/2016	APCH	88000	UNIVERSITY OF ILLINOIS	SCHOOLS/CONFERENCES/TRAVEL	01-30-630-304	350.00
01/06/2016	APCH	88001	VERIZON WIRELESS	PHONE - TELEPHONES	02-50-401-201	75.12
01/06/2016	APCH	88002	W.W. GRAINGER	BUILDING MAINTENANCE SUPPLIES	01-10-466-351	90.34
		88002		OPERATING SUPPLIES & EQUIPMENT	01-35-715-401	25.62
						<u>115.96</u>
01/06/2016	APCH	88003	WAREHOUSE DIRECT	OFFICE SUPPLIES	01-30-630-301	80.74
01/06/2016	APCH	88004	WESTFIELD FORD	MAINTENANCE - VEHICLES	01-30-630-409	491.66

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 12/16/2015 - 01/11/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/06/2016	APCH	88005	WESTOWN AUTO SUPPLY COMPANY	MAINTENANCE - VEHICLES	01-35-735-409	72.38
01/06/2016	APCH	88006	WEX BANK	FUEL/MILEAGE/WASH	01-10-455-303	2.00
		88006		FUEL/MILEAGE/WASH	01-30-630-303	16.00
		88006		FUEL/MILEAGE/WASH	01-35-710-303	6.00
		88006		FUEL/MILEAGE/WASH	01-40-810-303	2.00
						<u>26.00</u>
01/06/2016	APCH	88007	WILLIAMS ARCHITECTS	POLICE DEPT REMODEL (7760 QUINCY)	14-75-930-411	9,097.44
		88007		CRC REMODEL (825 MIDWAY DR)	14-75-930-412	1,004.24
						<u>10,101.68</u>
01/06/2016	APCH	88008	WINGREN LANDSCAPE INC.	WINTER PROGRAM MATERIALS & SERVICES	01-20-585-121	1,313.00
01/06/2016	APCH	88009	WLBK BURR RIDGE CHAMBER OF COM	SCHOOLS/CONFERENCES/TRAVEL	01-05-410-304	100.00
		88009		SCHOOLS/CONFERENCES/TRAVEL	01-07-435-304	60.00
		88009		SCHOOLS/CONFERENCES/TRAVEL	01-30-630-304	20.00
						<u>180.00</u>
01/06/2016	APCH	88010	ZEP MANUFACTURING COMPANY	OPERATING EQUIPMENT	01-30-630-401	302.69
			TOTAL - ALL FUNDS	TOTAL OF 132 CHECKS (2 voided)		569,302.11

CHECK REGISTER FOR WILLOWBROOK  
CHECK NUMBERS 87873 - 87880  
HANDWRITTEN CHECKS & PAYROLL LIABILITIES  
(Not Appearing on Prior Warrant Listing)

Check Date	Bank	Check	Vendor	Vendor Name	Amount
Bank APCHK ACCOUNTS PAYABLE CHECKING					
12/10/2015	APCHK	87873	30143	COMMUNITY BANK OF WILLOWBROOK	604.15
12/10/2015	APCHK	87874	90011	ICMA	525.00
12/10/2015	APCHK	87875	90153	ILLINOIS STATE DISBURSEMENT UNIT	1,632.24
12/10/2015	APCHK	87876	210091	USCM/MIDWEST	3,142.18 V
12/10/2015	APCHK	87877	230153	VILLAGE OF WILLOWBROOK	30,973.07
12/14/2015	APCHK	87878	190183	STETINA DOUGLAS & FRAN	102.54
12/14/2015	APCHK	87879	40132	DUPAGE CREDIT UNION	1,025.05
12/15/2015	APCHK	87880	190186	CYNTHIA STUHL	<u>950.00</u>
APCHK TOTALS:					
Total of 8 Checks:					38,954.23
Less 1 Void Checks:					<u>3,142.18</u>
Total of 7 Disbursements:					<u>35,812.05</u>



MONTHLY FINANCIAL REPORT  
DECEMBER 2015

RESPECTFULLY SUBMITTED BY:

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Frank A. Trilla, Mayor

A handwritten signature in black ink, appearing to read 'Carrie Dittman', is written above a horizontal line.

Carrie Dittman, Director of Finance

VILLAGE OF WILLOWBROOK  
MONTHLY CASH AND INVESTMENT BALANCE BY FUND  
FOR THE MONTH ENDED 12/31/2015

ACCOUNT	BALANCE
<b>Fund 01 GENERAL FUND</b>	
PAYROLL - 0291	0.00
CHECKING - 0283	0.00
COMMUNITY BANK OF WB - 0275	1,313,942.72
IL FUNDS - 5435	2,975,759.01
COMMUNITY BANK OF WB MM - 1771	301,580.04
COMMUNITY BANK RD LGHT - 0724	17,349.70
COMMUNITY BANK OF WB FSA - 3804	13,882.37
U.S. BANK RED LIGHT - 4216	6,500.00
COMMUNITY BANK DRUG ACCT - 4171	185,980.62
COMMUNITY BANK WB CADETS - 10620387	308.02
PETTY CASH REVLVING	950.00
CADET PETTY CASH	0.00
IMET - GENERAL	28.69
<b>Total For Fund 01:</b>	<b>4,816,281.17</b>
<b>Fund 02 WATER FUND</b>	
IL FUNDS WATER - 5914	455,446.87
COMMUNITY BANK OF WB WTR - 4163	497,204.51
<b>Total For Fund 02:</b>	<b>952,651.38</b>
<b>Fund 03 HOTEL/MOTEL TAX FUND</b>	
IL FUNDS HOTEL/MOTEL - 5948	81,816.75
COMMUNITY BANK OF WB - 0275	36,154.91
<b>Total For Fund 03:</b>	<b>117,971.66</b>
<b>Fund 04 MOTOR FUEL TAX FUND</b>	
IL FUNDS MFT - 5443	349,103.09
<b>Total For Fund 04:</b>	<b>349,103.09</b>
<b>Fund 06 SSA ONE BOND &amp; INTEREST FUND</b>	
IL FUNDS SSA BOND - 4621	5,092.32
<b>Total For Fund 06:</b>	<b>5,092.32</b>
<b>Fund 07 POLICE PENSION FUND</b>	
COMMUNITY BANK OF WB PP - 4155	103,034.65
MONEY MARKET - MB FINANCIAL BANK	250,572.07
US TREASURIES	193,070.54
US AGENCIES	2,815,361.15
MUNICIPAL BONDS	758,716.29
CORPORATE BONDS	3,467,368.45
EQUITIES	4,315,636.23
MUTUAL FUNDS	5,716,654.90
MARKET VALUE CONTRA	1,151,210.67
<b>Total For Fund 07:</b>	<b>18,771,624.95</b>
<b>Fund 09 WATER CAPITAL IMPROVEMENTS FUND</b>	
IL FUNDS WTR CAP - 1206	382,471.57
<b>Total For Fund 09:</b>	<b>382,471.57</b>
<b>Fund 10 CAPITAL PROJECT FUND</b>	
IL FUNDS CAP PROJECTS - 3133	96,713.57
<b>Total For Fund 10:</b>	<b>96,713.57</b>
<b>Fund 11 DEBT SERVICE FUND</b>	
IL FUNDS BOND PROCEEDS DS - 2756	321.92
<b>Total For Fund 11:</b>	<b>321.92</b>
<b>Fund 14 LAND ACQUISITION, FACILITY, EXPANSION &amp;</b>	
IL FUNDS BOND PROCEEDS LAFER - 2772	3,141,083.76
<b>Total For Fund 14:</b>	<b>3,141,083.76</b>
<b>TOTAL CASH &amp; INVESTMENTS:</b>	<b>28,633,315.39</b>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015  
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 12/31/2015
<b>Fund 01 - GENERAL FUND</b>		
<b>MONEY MARKET</b>		
01-00-110-322	IL FUNDS - 5435	2,975,759.01
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	301,580.04
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	17,349.70
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	185,980.62
01-00-120-155	IMET - GENERAL	28.69
	MONEY MARKET	3,480,698.06
<b>PETTY CASH</b>		
01-00-110-911	PETTY CASH REVLVING	950.00
	PETTY CASH	950.00
<b>SAVINGS</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	1,313,942.72
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	13,882.37
01-00-110-335	U.S. BANK RED LIGHT - 4216	6,500.00
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	308.02
	SAVINGS	1,334,633.11
<b>Fund 02 - WATER FUND</b>		
<b>MONEY MARKET</b>		
02-00-110-113	IL FUNDS WATER - 5914	455,446.87
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	497,204.51
	MONEY MARKET	952,651.38
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>		
<b>MONEY MARKET</b>		
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	81,816.75
	MONEY MARKET	81,816.75
<b>SAVINGS</b>		
03-00-110-257	COMMUNITY BANK OF WB - 0275	36,154.91
	SAVINGS	36,154.91
<b>Fund 04 - MOTOR FUEL TAX FUND</b>		
<b>MONEY MARKET</b>		
04-00-110-116	IL FUNDS MFT - 5443	349,103.09
	MONEY MARKET	349,103.09
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND</b>		
<b>MONEY MARKET</b>		
06-00-110-117	IL FUNDS SSA BOND - 4621	5,092.32
	MONEY MARKET	5,092.32
<b>Fund 07 - POLICE PENSION FUND</b>		
<b>MONEY MARKET</b>		
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	103,034.65
	MONEY MARKET	103,034.65
<b>SAVINGS</b>		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	250,572.07
	SAVINGS	250,572.07
<b>AGENCY CERTIFICATES</b>		
07-00-120-260	US AGENCIES	2,815,361.15
	AGENCY CERTIFICATES	2,815,361.15
<b>CORPORATE BONDS</b>		
07-00-120-288	CORPORATE BONDS	3,467,368.45
	CORPORATE BONDS	3,467,368.45
<b>EQUITIES</b>		
07-00-120-289	EQUITIES	4,315,636.23
	EQUITIES	4,315,636.23

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015  
 CASH & INVESTMENTS BY FUND AND ACCOUNT TYPE

GL NUMBER	DESCRIPTION	END BALANCE 12/31/2015
Fund 07 - POLICE PENSION FUND		
MUNICIPAL BONDS		
07-00-120-270	MUNICIPAL BONDS	758,716.29
	MUNICIPAL BONDS	<u>758,716.29</u>
MUTUAL FUNDS		
07-00-120-290	MUTUAL FUNDS	5,716,654.90
	MUTUAL FUNDS	<u>5,716,654.90</u>
MARKET VALUE		
07-00-120-900	MARKET VALUE CONTRA	1,151,210.67
	MARKET VALUE	<u>1,151,210.67</u>
TREASURY NOTES		
07-00-120-250	US TREASURIES	193,070.54
	TREASURY NOTES	<u>193,070.54</u>
Fund 09 - WATER CAPITAL IMPROVEMENTS FUND		
MONEY MARKET		
09-00-110-324	IL FUNDS WTR CAP - 1206	382,471.57
	MONEY MARKET	<u>382,471.57</u>
Fund 10 - CAPITAL PROJECT FUND		
MONEY MARKET		
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	96,713.57
	MONEY MARKET	<u>96,713.57</u>
Fund 11 - DEBT SERVICE FUND		
MONEY MARKET		
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	321.92
	MONEY MARKET	<u>321.92</u>
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &		
MONEY MARKET		
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	3,141,083.76
	MONEY MARKET	<u>3,141,083.76</u>

ACCOUNT BALANCE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015  
 CASH & INVESTMENTS BY INSTITUTION

GL NUMBER	DESCRIPTION	END BALANCE 12/31/2015
<b>COMMUNITY BANK OF WB</b>		
01-00-110-257	COMMUNITY BANK OF WB - 0275	1,313,942.72
01-00-110-323	COMMUNITY BANK OF WB MM - 1771	301,580.04
01-00-110-325	COMMUNITY BANK RD LGHT - 0724	17,349.70
01-00-110-332	COMMUNITY BANK OF WB FSA - 3804	13,882.37
01-00-110-380	COMMUNITY BANK DRUG ACCT - 4171	185,980.62
01-00-110-385	COMMUNITY BANK WB CADETS - 10620387	308.02
02-00-110-209	COMMUNITY BANK OF WB WTR - 4163	497,204.51
03-00-110-257	COMMUNITY BANK OF WB - 0275	36,154.91
07-00-110-202	COMMUNITY BANK OF WB PP - 4155	103,034.65
	COMMUNITY BANK OF WB	2,469,437.54
<b>ILLINOIS FUNDS</b>		
01-00-110-322	IL FUNDS - 5435	2,975,759.01
02-00-110-113	IL FUNDS WATER - 5914	455,446.87
03-00-110-114	IL FUNDS HOTEL/MOTEL - 5948	81,816.75
04-00-110-116	IL FUNDS MFT - 5443	349,103.09
06-00-110-117	IL FUNDS SSA BOND - 4621	5,092.32
09-00-110-324	IL FUNDS WTR CAP - 1206	382,471.57
10-00-110-115	IL FUNDS CAP PROJECTS - 3133	96,713.57
11-00-110-111	IL FUNDS BOND PROCEEDS DS - 2756	321.92
14-00-110-112	IL FUNDS BOND PROCEEDS LAFER - 2772	3,141,083.76
	ILLINOIS FUNDS	7,487,808.86
<b>IMET</b>		
01-00-120-155	IMET - GENERAL	28.69
	IMET	28.69
<b>MARKET VALUE CONTRA</b>		
07-00-120-900	MARKET VALUE CONTRA	1,151,210.67
	MARKET VALUE CONTRA	1,151,210.67
<b>MBFINANCIAL BANK</b>		
07-00-110-335	MONEY MARKET - MB FINANCIAL BANK	250,572.07
07-00-120-250	US TREASURIES	193,070.54
07-00-120-260	US AGENCIES	2,815,361.15
07-00-120-270	MUNICIPAL BONDS	758,716.29
07-00-120-288	CORPORATE BONDS	3,467,368.45
07-00-120-289	EQUITIES	4,315,636.23
07-00-120-290	MUTUAL FUNDS	5,716,654.90
	MBFINANCIAL BANK	17,517,379.63
<b>U.S. BANK</b>		
01-00-110-335	U.S. BANK RED LIGHT - 4216	6,500.00
	U.S. BANK	6,500.00
<b>VILLAGE OF WILLOWBROOK</b>		
01-00-110-911	PETTY CASH REVLVING	950.00
	VILLAGE OF WILLOWBROOK	950.00
<b>Total - All Funds:</b>		28,633,315.39

INTERFUND ACTIVITY REPORT FOR WILLOWBROOK  
 Period Ending 12/31/2015  
 Due To/From Other Funds

GL Number	Description	Balance
<b>Fund 01: GENERAL FUND</b>		
Due From Other Funds		
01-00-140-102	DUE TO/FROM WATER FUND	53,204.28
01-00-140-103	DUE TO/FROM HOTEL/MOTEL TAX FUND	10,440.46
01-00-140-107	DUE TO/FROM POLICE PENSION FUND	70,988.92
01-00-140-114	DUE TO/FROM LAND ACQUISITION/FAC EXP/REN	111,025.62
	<b>Total Due From Other Funds</b>	<b>245,659.28</b>
<b>Fund 02: WATER FUND</b>		
Due From Other Funds		
02-00-140-101	DUE TO/FROM GENERAL FUND	(53,204.28)
	<b>Total Due From Other Funds</b>	<b>(53,204.28)</b>
<b>Fund 03: HOTEL/MOTEL TAX FUND</b>		
Due From Other Funds		
03-00-140-101	DUE TO/FROM GENERAL FUND	(10,440.46)
	<b>Total Due From Other Funds</b>	<b>(10,440.46)</b>
<b>Fund 07: POLICE PENSION FUND</b>		
Due From Other Funds		
07-00-140-101	DUE TO/FROM GENERAL FUND	(70,988.92)
	<b>Total Due From Other Funds</b>	<b>(70,988.92)</b>
<b>Fund 14: LAND ACQUISITION, FACILITY, EXPANSION &amp;</b>		
Due From Other Funds		
14-00-140-101	DUE TO/FROM GENERAL FUND	(111,025.62)
	<b>Total Due From Other Funds</b>	<b>(111,025.62)</b>

REVENUE REPORT FOR WILLOWBROOK

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>						
<b>PROPERTY TAX</b>						
01-00-310-101	PROPERTY TAX LEVY - SRA	(67.06)	75,581.61	73,181.00	103.28	(2,400.61)
01-00-310-102	PROPERTY TAX LEVY - ROAD & BRIDGE	(48.68)	104,352.27	101,938.00	102.37	(2,414.27)
		(115.74)	179,933.88	175,119.00	102.75	(4,814.88)
<b>PROPERTY TAX</b>						
<b>OTHER TAXES</b>						
01-00-310-201	MUNICIPAL SALES TAX	360,842.53	2,505,010.08	3,600,000.00	69.58	1,094,989.92
01-00-310-202	ILLINOIS INCOME TAX	37,557.56	632,934.95	634,095.00	99.82	1,160.05
01-00-310-203	AMUSEMENT TAX	7,776.46	50,235.80	69,984.00	71.78	19,748.20
01-00-310-204	REPLACEMENT TAX	83.20	705.46	1,220.00	57.82	514.54
01-00-310-205	UTILITY TAX	73,163.74	624,835.45	1,075,000.00	58.12	450,164.55
01-00-310-208	PLACES OF EATING TAX	45,710.81	352,789.22	460,000.00	76.69	107,210.78
01-00-310-209	WATER TAX	19,234.93	119,702.19	165,800.00	72.20	46,097.81
01-00-310-210	WATER TAX - CLARENDON WATER CO	0.00	567.47	1,000.00	56.75	432.53
		544,349.23	4,286,780.62	6,007,099.00	71.36	1,720,318.38
<b>OTHER TAXES</b>						
<b>LICENSES</b>						
01-00-310-302	LIQUOR LICENSES	(1,000.00)	83,250.00	60,500.00	137.60	(22,750.00)
01-00-310-303	BUSINESS LICENSES	(599.00)	92,903.50	82,000.00	113.30	(10,903.50)
01-00-310-305	VENDING MACHINE	(275.00)	3,170.00	2,000.00	158.50	(1,170.00)
01-00-310-306	SCAVENGER LICENSES	0.00	8,000.00	6,000.00	133.33	(2,000.00)
		(1,874.00)	187,323.50	150,500.00	124.47	(36,823.50)
<b>PERMITS</b>						
01-00-310-401	BUILDING PERMITS	15,972.73	293,014.91	200,000.00	146.51	(93,014.91)
01-00-310-402	SIGN PERMITS	989.81	1,704.07	5,000.00	34.08	3,295.93
01-00-310-403	OTHER PERMITS	124.00	418.00	500.00	83.60	82.00
01-00-310-404	COUNTY BMP FEE	0.00	18,275.60	2,000.00	913.78	(16,275.60)
		17,086.54	313,412.58	207,500.00	151.04	(105,912.58)
<b>FINES</b>						
01-00-310-501	CIRCUIT COURT FINES	6,168.20	74,707.29	120,000.00	62.26	45,292.71
01-00-310-502	TRAFFIC FINES	3,030.00	15,558.34	25,000.00	62.23	9,441.66
01-00-310-503	RED LIGHT FINES	26,400.00	170,434.00	540,000.00	31.56	369,566.00
		35,598.20	260,699.63	685,000.00	38.06	424,300.37
<b>OVERHEAD REIMBURSEMENT</b>						
01-00-310-601	ADMINISTRATIVE SUPPORT REIMB - WATE	39,184.83	313,478.64	470,218.00	66.67	156,739.36
		39,184.83	313,478.64	470,218.00	66.67	156,739.36
<b>CHARGES &amp; FEES</b>						
01-00-310-700	PLANNING APPLICATION FEES	0.00	6,750.00	10,000.00	67.50	3,250.00
01-00-310-701	PUBLIC HEARING FEES	0.00	1,700.00	2,550.00	66.67	850.00
01-00-310-702	PLANNING REVIEW FEES	0.00	3,000.00	6,000.00	50.00	3,000.00
01-00-310-703	ANNEXATION FEES	0.00	0.00	500.00	0.00	500.00
01-00-310-704	ACCIDENT REPORT COPIES	140.00	1,265.00	2,000.00	63.25	735.00
01-00-310-705	VIDEO GAMING FEES	11,251.63	15,212.75	8,300.00	183.29	(6,912.75)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>						
01-00-310-706	COPIES-ORDINANCES & MAPS	0.00	7.00	200.00	3.50	193.00
01-00-310-723	ELEVATOR INSPECTION FEES	0.00	1,725.00	5,000.00	34.50	3,275.00
01-00-310-724	BURGLAR ALARM FEES	(90.00)	10.00	15,000.00	0.07	14,990.00
	<b>CHARGES &amp; FEES</b>	<b>11,301.63</b>	<b>29,669.75</b>	<b>49,550.00</b>	<b>59.88</b>	<b>19,880.25</b>
<b>PARK &amp; RECREATION CHARGES</b>						
01-00-310-813	PARK & REC CONTRIBUTION	0.00	75.00	2,250.00	3.33	2,175.00
01-00-310-814	PARK PERMIT FEES	0.00	1,580.00	3,000.00	52.67	1,420.00
01-00-310-815	SUMMER RECREATION FEES	0.00	4,163.00	18,736.00	22.22	14,573.00
01-00-310-816	WINTER RECREATION FEES	0.00	982.00	8,485.00	11.57	7,503.00
01-00-310-817	SPECIAL EVENTS	0.00	1,168.92	5,380.00	21.73	4,211.08
01-00-310-818	FALL RECREATION FEES	0.00	50.00	6,718.00	0.74	6,668.00
01-00-310-819	BURR RIDGE/WILLOWBROOK BASEBALL R	0.00	0.00	6,500.00	0.00	6,500.00
01-00-310-820	HOLIDAY CONTRIBUTION	0.00	2,899.00	1,300.00	223.00	(1,599.00)
01-00-310-822	BRAWB BASEBALL REIMB FACILITY	0.00	0.00	6,600.00	0.00	6,600.00
01-00-310-823	SPRING RECREATION FEES	0.00	0.00	4,689.00	0.00	4,689.00
	<b>PARK &amp; RECREATION CHARGES</b>	<b>0.00</b>	<b>10,917.92</b>	<b>63,658.00</b>	<b>17.15</b>	<b>52,740.08</b>
<b>OTHER REVENUE</b>						
01-00-310-901	REIMBURSEMENTS - IRMA	0.00	19,312.95	5,000.00	386.26	(14,312.95)
01-00-310-907	BID PROPOSAL DEPOSIT	0.00	140.00	150.00	93.33	10.00
01-00-310-908	RENTAL INCOME - 825 MIDWAY DRIVE	0.00	42,606.00	82,500.00	51.64	39,894.00
01-00-310-909	SALE - FIXED ASSETS	6,650.00	21,826.00	7,500.00	291.01	(14,326.00)
01-00-310-910	REIMBURSEMENTS - TREE PLANTING	0.00	225.00	500.00	45.00	275.00
01-00-310-911	OTHER REIMBURSEMENTS-REFUNDS	500.00	24,253.17	8,000.00	303.16	(16,253.17)
01-00-310-912	REIMBURSEMENTS-BRUSH PICK-UP	0.00	5,940.00	11,600.00	51.21	5,660.00
01-00-310-913	OTHER RECEIPTS	0.00	524.00	500.00	104.80	(24.00)
01-00-310-914	REIMB - PARK & REC MEMORIAL PROGRAM	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-915	REIMBURSEMENTS - POLICE SPECIAL DET	1,950.00	2,080.00	8,000.00	26.00	5,920.00
01-00-310-916	DONATIONS	30.00	30.00	0.00	100.00	(30.00)
01-00-310-917	REIMBURSEMENTS - PUBLIC WORKS OTHE	0.00	17,460.47	16,520.00	105.69	(940.47)
01-00-310-919	REIMBURSEMENTS - CD ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-920	REIMBURSEMENTS - PW ENGINEERING	0.00	0.00	1,000.00	0.00	1,000.00
01-00-310-922	FEDERAL/STATE GRANTS	0.00	0.00	451,100.00	0.00	451,100.00
01-00-310-925	NICOR GAS ANNUAL PAYMENT	0.00	0.00	14,900.00	0.00	14,900.00
01-00-310-926	CABLE FRANCHISE FEES	0.00	145,440.07	194,000.00	74.97	48,559.93
01-00-310-930	DRUG FORFEITURES - DEA	0.00	2.65	40,000.00	0.01	39,997.35
	<b>OTHER REVENUE</b>	<b>9,130.00</b>	<b>279,840.31</b>	<b>843,270.00</b>	<b>33.19</b>	<b>563,429.69</b>
<b>NON-OPERATING</b>						
01-00-320-108	INTEREST INCOME	746.65	1,705.88	750.00	227.45	(955.88)
	<b>NON-OPERATING</b>	<b>746.65</b>	<b>1,705.88</b>	<b>750.00</b>	<b>227.45</b>	<b>(955.88)</b>

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 01 - GENERAL FUND</b>						
<b>TOTAL REVENUES</b>		<b>655,407.34</b>	<b>5,863,762.71</b>	<b>8,652,664.00</b>	<b>67.77</b>	<b>2,788,901.29</b>
<b>Fund 02 - WATER FUND</b>						
<b>CHARGES &amp; FEES</b>						
02-00-310-712	WATER SALES	384,391.82	2,383,352.14	3,316,000.00	71.87	932,647.86
02-00-310-713	WATER PENALTIES	1,701.87	1,967.06	0.00	100.00	(1,967.06)
02-00-310-718	SHUTOFF/NSF FEE	2,750.00	2,775.00	0.00	100.00	(2,775.00)
<b>CHARGES &amp; FEES</b>		<b>388,843.69</b>	<b>2,388,094.20</b>	<b>3,316,000.00</b>	<b>72.02</b>	<b>927,905.80</b>
<b>OTHER REVENUE</b>						
02-00-310-714	WATER METER SALES	0.00	7,801.78	2,600.00	300.07	(5,201.78)
02-00-310-716	WATER METER READ SALES	155.00	4,258.83	6,590.00	64.63	2,331.17
02-00-310-717	OTHER REVENUE	0.00	850.00	1,000.00	85.00	150.00
<b>OTHER REVENUE</b>		<b>155.00</b>	<b>12,910.61</b>	<b>10,190.00</b>	<b>126.70</b>	<b>(2,720.61)</b>
<b>NON-OPERATING</b>						
02-00-320-108	INTEREST INCOME	381.47	1,197.31	1,000.00	119.73	(197.31)
02-00-320-713	WATER CONNECTION FEES	0.00	8,400.00	3,000.00	280.00	(5,400.00)
<b>NON-OPERATING</b>		<b>381.47</b>	<b>9,597.31</b>	<b>4,000.00</b>	<b>239.93</b>	<b>(5,597.31)</b>
<b>Fund 02 - WATER FUND:</b>						
<b>TOTAL REVENUES</b>		<b>389,380.16</b>	<b>2,410,602.12</b>	<b>3,330,190.00</b>	<b>72.39</b>	<b>919,587.88</b>
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>						
<b>OTHER TAXES</b>						
03-00-310-205	HOTEL/MOTEL TAX	16,042.45	150,013.89	210,000.00	71.44	59,986.11
<b>OTHER TAXES</b>		<b>16,042.45</b>	<b>150,013.89</b>	<b>210,000.00</b>	<b>71.44</b>	<b>59,986.11</b>
<b>NON-OPERATING</b>						
03-00-320-108	INTEREST INCOME	12.56	14.28	0.00	100.00	(14.28)
<b>NON-OPERATING</b>		<b>12.56</b>	<b>14.28</b>	<b>0.00</b>	<b>100.00</b>	<b>(14.28)</b>
<b>Fund 03 - HOTEL/MOTEL TAX FUND:</b>						
<b>TOTAL REVENUES</b>		<b>16,055.01</b>	<b>150,028.17</b>	<b>210,000.00</b>	<b>71.44</b>	<b>59,971.83</b>
<b>Fund 04 - MOTOR FUEL TAX FUND</b>						
<b>OTHER TAXES</b>						
04-00-310-216	MFT RECEIPTS	95,466.74	146,082.83	203,252.00	71.87	57,169.17

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% RDGT USED	AVAILABLE BALANCE
<b>Fund 04 - MOTOR FUEL TAX FUND</b>						
OTHER TAXES						
		95,466.74	146,082.83	203,252.00	71.87	57,169.17
<b>Fund 04 - MOTOR FUEL TAX FUND:</b>						
TOTAL REVENUES						
		95,516.04	146,205.56	203,297.00	71.92	57,091.44
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND</b>						
PROPERTY TAX						
06-00-310-101	PROPERTY TAX RECEIPTS	0.00	325,546.56	322,315.00	101.00	(3,231.56)
	PROPERTY TAX	0.00	325,546.56	322,315.00	101.00	(3,231.56)
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND:</b>						
TOTAL REVENUES						
		16.56	30.76	5.00	615.20	(25.76)
		16.56	30.76	5.00	615.20	(25.76)
<b>Fund 06 - SSA ONE BOND &amp; INTEREST FUND:</b>						
TOTAL REVENUES						
		16.56	325,577.32	322,320.00	101.01	(3,257.32)
<b>Fund 07 - POLICE PENSION FUND</b>						
OTHER REVENUE						
07-00-310-607	VILLAGE CONTRIBUTION	47,271.54	425,443.86	0.00	100.00	(425,443.86)
07-00-310-906	POLICE CONTRIBUTIONS	14,674.56	137,589.05	0.00	100.00	(137,589.05)
	OTHER REVENUE	61,946.10	563,032.91	0.00	100.00	(563,032.91)
<b>Fund 07 - POLICE PENSION FUND:</b>						
TOTAL REVENUES						
		56,536.56	286,830.14	0.00	100.00	(286,830.14)
		558,835.41	(415,740.48)	0.00	100.00	415,740.48
		(54,475.48)	(275,714.20)	0.00	100.00	275,714.20
		560,896.49	(404,624.54)	0.00	100.00	404,624.54
<b>Fund 07 - POLICE PENSION FUND:</b>						
TOTAL REVENUES						
		622,842.59	158,408.37	0.00	100.00	(158,408.37)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND</b>						
09-00-320-108	NON-OPERATING INTEREST INCOME	62.30	182.19	50.00	364.38	(132.19)
		62.30	182.19	50.00	364.38	(132.19)
09-00-330-102	TRANSFERS IN FROM WATER	0.00	100,000.00	100,000.00	100.00	0.00
		0.00	100,000.00	100,000.00	100.00	0.00
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:</b>						
	TOTAL REVENUES	62.30	100,182.19	100,050.00	100.13	(132.19)
<b>Fund 10 - CAPITAL PROJECT FUND</b>						
10-00-320-108	NON-OPERATING INTEREST INCOME	15.58	32.63	10.00	326.30	(22.63)
		15.58	32.63	10.00	326.30	(22.63)
<b>Fund 10 - CAPITAL PROJECT FUND:</b>						
	TOTAL REVENUES	15.58	32.63	10.00	326.30	(22.63)
<b>Fund 11 - DEBT SERVICE FUND</b>						
11-00-320-108	NON-OPERATING INTEREST INCOME	0.04	1.36	0.00	100.00	(1.36)
		0.04	1.36	0.00	100.00	(1.36)
11-00-330-101	TRANSFERS IN FROM GENERAL FUND	69,533.50	163,228.61	164,029.00	99.51	800.39
11-00-330-102	TRANSFERS IN FROM WATER	16,941.50	54,282.92	54,283.00	100.00	0.08
		86,475.00	217,511.53	218,312.00	99.63	800.47
<b>Fund 11 - DEBT SERVICE FUND:</b>						
	TOTAL REVENUES	86,475.04	217,512.89	218,312.00	99.63	799.11
<b>Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION &amp; PROPERTY TAX</b>						
14-00-310-101	TRANSFERS IN FROM GENERAL FUND	0.00	51,057.44	0.00	100.00	(51,057.44)

REVENUE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & PROPERTY TAX						
		0.00	51,057.44	0.00	100.00	(51,057.44)
NON-OPERATING						
14-00-320-108	INTEREST INCOME	506.80	1,043.03	100.00	1,043.03	(943.03)
	NON-OPERATING	506.80	1,043.03	100.00	1,043.03	(943.03)
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & TOTAL REVENUES						
		506.80	52,100.47	100.00	52,100.47	(52,000.47)
TOTAL REVENUES - ALL FUNDS		1,866,277.42	9,424,412.43	13,036,943.00	72.29	3,612,530.57

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>							
<b>Dept 05-VILLAGE BOARD &amp; CLERK</b>							
<b>GENERAL MANAGEMENT</b>							
01-05-400-147	EMPLOYEE BENEFITS - MEDICA	46.40	432.10	687.30	62.87	255.20	1,374.60
01-05-400-161	SOCIAL SECURITY/FICA	217.49	1,866.69	2,939.00	63.51	1,072.31	5,878.00
01-05-410-101	SALARIES PRESIDENT & VILLAG	2,600.00	25,000.00	40,200.00	62.19	15,200.00	80,400.00
01-05-410-125	SALARY - VILLAGE CLERK	600.00	4,800.00	7,200.00	66.67	2,400.00	14,400.00
01-05-410-141	LIFE INS BENEFIT -APPOINTED/	496.51	1,063.87	905.00	117.55	(158.87)	9,600.00
01-05-410-201	PHONE - TELEPHONES	59.80	479.05	750.00	63.87	270.95	746.13
01-05-410-301	OFFICE SUPPLIES	60.11	60.11	760.00	7.91	699.89	1,500.00
01-05-410-303	FUEL/MILEAGE/WASH	0.00	5.03	100.00	5.03	94.97	1,520.00
01-05-410-304	SCHOOLS/CONFERENCES/TRA	520.00	4,459.31	5,190.00	85.92	730.69	200.00
01-05-410-307	FEES/DUES/SUBSCRIPTIONS	0.00	1,711.30	1,952.00	87.67	240.70	10,380.00
01-05-410-308	WELLNESS	0.00	0.00	1,480.00	0.00	1,480.00	3,904.00
	<b>GENERAL MANAGEMENT</b>	<b>4,600.31</b>	<b>39,877.46</b>	<b>62,163.30</b>	<b>64.15</b>	<b>22,285.84</b>	<b>124,326.60</b>
	<b>COMMUNITY RELATIONS</b>	<b>0.00</b>	<b>0.00</b>	<b>500.00</b>	<b>0.00</b>	<b>500.00</b>	<b>1,000.00</b>
01-05-420-365	<b>PUBLIC RELATIONS</b>	<b>0.00</b>	<b>0.00</b>	<b>500.00</b>	<b>0.00</b>	<b>500.00</b>	<b>1,000.00</b>
	<b>COMMUNITY RELATIONS</b>	<b>0.00</b>	<b>0.00</b>	<b>500.00</b>	<b>0.00</b>	<b>500.00</b>	<b>1,000.00</b>
	<b>Total Dept 05-VILLAGE BOARD &amp; CLERK</b>	<b>4,600.31</b>	<b>39,877.46</b>	<b>62,663.30</b>	<b>63.64</b>	<b>22,785.84</b>	<b>125,326.60</b>
	<b>Dept 07-BOARD OF POLICE COMMISSIONERS</b>						
<b>ADMINISTRATION</b>							
01-07-435-104	PART TIME - CLERICAL	0.00	0.00	500.00	0.00	500.00	1,000.00
01-07-435-148	LIFE INS BENEFIT -APPOINTED/	29.20	204.20	565.00	36.14	360.80	1,130.00
01-07-435-239	FEES - VILLAGE ATTORNEY	0.00	0.00	10,000.00	0.00	10,000.00	20,000.00
01-07-435-301	OFFICE SUPPLIES	0.00	0.00	100.00	0.00	100.00	200.00
01-07-435-302	PRINTING & PUBLISHING	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00
01-07-435-304	SCHOOLS/CONFERENCES/TRA	0.00	80.00	0.00	100.00	(80.00)	(80.00)
01-07-435-307	FEES/DUES/SUBSCRIPTIONS	0.00	605.00	500.00	121.00	(105.00)	395.00
01-07-435-311	POSTAGE & METER RENT	0.00	10.00	500.00	2.00	490.00	990.00
	<b>ADMINISTRATION</b>	<b>29.20</b>	<b>899.20</b>	<b>13,165.00</b>	<b>6.83</b>	<b>12,265.80</b>	<b>26,330.00</b>
	<b>OTHER</b>						
01-07-440-542	EXAMS - WRITTEN	0.00	0.00	4,000.00	0.00	4,000.00	8,000.00
01-07-440-543	EXAMS - PHYSICAL	0.00	540.00	500.00	108.00	(40.00)	1,000.00
01-07-440-544	EXAMS - PSYCHOLOGICAL	500.00	1,500.00	3,500.00	42.86	2,000.00	460.00
01-07-440-545	EXAMS - POLYGRAPH	160.00	720.00	1,000.00	72.00	280.00	5,500.00
	<b>OTHER</b>	<b>660.00</b>	<b>2,760.00</b>	<b>9,000.00</b>	<b>30.67</b>	<b>6,240.00</b>	<b>15,240.00</b>
	<b>Total Dept 07-BOARD OF POLICE COMMISSIONERS</b>	<b>689.20</b>	<b>3,659.20</b>	<b>22,165.00</b>	<b>16.51</b>	<b>18,505.80</b>	<b>44,330.00</b>
	<b>Dept 10-ADMINISTRATION</b>						
<b>GENERAL MANAGEMENT</b>							
01-10-400-147	EMPLOYEE BENEFITS - MEDICA	332.17	2,288.75	3,202.00	71.48	913.25	6,404.00
	<b>GENERAL MANAGEMENT</b>	<b>332.17</b>	<b>2,288.75</b>	<b>3,202.00</b>	<b>71.48</b>	<b>913.25</b>	<b>6,404.00</b>
	<b>Total Dept 10-ADMINISTRATION</b>						
	<b>GENERAL MANAGEMENT</b>						
	<b>01-10-400-147</b>						
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	<b>EMPLOYEE BENEFITS - MEDICA</b>						
	<b>GENERAL MANAGEMENT</b>						



EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	ORIGINAL BUDGET	% BGDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>							
01-10-466-228	MAINTENANCE - BUILDING	3,295.57	46,155.50	58,773.00	78.53	12,617.50	117,546.00
01-10-466-235	NICOR GAS (7760 QUINCY)	253.26	963.02	5,250.00	18.34	4,286.98	10,500.00
01-10-466-236	NICOR GAS (835 MIDWAY)	64.16	340.14	4,000.00	8.50	3,659.86	8,000.00
01-10-466-237	NICOR GAS (825 MIDWAY)	45.53	228.64	1,250.00	18.29	1,021.36	2,500.00
01-10-466-240	ENERGY/COMED (835 MIDWAY)	247.29	1,225.95	4,250.00	28.85	3,024.05	8,500.00
01-10-466-241	ENERGY/COMED (825 MIDWAY)	0.00	0.00	500.00	0.00	500.00	1,000.00
01-10-466-250	SANITARY (7760 QUINCY)	0.00	0.00	300.00	0.00	300.00	600.00
01-10-466-251	SANITARY (835 MIDWAY)	201.65	330.21	300.00	110.07	(30.21)	600.00
01-10-466-252	SANITARY (825 MIDWAY)	25.65	78.72	300.00	26.24	221.28	600.00
01-10-466-293	LANDSCAPE - VILLAGE HALL	0.00	1,851.23	7,500.00	24.68	5,648.77	15,000.00
01-10-466-351	BUILDING MAINTENANCE SUPP	5.35	3,688.12	11,400.00	32.35	7,711.88	22,800.00
01-10-466-385	SANITARY USER CHARGE	36.21	144.84	0.00	100.00	(144.84)	(144.84)
BUILDINGS		4,174.67	55,006.37	93,823.00	58.63	38,816.63	187,646.00
LEGAL							
01-10-470-239	FEES - VILLAGE ATTORNEY	0.00	39,087.87	80,000.00	48.86	40,912.13	160,000.00
01-10-470-241	FEES - SPECIAL ATTORNEY	0.00	1,126.05	4,000.00	28.15	2,873.95	8,000.00
01-10-470-242	FEES - LABOR COUNSEL	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00
LEGAL		0.00	40,213.92	99,000.00	40.62	58,786.08	198,000.00
RISK MANAGEMENT							
01-10-480-272	INSURANCE - IRMA	55,968.00	55,968.00	232,037.00	24.12	176,069.00	464,074.00
01-10-480-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00
01-10-480-276	WELLNESS	108.50	709.50	14,175.00	5.01	13,465.50	28,350.00
RISK MANAGEMENT		56,076.50	56,677.50	248,712.00	22.79	192,034.50	497,424.00
TRANSFERS TO OTHER FUNDS							
01-10-900-111	TRANSFER TO DEBT SERVICE	0.00	69,768.00	69,768.00	100.00	0.00	139,536.00
01-10-900-112	TRANSFER TO DEBT SERVICE -	69,533.50	93,460.61	94,261.00	99.15	800.39	188,522.00
01-10-900-114	TRANSFER TO LAFER	0.00	51,057.44	0.00	100.00	(51,057.44)	(51,057.44)
TRANSFERS TO OTHER FUNDS		69,533.50	214,286.05	164,029.00	130.64	(50,257.05)	328,058.00
<b>Total Dept 10-ADMINISTRATION</b>		<b>164,928.34</b>	<b>945,231.86</b>	<b>1,353,585.00</b>	<b>69.83</b>	<b>408,353.14</b>	<b>2,707,170.00</b>
Dept 15-PLANNING & ECONOMIC DEVELOPMENT							
GENERAL MANAGEMENT							
01-15-400-147	EMPLOYEE BENEFITS - MEDICA	28.23	261.26	394.24	66.27	132.98	788.48
01-15-400-151	IMRF	368.94	3,397.72	4,967.00	68.41	1,569.28	9,934.00
01-15-400-161	SOCIAL SECURITY/FICA	120.74	1,117.13	1,685.72	66.27	568.59	3,371.44
01-15-510-102	OVERTIME	0.00	452.52	500.00	90.50	47.48	1,000.00
01-15-510-126	SALARIES - CLERICAL	2,053.04	18,454.86	26,689.00	69.15	8,234.14	53,378.00
01-15-510-141	EMPLOYEE BENEFITS - MEDICA	752.64	5,394.00	9,096.00	59.30	3,702.00	18,192.00
01-15-510-144	EMPLOYEE BENEFITS - UNEMP	0.00	4.10	55.00	7.45	50.90	110.00
01-15-510-232	CONSULTANTS - DESIGN & OTH	0.00	0.00	31,500.00	0.00	31,500.00	63,000.00
01-15-510-301	OFFICE SUPPLIES	0.00	0.00	200.00	0.00	200.00	400.00
01-15-510-302	PRINTING & PUBLISHING	552.72	1,882.90	3,000.00	62.76	1,117.10	6,000.00
<b>Total Dept 10-ADMINISTRATION</b>		<b>164,928.34</b>	<b>945,231.86</b>	<b>1,353,585.00</b>	<b>69.83</b>	<b>408,353.14</b>	<b>2,707,170.00</b>
<b>Total Dept 10-ADMINISTRATION</b>							<b>1,761,938.14</b>

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 01 - GENERAL FUND								
01-15-510-307	FEES/DUES/SUBSCRIPTIONS	172.00	643.75	400.00	160.94	(243.75)	800.00	156.25
01-15-510-311	POSTAGE & METER RENT	427.60	473.23	750.00	63.10	276.77	1,500.00	1,026.77
01-15-510-340	PLAN COMMISSION COMPENSA	58.39	408.37	815.00	50.11	406.63	1,630.00	1,221.63
01-15-510-401	OPERATING EQUIPMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
GENERAL MANAGEMENT		4,534.30	32,489.84	80,551.96	40.33	48,062.12	161,103.92	128,614.08
CAPITAL IMPROVEMENTS								
01-15-540-641	EDP NEW EQUIPMENT	0.00	0.00	2.00	0.00	2.00	4.00	4.00
CAPITAL IMPROVEMENTS								
DATA PROCESSING								
01-15-515-305	EDP PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
01-15-515-306	CONSULTING SERVICES	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
DATA PROCESSING								
01-15-520-229	RENT - MEETING ROOM	0.00	0.00	150.00	0.00	150.00	300.00	300.00
01-15-520-245	FEES - ENGINEERING	0.00	275.00	3,000.00	9.17	2,725.00	6,000.00	5,725.00
01-15-520-246	FEES - COURT REPORTER	0.00	835.34	2,500.00	33.41	1,664.66	5,000.00	4,164.66
01-15-520-254	PLAN REVIEW - ENGINEERING	0.00	5,756.28	12,500.00	46.05	6,743.72	25,000.00	19,243.72
01-15-520-257	PLAN REVIEW - PLANNER	0.00	54,007.88	68,750.00	78.56	14,742.12	137,500.00	83,492.12
01-15-520-258	PLAN REVIEW - TRAFFIC CONS	0.00	2,494.75	7,200.00	34.65	4,705.25	14,400.00	11,905.25
ENGINEERING		0.00	63,369.25	94,100.00	67.34	30,730.75	188,200.00	124,830.75
RISK MANAGEMENT								
01-15-535-273	SELF INSURANCE - DEDUCTIBL	0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
RISK MANAGEMENT								
		0.00	0.00	2,500.00	0.00	2,500.00	5,000.00	5,000.00
Total Dept 15-PLANNING & ECONOMIC DEVELOPMEN		4,534.30	95,859.09	179,153.96	53.51	83,294.87	358,307.92	262,448.83
Dept 20-PARKS & RECREATION								
CAPITAL IMPROVEMENTS								
01-20-595-641	EDP EQUIPMENT	0.00	0.00	1.00	0.00	1.00	2.00	2.00
01-20-595-695	PARK IMPROVEMENTS - NEIGH	0.00	0.00	820,000.00	0.00	820,000.00	1,640,000.00	1,640,000.00
CAPITAL IMPROVEMENTS								
01-20-550-101	EMPLOYEE BENEFITS - MEDICA	49.75	543.97	632.61	85.99	88.64	1,265.22	721.25
01-20-400-147	IMRF	0.00	1,335.43	5,666.00	23.57	4,330.57	11,332.00	9,996.57
01-20-400-161	SOCIAL SECURITY/FICA	212.74	2,325.91	2,704.94	85.99	379.03	5,409.88	3,083.97
01-20-550-101	SALARIES - PERMANENT EMPPL	2,482.84	23,525.99	36,128.00	65.12	12,602.01	72,256.00	48,730.01
01-20-550-103	PART TIME - PROGRAM SUPER	0.00	7,500.00	7,500.00	0.00	7,500.00	15,000.00	15,000.00
01-20-550-144	EMPLOYEE BENEFITS - UNEMP	0.00	160.26	217.00	73.85	56.74	434.00	273.74
01-20-550-148	LIFE INS BENEFIT -APPOINTED/	84.10	595.70	1,420.00	41.95	824.30	2,840.00	2,244.30
01-20-550-201	EMERGENCY TELEPHONE LINE	0.00	0.00	100.00	0.00	100.00	200.00	200.00



EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
<b>Fund 01 - GENERAL FUND</b>								
<b>WINTER PROGRAM</b>								
01-20-585-112	RECREATION INSTRUCTORS	0.00	151.21	500.00	30.24	348.79	1,000.00	848.79
01-20-585-121	WINTER PROGRAM MATERIALS	0.00	837.00	6,429.00	13.02	5,592.00	12,858.00	12,021.00
01-20-585-150	CHILDRENS SPECIAL EVENTS -	699.62	1,883.70	2,496.00	75.47	612.30	4,992.00	3,108.30
01-20-585-151	FAMILY SPECIAL EVENT - MOVI	0.00	1,248.84	1,321.00	94.54	72.16	2,642.00	1,393.16
01-20-585-152	FAMILY SPECIAL EVENT - TREE	0.00	0.00	7,000.00	0.00	7,000.00	14,000.00	14,000.00
01-20-585-153	FAMILY SPECIAL EVENT - BACK	0.00	0.00	3,181.00	0.00	3,181.00	6,362.00	6,362.00
01-20-585-154	FAMILY SPECIAL EVENT - RAGE	0.00	0.00	21,000.00	0.00	21,000.00	42,000.00	42,000.00
01-20-585-232	RENT - FACILITY	0.00	0.00	300.00	0.00	300.00	600.00	600.00
01-20-585-517	SENIORS PROGRAM	0.00	0.00	4,542.00	0.00	4,542.00	9,084.00	9,084.00
	<b>WINTER PROGRAM</b>	699.62	4,120.75	46,769.00	8.81	42,648.25	93,538.00	89,417.25
<b>SPRING PROGRAM</b>								
01-20-586-112	RECREATION INSTRUCTORS - S	0.00	0.00	1,800.00	0.00	1,800.00	3,600.00	3,600.00
01-20-586-121	SPRING PROGRAM MATERIALS	0.00	0.00	3,378.00	0.00	3,378.00	6,756.00	6,756.00
	<b>SPRING PROGRAM</b>	0.00	0.00	5,178.00	0.00	5,178.00	10,356.00	10,356.00
<b>SPECIAL RECREATION</b>								
01-20-590-518	SPECIAL RECREATION ASSOC	0.00	18,159.01	35,606.00	51.00	17,446.99	71,212.00	53,052.99
01-20-590-520	ADA RECREATION ACCOMMOD	0.00	0.00	11,175.00	0.00	11,175.00	22,350.00	22,350.00
01-20-590-521	ADA PARK IMPROVEMENTS	0.00	3,360.00	66,492.00	5.05	63,132.00	132,984.00	129,624.00
	<b>SPECIAL RECREATION</b>	0.00	21,519.01	113,273.00	19.00	91,753.99	226,546.00	205,026.99
	<b>Total Dept 20-PARKS &amp; RECREATION</b>	13,674.75	167,513.33	1,226,281.55	13.66	1,058,768.22	2,452,563.10	2,285,049.77
<b>Dept 25-FINANCE DEPARTMENT</b>								
<b>GENERAL MANAGEMENT</b>								
01-25-400-147	EMPLOYEE BENEFITS - MEDICA	260.61	1,964.13	1,533.00	128.12	(431.13)	3,066.00	1,101.87
01-25-400-151	IMRF	3,022.93	21,809.33	12,636.00	172.60	(9,173.33)	25,272.00	3,462.67
01-25-400-161	SOCIAL SECURITY/FICA	1,114.35	8,398.28	6,556.50	128.09	(1,841.78)	13,113.00	4,714.72
01-25-610-101	SALARIES	9,384.64	70,384.80	0.00	100.00	(70,384.80)	3,000.00	(70,384.80)
01-25-610-102	OVERTIME - CLERICAL	335.15	2,294.36	1,500.00	152.96	(794.36)	705.64	705.64
01-25-610-104	PART TIME - CLERICAL	1,644.75	17,694.36	36,585.00	48.37	18,890.64	73,170.00	55,475.64
01-25-610-126	SALARIES - CLERICAL	5,205.12	46,788.91	67,665.00	69.15	20,876.09	135,330.00	88,541.09
01-25-610-141	EMPLOYEE BENEFIT - MEDICAL	2,121.96	13,854.17	18,237.00	75.97	4,382.83	36,474.00	22,619.83
01-25-610-144	EMPLOYEE BENEFIT - UNEMPL	0.00	215.25	421.00	51.13	205.75	626.75	626.75
01-25-610-301	OFFICE SUPPLIES	33.16	1,417.36	3,730.00	38.00	2,312.64	7,460.00	6,042.64
01-25-610-302	PRINTING & PUBLISHING	0.00	1,044.48	1,000.00	104.45	(44.48)	2,000.00	955.52
01-25-610-303	FUEL/MILEAGE/WASH	0.00	28.44	0.00	100.00	(28.44)	1,000.00	(28.44)
01-25-610-304	SCHOOLS/CONFERENCES/TRA	0.00	220.00	500.00	44.00	280.00	1,000.00	780.00
01-25-610-307	FEES/DUES/SUBSCRIPTIONS	0.00	9,635.11	7,200.00	133.82	(2,435.11)	14,400.00	4,764.89
01-25-610-311	POSTAGE & METER RENT	2.61	408.30	375.00	108.88	(33.30)	750.00	341.70
	<b>GENERAL MANAGEMENT</b>	23,125.28	196,157.28	157,938.50	124.20	(38,218.78)	315,877.00	119,719.72
<b>CAPITAL IMPROVEMENTS</b>								
01-25-625-641	EDP EQUIPMENT	60,565.00	146,241.41	233,503.00	62.63	87,261.59	467,006.00	320,764.59

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

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<b>Fund 01 - GENERAL FUND</b>							
<b>CAPITAL IMPROVEMENTS</b>							
60,565.00		146,241.41	233,503.00	62.63	87,261.59	467,006.00	320,764.59
<b>DATA PROCESSING</b>							
01-25-615-212	EDP SOFTWARE	560.08	11,338.60	15,135.00	74.92	3,796.40	18,931.40
01-25-615-213	VILLAGE-WIDE IT SOFTWARE/LI	0.00	1,249.71	6,120.00	20.42	4,870.29	10,990.29
01-25-615-263	MAINTENANCE - OFFICE MACHI	0.00	0.00	500.00	0.00	500.00	1,000.00
01-25-615-305	PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00
01-25-615-306	IT - CONSULTING SERVICES	12,500.00	12,500.00	25,000.00	50.00	12,500.00	37,500.00
01-25-615-307	ERP CONSULTING SERVICES	0.00	1,600.00	0.00	100.00	(1,600.00)	(1,600.00)
01-25-615-331	OPERATING SUPPLIES	0.00	480.03	500.00	96.01	19.97	519.97
13,060.08		27,168.34	47,755.00	56.89	20,586.66	95,510.00	68,341.66
<b>FINANCIAL AUDIT</b>							
01-25-620-251	AUDIT SERVICES	0.00	23,045.00	23,690.00	97.28	645.00	24,335.00
01-25-620-252	FINANCIAL SERVICES	0.00	21,692.15	165,640.00	13.10	143,947.85	309,587.85
		0.00	44,737.15	189,330.00	23.63	144,592.85	333,922.85
<b>Total Dept 25-FINANCE DEPARTMENT</b>							
96,750.36		414,304.18	628,526.50	65.92	214,222.32	1,257,053.00	842,748.82
<b>Dept 30-POLICE DEPARTMENTS</b>							
<b>CAPITAL IMPROVEMENTS</b>							
01-30-680-611	FURNITURE & OFFICE EQUIPME	0.00	13,560.00	18,430.00	73.58	4,870.00	23,300.00
01-30-680-625	NEW VEHICLES	0.00	125,470.73	130,000.00	96.52	4,529.27	134,529.27
01-30-680-641	EDP NEW EQUIPMENT	0.00	0.00	13.00	0.00	13.00	26.00
0.00		139,030.73	148,443.00	93.66	9,412.27	296,886.00	157,855.27
<b>ADMINISTRATION</b>							
01-30-400-147	EMPLOYEE BENEFITS - MEDICA	3,404.49	26,834.96	37,026.00	72.48	10,191.04	47,217.04
01-30-400-151	IMRF	3,291.78	21,413.20	31,070.00	68.92	9,656.80	40,726.80
01-30-400-161	SOCIAL SECURITY/FICA	1,228.98	8,174.06	12,068.00	67.73	3,893.94	15,961.94
01-30-630-101	SALARIES - PERMANENT EMPL	154,745.47	1,629,489.14	2,142,037.00	76.07	512,547.86	2,654,584.86
01-30-630-102	OVERTIME	23,383.44	138,836.47	285,000.00	48.71	146,163.53	431,163.53
01-30-630-103	OVERTIME - SPECIAL DETAIL &	3,466.72	10,510.95	23,000.00	45.70	12,489.05	35,489.05
01-30-630-104	PART TIME - CLERICAL	1,607.64	14,094.72	24,587.00	57.33	10,492.28	35,079.28
01-30-630-126	SALARIES - CLERICAL	12,235.84	109,930.46	159,063.00	69.11	49,132.54	208,195.54
01-30-630-127	OVERTIME - CLERICAL	118.27	1,271.81	11,000.00	11.56	9,728.19	20,728.19
01-30-630-141	EMPLOYEE BENEFIT - MEDICAL	28,483.08	207,641.37	348,030.00	59.66	140,388.63	488,418.63
01-30-630-144	EMPLOYEE BENEFIT - UNEMPL	0.00	129.31	3,069.00	4.21	2,939.69	6,008.69
01-30-630-155	POLICE PENSION	47,271.54	425,443.86	614,530.00	69.23	189,086.14	803,616.14
01-30-630-201	PHONE - TELEPHONES	998.71	13,979.98	28,000.00	49.93	14,020.02	42,020.02
01-30-630-202	ACCREDITATION	0.00	4,065.00	5,000.00	81.30	935.00	5,935.00
01-30-630-238	FIAT	0.00	3,500.00	3,500.00	100.00	0.00	3,500.00
01-30-630-241	FEES - SPECIAL ATTORNEY	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00
01-30-630-242	DUPAGE CHILDREN'S CENTER	0.00	3,000.00	3,000.00	100.00	0.00	3,000.00
01-30-630-245	FIRING RANGE	0.00	864.61	2,000.00	43.23	1,135.39	3,135.39
01-30-630-246	RED LIGHT - ADJUDICATOR	0.00	1,147.50	7,000.00	16.39	5,852.50	12,852.50
01-30-630-247	RED LIGHT - CAMERA FEES	0.00	74,316.22	269,700.00	27.56	195,383.78	465,083.78

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

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Fund 01 - GENERAL FUND							
01-30-630-248	RED LIGHT - COM ED	0.00	881.92	2,400.00	36.75	1,518.08	4,800.00
01-30-630-249	RED LIGHT - MISC FEE	304.92	7,765.57	14,000.00	55.47	6,234.43	28,000.00
01-30-630-301	OFFICE SUPPLIES	461.02	2,957.89	6,600.00	44.82	3,642.11	13,200.00
01-30-630-302	PRINTING & PUBLISHING	0.00	451.77	5,450.00	8.29	4,998.23	10,900.00
01-30-630-303	FUEL/MILEAGE/WASH	4,385.53	41,248.05	92,300.00	44.69	51,051.95	184,600.00
01-30-630-304	SCHOOLS/CONFERENCE/STRA	143.88	4,995.00	25,000.00	19.98	20,005.00	50,000.00
01-30-630-305	TUITION REIMBURSEMENT	0.00	0.00	3,000.00	0.00	3,000.00	6,000.00
01-30-630-307	FEES/DUES/SUBSCRIPTIONS	78.00	8,404.28	12,500.00	67.23	4,095.72	25,000.00
01-30-630-308	CADET PROGRAM	256.58	367.58	4,000.00	9.19	3,632.42	8,000.00
01-30-630-311	POSTAGE & METER RENT	479.40	2,253.55	4,000.00	56.34	1,746.45	8,000.00
01-30-630-315	COPY SERVICE	112.00	1,455.83	4,000.00	36.40	2,544.17	8,000.00
01-30-630-331	OPERATING SUPPLIES	0.00	639.77	6,000.00	10.66	5,360.23	12,000.00
01-30-630-345	UNIFORMS	2,605.61	13,532.97	29,000.00	46.67	15,467.03	58,000.00
01-30-630-346	AMMUNITION	0.00	0.00	12,000.00	0.00	12,000.00	24,000.00
01-30-630-401	OPERATING EQUIPMENT	346.72	7,251.60	23,000.00	31.53	15,748.40	46,000.00
01-30-630-405	FURNITURE & OFFICE EQUIPME	0.00	219.00	500.00	43.80	281.00	1,000.00
01-30-630-409	MAINTENANCE - VEHICLES	3,637.74	37,730.28	72,000.00	52.40	34,269.72	144,000.00
01-30-630-421	MAINTENANCE - RADIO EQUIPM	0.00	0.00	6,300.00	0.00	6,300.00	12,600.00
ADMINISTRATION		293,047.36	2,824,798.68	4,342,730.00	65.05	1,517,931.32	8,685,460.00
DATA PROCESSING							
01-30-640-212	EDP SOFTWARE	161.52	2,278.05	6,600.00	34.52	4,321.95	13,200.00
01-30-640-263	EDP EQUIPMENT MAINTENANC	0.00	0.00	11,000.00	0.00	11,000.00	22,000.00
01-30-640-306	CONSULTING SERVICES	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00
DATA PROCESSING		161.52	2,278.05	19,100.00	11.93	16,821.95	38,200.00
RISK MANAGEMENT							
01-30-645-273	SELF INSURANCE - DEDUCTIBL	0.00	2,500.00	12,500.00	20.00	10,000.00	25,000.00
01-30-645-275	BONDS - SELF INSURANCE	0.00	1,460.62	0.00	100.00	(1,460.62)	(1,460.62)
RISK MANAGEMENT		0.00	3,960.62	12,500.00	31.68	8,539.38	25,000.00
PATROL							
01-30-650-268	ANIMAL CONTROL	0.00	435.00	800.00	54.38	365.00	1,600.00
01-30-650-343	JAIL SUPPLIES	0.00	159.00	1,000.00	15.90	841.00	2,000.00
01-30-650-349	DRUG FORFEITURE EXP - FEDE	0.00	20,438.76	40,000.00	51.10	19,561.24	80,000.00
PATROL		0.00	21,032.76	41,800.00	50.32	20,767.24	83,600.00
INVESTIGATIVE							
01-30-655-335	CAMERA SUPPLIES	0.00	0.00	400.00	0.00	400.00	800.00
01-30-655-339	CONFIDENTIAL FUNDS	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00
INVESTIGATIVE		0.00	0.00	1,400.00	0.00	1,400.00	2,800.00
TRAFFIC SAFETY							
01-30-660-105	PART TIME - CROSSING GUARD	468.42	3,255.08	4,950.00	65.76	1,694.92	9,900.00
TRAFFIC SAFETY		468.42	3,255.08	4,950.00	65.76	1,694.92	9,900.00
ESDA COORDINATOR							



EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

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Fund 01 - GENERAL FUND							
01-35-715-305	PERSONNEL TRAINING	0.00	0.00	500.00	0.00	500.00	1,000.00
01-35-715-306	CONSULTING SERVICES	0.00	0.00	500.00	0.00	500.00	1,000.00
01-35-715-401	OPERATING SUPPLIES & EQUIP	49.04	2,285.45	8,500.00	26.89	6,214.55	14,714.55
	DATA PROCESSING	151.89	3,005.40	10,250.00	29.32	7,244.60	17,494.60
ENGINEERING							
01-35-720-245	FEES - ENGINEERING	0.00	45,661.32	62,500.00	73.06	16,838.68	79,338.68
01-35-720-254	PLAN REVIEW - ENGINEER	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00
ENGINEERING							
		0.00	45,661.32	64,000.00	71.35	18,338.68	82,338.68
BUILDINGS							
01-35-725-412	MAINTENANCE - GAS TANKS AN	0.00	600.00	5,000.00	12.00	4,400.00	9,400.00
01-35-725-413	MAINTENANCE - GARAGE	0.00	2,244.57	3,000.00	74.82	755.43	3,755.43
01-35-725-414	MAINTENANCE - SALT BINS	0.00	0.00	500.00	0.00	500.00	1,000.00
01-35-725-415	NICOR GAS	146.35	306.73	4,000.00	7.67	3,693.27	7,693.27
01-35-725-417	SANITARY USER CHARGE	8.05	56.02	236.00	23.74	179.98	415.98
01-35-725-418	MAINTENANCE - PW BUILDING	540.02	7,545.87	8,000.00	94.32	454.13	8,454.13
BUILDINGS		694.42	10,753.19	20,736.00	51.86	9,982.81	30,718.81
EQUIPMENT REPAIR							
01-35-735-409	MAINTENANCE - VEHICLES	2,369.94	14,540.37	30,000.00	48.47	15,459.63	45,459.63
01-35-735-411	MAINTENANCE - EQUIPMENT	0.00	2,466.66	1,500.00	164.44	(966.66)	533.34
EQUIPMENT REPAIR		2,369.94	17,007.03	31,500.00	53.99	14,492.97	45,992.97
SNOW REMOVAL							
01-35-740-287	SNOW REMOVAL CONTRACT	7,740.00	7,740.00	60,000.00	12.90	52,260.00	112,260.00
01-35-740-306	REIMB PERSONAL EXPENSES	0.00	0.00	200.00	0.00	200.00	400.00
01-35-740-411	MAINTENANCE - EQUIPMENT	431.18	431.18	6,000.00	7.19	5,568.82	11,568.82
SNOW REMOVAL		8,171.18	8,171.18	66,200.00	12.34	58,028.82	124,228.82
STREET LIGHTING							
01-35-745-207	ENERGY - STREET LIGHTS	1,180.46	11,996.81	20,800.00	57.68	8,803.19	29,603.19
01-35-745-223	MAINTENANCE - STREET LIGHT	0.00	5,233.05	20,000.00	26.17	14,766.95	34,766.95
01-35-745-224	MAINTENANCE - TRAFFIC SIGN	3,062.28	3,062.28	7,000.00	43.75	3,937.72	10,937.72
STREET LIGHTING		4,242.74	20,292.14	47,800.00	42.45	27,507.86	75,307.86
STORM WATER IMPROVEMENTS							
01-35-750-286	JET CLEANING CULVERT	5,135.00	17,710.50	15,000.00	118.07	(2,710.50)	12,289.50
01-35-750-289	SITE IMPROVEMENTS	0.00	4,329.18	20,000.00	21.65	15,670.82	35,670.82
01-35-750-290	EQUIPMENT RENTAL	0.00	4,876.69	1,500.00	325.11	(3,376.69)	(1,876.69)
01-35-750-328	STREET & ROW MAINTENANCE	4,535.37	100,040.44	83,835.00	119.33	(16,205.44)	67,629.56
01-35-750-329	MAINTENANCE - SAW MILL CRE	0.00	0.00	750.00	0.00	750.00	1,500.00
01-35-750-338	TREE MAINTENANCE	0.00	75,941.00	225,000.00	33.75	149,059.00	374,059.00
01-35-750-381	STORM WATER IMPROVEMENT	1,954.77	44,851.03	30,000.00	149.50	(14,851.03)	15,148.97
STORM WATER IMPROVEMENTS		11,625.14	247,748.84	376,085.00	65.88	128,336.16	504,421.16
STREET MAINTENANCE							

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

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<b>Fund 01 - GENERAL FUND</b>							
01-35-755-279	TRASH REMOVAL	0.00	0.00	2,125.00	0.00	2,125.00	4,250.00
01-35-755-281	ROUTE 83 BEAUTIFICATION	4,345.12	34,749.72	48,000.00	72.40	13,250.28	61,250.28
01-35-755-282	REIMB EXP - CONSTRUCTION	0.00	0.00	500.00	0.00	500.00	1,000.00
01-35-755-283	REIMB EXP - OTHER	0.00	0.00	1,800.00	0.00	1,800.00	3,600.00
01-35-755-284	REIMB EXP - BRUSH PICKUP	0.00	10,100.00	23,750.00	42.53	13,650.00	37,400.00
01-35-755-290	EQUIPMENT RENTAL	0.00	0.00	750.00	0.00	750.00	1,500.00
01-35-755-328	STREET & ROW MAINTENANCE	0.00	750.00	20,000.00	3.75	19,250.00	39,250.00
01-35-755-331	OPERATING SUPPLIES	0.00	0.00	80,000.00	0.00	80,000.00	160,000.00
01-35-755-332	J.U.L.I.E.	0.00	954.12	1,909.00	49.98	954.88	2,863.88
01-35-755-333	ROAD SIGNS	0.00	6,928.70	9,000.00	76.99	2,071.30	11,071.30
01-35-755-401	OPERATING EQUIPMENT	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00
	<b>STREET MAINTENANCE</b>	<b>4,345.12</b>	<b>53,482.54</b>	<b>192,834.00</b>	<b>27.74</b>	<b>139,351.46</b>	<b>385,668.00</b>
	<b>NUISANCE CONTROL</b>						
01-35-760-258	PEST CONTROL	0.00	900.00	1,000.00	90.00	100.00	1,100.00
01-35-760-259	MOSQUITO ABATEMENT	0.00	28,869.55	32,100.00	89.94	3,230.45	35,330.45
	<b>NUISANCE CONTROL</b>	<b>0.00</b>	<b>29,769.55</b>	<b>33,100.00</b>	<b>89.94</b>	<b>3,330.45</b>	<b>66,200.00</b>
	<b>Total Dept 35-PUBLIC WORKS DEPARTMENT</b>	<b>63,950.09</b>	<b>783,268.18</b>	<b>1,186,302.16</b>	<b>66.03</b>	<b>403,033.98</b>	<b>2,372,604.32</b>
	<b>Dept 40-BUILDING &amp; ZONING DEPARTMENT</b>						
	<b>GENERAL MANAGEMENT</b>						
01-40-400-147	EMPLOYEE BENEFITS - MEDICA	188.45	1,270.17	1,650.46	76.96	380.29	2,030.75
01-40-400-151	IMRF	2,408.25	16,322.71	20,795.00	78.49	4,472.29	25,267.29
01-40-400-161	SOCIAL SECURITY/FICA	805.80	5,431.10	7,057.15	76.96	1,626.05	8,683.20
01-40-810-101	SALARIES - PERMANENT EMPL	5,517.28	49,594.90	71,723.00	69.15	22,128.10	93,851.10
01-40-810-102	OVERTIME	2,036.67	18,988.38	15,413.00	123.20	(3,575.38)	11,837.62
01-40-810-126	SALARIES - CLERICAL	2,053.04	18,454.86	26,689.00	69.15	8,234.14	34,923.14
01-40-810-141	EMPLOYEE BENEFITS - MEDICA	2,281.91	16,348.65	27,346.00	59.78	10,997.35	38,343.35
01-40-810-144	EMPLOYEE BENEFITS - UNEMP	0.00	4.10	165.00	2.48	160.90	325.90
01-40-810-201	TELEPHONES	98.07	751.46	1,000.00	75.15	248.54	1,248.54
01-40-810-301	OFFICE SUPPLIES	130.47	633.02	750.00	84.40	116.98	866.98
01-40-810-302	PRINTING & PUBLISHING	0.00	137.00	1,000.00	13.70	863.00	1,863.00
01-40-810-303	FUEL/MILEAGE/WASH	91.81	593.74	1,500.00	39.58	906.26	2,406.26
01-40-810-304	SCHOOLS/CONFERENCES/TRA	20.00	110.00	1,000.00	11.00	890.00	1,890.00
01-40-810-307	FEES/DUES/SUBSCRIPTIONS	0.00	0.00	500.00	0.00	500.00	1,000.00
01-40-810-311	POSTAGE & METER RENT	12.54	271.27	400.00	67.82	128.73	528.73
01-40-810-401	OPERATING EQUIPMENT	0.00	146.92	200.00	73.46	53.08	253.08
01-40-810-409	MAINTENANCE - VEHICLES	120.00	120.00	1,000.00	12.00	880.00	1,880.00
	<b>GENERAL MANAGEMENT</b>	<b>15,764.29</b>	<b>129,178.28</b>	<b>178,188.61</b>	<b>72.50</b>	<b>49,010.33</b>	<b>227,198.94</b>
	<b>DATA PROCESSING</b>						
01-40-815-263	EDP EQUIPMENT MAINTENANC	0.00	0.00	250.00	0.00	250.00	500.00
01-40-815-305	EDP PERSONNEL TRAINING	0.00	264.48	400.00	66.12	135.52	535.52
01-40-815-306	CONSULTING SERVICES	0.00	0.00	750.00	0.00	750.00	1,500.00
01-40-815-401	EDP OPERATING EQUIPMENT	0.00	0.00	2.00	0.00	2.00	4.00
	<b>DATA PROCESSING</b>	<b>0.00</b>	<b>264.48</b>	<b>1,402.00</b>	<b>18.86</b>	<b>1,137.52</b>	<b>2,539.52</b>

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16		% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
				ORIGINAL BUDGET	BUDGET			
<b>Fund 01 - GENERAL FUND</b>								
ENGINEERING								
01-40-820-245	FEES - ENGINEERING	0.00	1,989.30	4,000.00	49.73	8,000.00	2,010.70	6,010.70
01-40-820-246	FEES - DRAINAGE ENGINEER	0.00	4,088.78	6,000.00	68.15	12,000.00	1,911.22	7,911.22
01-40-820-247	REIMB EXP - ENGINEERING	0.00	0.00	500.00	0.00	1,000.00	500.00	1,000.00
01-40-820-254	PLAN REVIEW - ENGINEER	0.00	1,992.10	7,000.00	28.46	14,000.00	5,007.90	12,007.90
01-40-820-255	PLAN REVIEW - STRUCTURAL	1,170.00	2,024.00	8,000.00	25.30	16,000.00	5,976.00	13,976.00
01-40-820-258	PLAN REVIEW - BUILDING CODE	3,875.90	22,086.08	40,000.00	55.22	80,000.00	17,913.92	57,913.92
01-40-820-259	PLAN REVIEW - DRAINAGE ENGI	0.00	10,356.00	10,000.00	103.56	20,000.00	(356.00)	9,644.00
ENGINEERING		5,045.90	42,536.26	75,500.00	56.34	151,000.00	32,963.74	108,463.74
<b>INSPECTION</b>								
01-40-830-109	PART TIME - INSPECTOR	3,696.00	27,972.00	25,000.00	111.89	50,000.00	(2,972.00)	22,028.00
01-40-830-115	PLUMBING INSPECTION	225.00	3,840.00	6,000.00	64.00	12,000.00	2,160.00	8,160.00
01-40-830-117	ELEVATOR INSPECTION	0.00	5,967.00	7,000.00	85.24	14,000.00	1,033.00	8,033.00
01-40-830-119	CODE ENFORCEMENT INSPECT	0.00	0.00	4,000.00	0.00	8,000.00	4,000.00	8,000.00
INSPECTION		3,921.00	37,779.00	42,000.00	89.95	84,000.00	4,221.00	46,221.00
<b>Total Dept 40-BUILDING &amp; ZONING DEPARTMENT</b>		<b>24,731.19</b>	<b>209,758.02</b>	<b>297,090.61</b>	<b>70.60</b>	<b>594,181.22</b>	<b>87,332.53</b>	<b>384,423.20</b>

Fund 01 - GENERAL FUND:

TOTAL EXPENDITURES	689,741.74	5,836,172.26	9,802,441.08	59.54	3,966,268.82	19,604,882.16	13,768,709.90
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EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BGD% USED	AVAILABLE BALANCE	APPROP. BALANCE	APPROP. AVAIL.
<b>Fund 02 - WATER FUND</b>								
02-50-420-294	LANDSCAPING - WELLS 1 & 3	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-297	LANDSCAPING - STANDPIPE	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-420-361	CHEMICALS	0.00	991.47	1,750.00	56.66	758.53	3,500.00	2,508.53
02-50-420-362	SAMPLING ANALYSIS	175.00	1,160.75	2,678.00	43.34	1,517.25	5,356.00	4,195.25
02-50-420-488	MAINTENANCE - PUMPS & WELL	0.00	435.00	500.00	87.00	65.00	1,000.00	565.00
02-50-420-491	PUMP INSPECTION REPAIR MAI	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-420-575	PURCHASE OF WATER	128,670.50	1,177,033.36	1,788,287.00	65.82	611,253.64	3,576,574.00	2,389,540.64
<b>WATER PRODUCTION</b>		129,716.44	1,186,584.29	1,811,215.00	65.51	624,630.71	3,622,430.00	2,435,845.71
<b>WATER STORAGE</b>								
02-50-425-473	WELLHOUSE REPAIRS & MAINT	0.00	2,183.79	1,000.00	218.38	(1,183.79)	2,000.00	(183.79)
02-50-425-474	WELLHOUSE REPAIRS & MAIN	0.00	720.00	1,000.00	72.00	280.00	2,000.00	1,280.00
02-50-425-475	MATERIALS & SUPPLIES - STAN	0.00	0.00	1,500.00	0.00	1,500.00	3,000.00	3,000.00
02-50-425-485	REPAIRS & MAINTENANCE-STA	713.22	3,508.31	5,985.00	58.62	2,476.69	11,970.00	8,461.69
<b>WATER STORAGE</b>		713.22	6,412.10	9,485.00	67.60	3,072.90	18,970.00	12,557.90
<b>TRANSPORTATION/DISTRIBUTION</b>								
02-50-430-276	LEAK SURVEYS	0.00	10,602.67	7,500.00	141.37	(3,102.67)	15,000.00	4,397.33
02-50-430-277	WATER DISTRIBUTION REPAIRS	676.04	79,304.21	95,000.00	83.48	15,695.79	190,000.00	110,695.79
02-50-430-299	LANDSCAPING - OTHER	8,841.70	14,045.28	4,000.00	351.13	(10,045.28)	8,000.00	(6,045.28)
02-50-430-401	OPERATING EQUIPMENT	0.00	0.00	1,000.00	0.00	1,000.00	2,000.00	2,000.00
02-50-430-425	J. U. L. I. E. MAINTENANCE & SU	0.00	12.88	750.00	1.72	737.12	1,500.00	1,487.12
02-50-430-476	MATERIAL & SUPPLIES - DISTRI	0.00	14,528.12	10,000.00	145.28	(4,528.12)	20,000.00	5,471.88
<b>TRANSPORTATION/DISTRIBUTION</b>		9,517.74	118,493.16	118,250.00	100.21	(243.16)	236,500.00	118,006.84
<b>METERS &amp; BILLING</b>								
02-50-435-278	METERS FLOW TESTING	0.00	604.60	12,000.00	5.04	11,395.40	24,000.00	23,395.40
02-50-435-461	NEW METERING EQUIPMENT	0.00	335.15	10,000.00	3.35	9,664.85	20,000.00	19,664.85
02-50-435-462	METER REPLACEMENT	0.00	0.00	500.00	0.00	500.00	1,000.00	1,000.00
02-50-435-463	MAINTENANCE - METER EQUIP	0.00	0.00	5,000.00	0.00	5,000.00	10,000.00	10,000.00
<b>METERS &amp; BILLING</b>		0.00	939.75	27,500.00	3.42	26,560.25	55,000.00	54,060.25
<b>Total Dept.50-WATER DEPARTMENT</b>		229,093.44	2,010,186.29	2,927,559.00	68.66	917,372.71	5,855,118.00	3,844,931.71
<b>Fund 02 - WATER FUND:</b>								
<b>TOTAL EXPENDITURES</b>		229,093.44	2,010,186.29	2,927,559.00	68.66	917,372.71	5,855,118.00	3,844,931.71

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
<b>Fund 03 - HOTEL/MOTEL TAX FUND</b>							
<b>Dept 53-HOTEL/MOTEL</b>							
<b>COMMUNITY RELATIONS</b>							
03-53-435-303	WILLOWBROOK MOBILE PHONE	1,023.75	3,773.75	2,750.00	137.23	(1,023.75)	1,726.25
03-53-435-316	LANDSCAPE BEAUTIFICATION	0.00	277.60	3,000.00	9.25	2,722.40	5,722.40
03-53-435-317	ADVERTISING	0.00	31,562.18	60,450.00	52.21	28,887.82	89,337.82
03-53-435-319	CHAMBER DIRECTORY	0.00	3,000.00	3,000.00	100.00	0.00	3,000.00
	<b>COMMUNITY RELATIONS</b>	<b>1,023.75</b>	<b>38,613.53</b>	<b>69,200.00</b>	<b>55.80</b>	<b>30,586.47</b>	<b>138,400.00</b>
<b>ADMINISTRATION</b>							
03-53-401-307	FEES/DUES/SUBSCRIPTIONS	2,663.96	8,288.96	9,000.00	92.10	711.04	9,711.04
03-53-401-311	POSTAGE & METER RENT	0.00	19.73	125.00	15.78	105.27	230.27
	<b>ADMINISTRATION</b>	<b>2,663.96</b>	<b>8,308.69</b>	<b>9,125.00</b>	<b>91.05</b>	<b>816.31</b>	<b>18,250.00</b>
<b>SPECIAL EVENTS</b>							
03-53-436-378	WINE & DINE INTELLIGENTLY	975.00	1,062.12	2,000.00	53.11	937.88	2,937.88
03-53-436-379	SPECIAL PROMOTIONAL EVENT	0.00	2,500.00	2,500.00	100.00	0.00	5,000.00
	<b>SPECIAL EVENTS</b>	<b>975.00</b>	<b>3,562.12</b>	<b>4,500.00</b>	<b>79.16</b>	<b>937.88</b>	<b>9,000.00</b>
	<b>Total Dept 53-HOTEL/MOTEL</b>	<b>4,662.71</b>	<b>50,484.34</b>	<b>82,825.00</b>	<b>60.95</b>	<b>32,340.66</b>	<b>165,650.00</b>
<b>Fund 03 - HOTEL/MOTEL TAX FUND:</b>							
	<b>TOTAL EXPENDITURES</b>	<b>4,662.71</b>	<b>50,484.34</b>	<b>82,825.00</b>	<b>60.95</b>	<b>32,340.66</b>	<b>115,165.66</b>

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

APPROP. APPROP. AVAIL.

ACTIVITY FOR MONTH 12/31/2015  
2015-16 ORIGINAL BUDGET  
% BGDGT USED  
YTD BALANCE 12/31/2015  
AVAILABLE BALANCE

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BGDGT USED	AVAILABLE BALANCE	APPROP.	APPROP. AVAIL.
Fund 04 - MOTOR FUEL TAX FUND								
Dept 56-MOTOR FUEL TAX								
CAPITAL IMPROVEMENTS								
04-56-430-684	STREET MAINTENANCE CONTR	0.00	184,854.19	225,000.00	82.16	40,145.81	450,000.00	265,145.81
	CAPITAL IMPROVEMENTS	0.00	184,854.19	225,000.00	82.16	40,145.81	450,000.00	265,145.81

Total Dept 56-MOTOR FUEL TAX 0.00 184,854.19 225,000.00 82.16 40,145.81 450,000.00 265,145.81

Fund 04 - MOTOR FUEL TAX FUND: 0.00 184,854.19 225,000.00 82.16 40,145.81 450,000.00 265,145.81

TOTAL EXPENDITURES



EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

APPROP. APPROP. AVAIL.

ACTIVITY FOR MONTH 12/31/2015  
 2015-16 ORIGINAL BUDGET  
 YTD BALANCE 12/31/2015  
 % BUDGT USED  
 AVAILABLE BALANCE

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BUDGT USED	AVAILABLE BALANCE
Fund 07 - POLICE PENSION FUND						
Dept 62						
ADMINISTRATION						
07-62-401-242	LEGAL FEES	200.00	400.00	0.00	100.00	(400.00)
07-62-401-251	AUDIT FEES	0.00	4,455.00	0.00	100.00	(4,455.00)
07-62-401-252	ACTUARY SERVICES	0.00	4,400.00	0.00	100.00	(4,400.00)
07-62-401-253	FINANCIAL ADVISORY FEES	0.00	16,363.75	0.00	100.00	(16,363.75)
07-62-401-304	SCHOOL/CONFERENCES/TRAV	0.00	2,903.25	0.00	100.00	(2,903.25)
07-62-401-531	FILING FEE - IL DEPT OF INSUR	0.00	3,630.56	0.00	100.00	(3,630.56)
ADMINISTRATION		200.00	32,152.56	0.00	100.00	(32,152.56)
PENSION BENEFITS						
07-62-401-581	PENSION BENEFITS	63,333.51	476,899.90	0.00	100.00	(476,899.90)
07-62-401-582	WIDOW'S PENSION	3,209.33	25,674.92	0.00	100.00	(25,674.92)
07-62-401-583	DISABILITY BENEFITS	4,446.08	35,568.64	0.00	100.00	(35,568.64)
07-62-401-586	SEPARATION REFUNDS	6,252.34	6,252.34	0.00	100.00	(6,252.34)
PENSION BENEFITS		77,241.26	544,395.80	0.00	100.00	(544,395.80)
Total Dept 62						
		77,441.26	576,548.36	0.00	100.00	(576,548.36)

Fund 07 - POLICE PENSION FUND:

TOTAL EXPENDITURES

77,441.26 576,548.36 0.00 100.00 (576,548.36)

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND</b>							
<b>Dept 65-WATER CAPITAL IMPROVEMENTS</b>							
<b>CAPITAL IMPROVEMENTS</b>							
09-65-440-600	WATER SYSTEM IMPROVEMEN	0.00	0.00	15,000.00	0.00	15,000.00	30,000.00
09-65-440-602	MTU REPLACEMENT	0.00	11,694.98	0.00	100.00	(11,694.98)	(11,694.98)
09-65-440-603	VALVE INSERTION PROGRAM	0.00	0.00	6,000.00	0.00	6,000.00	12,000.00
09-65-440-604	WATER TANK REPAIRS	0.00	38,348.18	392,400.00	9.77	354,051.82	784,800.00
	<b>CAPITAL IMPROVEMENTS</b>	<b>0.00</b>	<b>50,043.16</b>	<b>413,400.00</b>	<b>12.11</b>	<b>363,356.84</b>	<b>826,800.00</b>
<b>Total Dept 65-WATER CAPITAL IMPROVEMENTS</b>		<b>0.00</b>	<b>50,043.16</b>	<b>413,400.00</b>	<b>12.11</b>	<b>363,356.84</b>	<b>826,800.00</b>
<b>Fund 09 - WATER CAPITAL IMPROVEMENTS FUND:</b>							
<b>TOTAL EXPENDITURES</b>		<b>0.00</b>	<b>50,043.16</b>	<b>413,400.00</b>	<b>12.11</b>	<b>363,356.84</b>	<b>826,800.00</b>

EXPENDITURE REPORT FOR WILLOWBROOK  
 PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 10 - CAPITAL PROJECT FUND								
Dept 68-CAPITAL PROJECTS								
CAPITAL IMPROVEMENTS								
10-68-540-422	BORSE COMMUNITY PARK IMP	0.00	0.00	84,698.00	0.00	84,698.00	169,396.00	169,396.00
	CAPITAL IMPROVEMENTS	0.00	0.00	84,698.00	0.00	84,698.00	169,396.00	169,396.00
OTHER								
10-68-550-404	BOND ISSUANCE COSTS	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
	OTHER	0.00	0.00	800.00	0.00	800.00	1,600.00	1,600.00
Total Dept 68-CAPITAL PROJECTS								
		0.00	0.00	85,498.00	0.00	85,498.00	170,996.00	170,996.00
Fund 10 - CAPITAL PROJECT FUND:								
TOTAL EXPENDITURES								
		0.00	0.00	85,498.00	0.00	85,498.00	170,996.00	170,996.00

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 11 - DEBT SERVICE FUND								
Dept 70-DEBT SERVICE FUND								
OTHER								
11-70-550-401	BOND PRINCIPAL EXPENSE	20,000.00	115,000.00	115,000.00	100.00	0.00	230,000.00	115,000.00
11-70-550-402	BOND INTEREST EXPENSE	66,475.00	102,511.53	102,512.00	100.00	0.47	205,024.00	102,512.47
11-70-550-404	BOND ISSUANCE COSTS	0.00	(191.04)	800.00	(23.88)	991.04	1,600.00	1,791.04
OTHER		86,475.00	217,320.49	218,312.00	99.55	991.51	436,624.00	219,303.51
Total Dept 70-DEBT SERVICE FUND		86,475.00	217,320.49	218,312.00	99.55	991.51	436,624.00	219,303.51
Fund 11 - DEBT SERVICE FUND:								
TOTAL EXPENDITURES								
		86,475.00	217,320.49	218,312.00	99.55	991.51	436,624.00	219,303.51

EXPENDITURE REPORT FOR WILLOWBROOK  
PERIOD ENDING 12/31/2015

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 12/31/2015	YTD BALANCE 12/31/2015	2015-16 ORIGINAL BUDGET	% BDGT USED	AVAILABLE BALANCE	APPROP. AVAIL.	APPROP. AVAIL.
Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION & Dept 75								
	CAPITAL IMPROVEMENTS	0.00	0.00	20,000.00	0.00	20,000.00	40,000.00	40,000.00
14-75-920-245	ENGINEERING	0.00	398,433.41	20,000.00	1,992.17	(378,433.41)	40,000.00	(358,433.41)
14-75-930-410	VILLAGE HALL REMODEL (835 M	15,675.42	57,677.59	3,140,000.00	1.84	3,082,322.41	6,280,000.00	6,222,322.41
14-75-930-411	POLICE DEPT REMODEL (7760	3,615.63	5,042.60	12,500.00	40.34	7,457.40	25,000.00	19,957.40
14-75-930-412	CRC REMODEL (825 MIDWAY D							
	CAPITAL IMPROVEMENTS	19,291.05	461,153.60	3,192,500.00	14.44	2,731,346.40	6,385,000.00	5,923,846.40
Total Dept 75		19,291.05	461,153.60	3,192,500.00	14.44	2,731,346.40	6,385,000.00	5,923,846.40

Fund 14 - LAND ACQUISITION, FACILITY, EXPANSION								
TOTAL EXPENDITURES								
		19,291.05	461,153.60	3,192,500.00	14.44	2,731,346.40	6,385,000.00	5,923,846.40

TOTAL EXPENDITURES - ALL FUNDS								
		1,106,705.20	9,709,077.69	17,269,850.08	56.22	7,560,772.39	25,000.00	19,957.40

**VILLAGE OF WILLOWBROOK  
FINANCIAL REPORT  
MUNICIPAL SALES AND USE TAXES**

<b>MONTH SALE</b>						
<b>DIST</b>	<b>MADE</b>	<b>11-12</b>	<b>12-13</b>	<b>13-14</b>	<b>14-15</b>	<b>15-16</b>
MAY	FEB	\$ 254,811	\$ 261,216	\$ 250,138	\$ 245,589	\$ 253,282
JUNE	MAR	296,840	308,159	304,370	293,285	301,469
JULY	APR	281,808	288,609	295,557	293,319	267,013
AUG	MAY	276,985	316,487	334,102	342,029	328,251
SEPT	JUNE	318,524	336,664	338,139	330,203	349,847
OCT	JULY	300,424	291,508	300,405	318,631	306,409
NOV	AUG	326,134	330,699	332,925	349,800	337,896
DEC	SEPT	296,490	300,348	288,422	287,860	360,843
JAN	OCT	272,291	282,374	283,164	303,324	
FEB	NOV	296,763	306,325	295,860	296,349	
MARCH	DEC	387,223	377,505	387,074	365,874	
APRIL	JAN	253,944	277,850	234,816	253,532	
<b>TOTAL</b>		<b>\$ 3,562,238</b>	<b>\$ 3,677,745</b>	<b>\$ 3,644,970</b>	<b>\$ 3,679,794</b>	<b>\$ 2,505,010</b>
<b>MTH AVG</b>		<b>\$ 296,853</b>	<b>\$ 306,479</b>	<b>\$ 303,747</b>	<b>\$ 306,650</b>	<b>\$ 313,126</b>
<b>BUDGET</b>		<b>\$ 3,217,250</b>	<b>\$ 3,493,374</b>	<b>\$ 3,447,000</b>	<b>\$ 3,450,000</b>	<b>\$ 3,600,000</b>

YEAR TO DATE LAST YEAR : \$ 2,460,716  
 YEAR TO DATE THIS YEAR : \$ 2,505,010  
 DIFFERENCE : \$ 44,294

PERCENTAGE CHANGE :

1.80%

CURRENT FISCAL YEAR :

BUDGETED REVENUE: \$ 3,600,000  
 PERCENTAGE OF YEAR COMPLETED : 66.67%  
 PERCENTAGE OF REVENUE TO DATE : 69.58%  
 PROJECTION OF ANNUAL REVENUE : \$ 3,746,033  
 EST. DOLLAR DIFF ACTUAL TO BUDGET \$ 146,033  
 EST. PERCENT DIFF ACTUAL TO BUDGET 4.1%

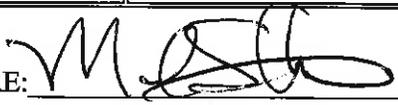
# BOARD MEETING

## AGENDA ITEM - HISTORY/COMMENTARY

AN ORDINANCE DECLARING SURPLUS PROPERTY AND AUTHORIZING THE DISPOSAL OF THE SAME.

AGENDA NO. **5e**  
AGENDA DATE: 01/11/2016

STAFF REVIEW: Mark Shelton, Chief of Police

SIGNATURE: 

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

REVIEWED & APPROVED BY COMMITTEE: YES  N/A

ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

Staff has compiled a list of unclaimed property deemed surplus ready for disposal. Staff will donate the bicycles and the wheelchair to the Good Will Store. The lawn mower will be donated to the Village of Willowbrook Public Works Department.

Make/Model	Color	Description	Serial #
Trek	Black	Mountain Bike	020C08963A
Tiny Hawk	Red/Black	Bike	VTU208P00960
Cobra	Red/Black	Bike	LWKF303294
Pacific	Purple	Bike	047C3832
Twilight Sparkle	Purple	Bike	DJGF015923
BMX	Yellow	Bike	TR110904394
Mt. Fury	Green	Mountain Bike	XCIF128458
Chinook Giant	Blue	Bike	GT923035
Unknown	Silver/Black	Wheelchair	None
Toro	Red	Lawn Mower	230159952

Staff recommends the Mayor and Board of Trustees pass the ordinance authorizing the donation of the property listed above.

ACTION PROPOSED:

PASSAGE OF THE ORDINANCE

ORDINANCE NO. 16-0-\_\_\_

AN ORDINANCE DECLARING SURPLUS PROPERTY  
AND AUTHORIZING THE DISPOSAL OF THE SAME.

---

WHEREAS, in the opinion of a majority of the corporate authorities of the Village of Willowbrook, it is no longer necessary or useful or for the best interests of the Village of Willowbrook, to retain ownership of the personal property hereinafter described; and

WHEREAS, it has been determined by the Mayor and Board of Trustees of the Village of Willowbrook to dispose of said personal property.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook as follows:

SECTION ONE: Pursuant to 65 ILCS 5/11-76-4, the Mayor and Board of Trustees of the Village of Willowbrook find that the property described on Exhibit "A" attached hereto and made a part of, now owned by the Village of Willowbrook, is no longer necessary or useful to the Village of Willowbrook and the best interests of the Village of Willowbrook will be served by its disposal.

SECTION TWO: Pursuant to 65 ILCS 5/11-76-4, the Village Administrator is hereby authorized and directed to dispose of the property set forth on Exhibit "A" now owned by

the Village of Willowbrook in any manner he deems appropriate, with or without advertisement.

SECTION THREE: The Village Administrator is hereby authorized to dispose of the property set forth on Exhibit "A" to the recipient thereof.

SECTION FOUR: This ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

PASSED and APPROVED this 11th day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**EXHIBIT "A"**

<b>Make/Model</b>	<b>Color</b>	<b>Description</b>	<b>Serial #</b>
Trek	Black	Mountain Bike	020C08963A
Tiny Hawk	Red/Black	Bike	VTU208P00960
Cobra	Red/Black	Bike	LWKF303294
Pacific	Purple	Bike	047C3832
Twilight Sparkle	Purple	Bike	DJGF015923
BMX	Yellow	Bike	TR110904394
Mt. Fury	Green	Mountain Bike	XCIF128458
Chinook Giant	Blue	Bike	GT923035
Unknown	Silver/Black	Wheelchair	None
Toro	Red	Lawn Mower	230159952

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

AN ORDINANCE AMENDING TITLE 3, CHAPTER 12, SECTION 3-12-5 (B)  
OF THE VILLAGE CODE – CLASSIFICATIONS: CLASS B LICENSE

**AGENDA NO.**

5f

**AGENDA DATE:** 1/11/16

**STAFF REVIEW:** Tim Halik,  
Village Administrator

**SIGNATURE:** \_\_\_\_\_

*Tim Halik*

**LEGAL REVIEW:** Thomas Bastian,  
Village Attorney

**SIGNATURE:** \_\_\_\_\_

*THOMAS BASTIAN TH.*

**RECOMMENDED BY:** Tim Halik,  
Village Administrator

**SIGNATURE:** \_\_\_\_\_

*Tim Halik*

**REVIEWED & APPROVED BY COMMITTEE:**

YES

NO

N/A

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The Phillies Pizza restaurant was previously issued a Class B Liquor License which enabled the sale of alcoholic beverages to be consumed on-site. Unfortunately, the restaurant voluntarily closed on or around November 21, 2015.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

Since it is not the Village's practice to hold an available liquor license, the attached ordinance amendment will serve to reduce the number of available Class B liquor licenses from Fifteen (15) to fourteen (14). Should another eligible business request such a license, and the Deputy Liquor Control Commissioner agrees to issue such a license to the location, a new license would be created.

**ACTION PROPOSED:**

Pass the Ordinance.

ORDINANCE NO. 16-O-\_\_\_\_\_

AN ORDINANCE AMENDING TITLE 3, CHAPTER 12, SECTION  
3-12-5(B) OF THE VILLAGE CODE – CLASSIFICATIONS: CLASS B LICENSE

---

BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Code of the Village of Willowbrook be amended as follows:

SECTION ONE: That Title 3, Chapter 12, Section 3-12-5(B) of the Village Code of the Village of Willowbrook, entitled "Class B License", is hereby amended by deleting the last sentence contained therein in its entirety and in lieu thereof, the following language shall be substituted:

...“There shall be no more than fourteen (14) class B licenses issued at any one time.”

SECTION TWO: That all ordinances and resolutions, or parts thereof, in conflict with the provisions with this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION THREE: That this Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

PASSED and APPROVED this 11<sup>th</sup> day of January, 2016.

APPROVED:

---

Mayor

**ATTEST:**

\_\_\_\_\_  
Village Clerk

**ROLL CALL VOTE: AYES:** \_\_\_\_\_

**NAYS:** \_\_\_\_\_

**ABSTENTIONS:** \_\_\_\_\_

**ABSENT:** \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

A RESOLUTION AUTHORIZING A REPRESENTATIVE TO SIGN  
LOAN DOCUMENTS – IEPA SRF LOW INTEREST LOAN IN THE TOTAL  
AMOUNT OF \$1,417,000 FOR THE PAINTING AND MAINTENANCE OF TWO  
(2) POTABLE WATER STORAGE TANK STRUCTURES

AGENDA NO.

5g

AGENDA DATE: 1/11/16

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: Tim Halik

REVIEWED & APPROVED BY COMMITTEE:

YES

NO

N/A

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

The FY2015/16 Budget includes funding to hire an engineering firm to assist in compiling information and completing tasks necessary to apply for a low interest loan through the Illinois Environmental Protection Agency (IEPA) State Revolving Fund (SRF) Program. Proceeds from this loan will be used to fund the interior and exterior blasting and re-coating of both the standpipe water tank and Village Hall water tank structures. After soliciting proposals, the Village Board accepted the low proposal from Christopher B. Burke Engineering (CBBEL) to complete this work. In July of 2015, the Project Plan Report was submitted to the IEPA to begin the loan review process. In August 2015, we received notification from the IEPA that the Plan was received and under review. On October 19, 2015, the Village received notice from the IEPA that the agency has determined that the proposed project is technically appropriate and cost effective. The next requirement of the SRF Program loan process is that a Notice of Categorical Exclusion (i.e., public comment process) for proposed water supply projects be published. This Notice was drafted, approved, and published in the November 27, 2015 edition of the Hinsdale Suburban Life newspaper. On December 10, 2015, the IEPA was notified that no public comments were received. Therefore, the Categorical Exclusion was confirmed and the Project Plan was approved. However, a number of additional requirements must be met before a loan commitment from the IEPA is achieved.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Our consulting engineer from CBBEL has been in contact with our assigned IEPA project manager to work towards completing the remainder of the loan process requirements. One such item to be completed is the designation of a Village representative to sign the loan documents. CBBEL recommends that the Village Administrator be the representative authorized to sign all loan documentation. This requires adoption of a resolution by the Village Board.

### ACTION PROPOSED:

Adopt Resolution.

Project: 75th Street 3.0 MG Standpipe  
Painting and Maintenance Project  
L17: 5351

**RESOLUTION NO. 16-R-\_\_\_\_\_**

**A RESOLUTION AUTHORIZING A REPRESENTATIVE TO SIGN  
LOAN DOCUMENTS – IEPA SRF LOW INTEREST LOAN IN THE TOTAL  
AMOUNT OF \$1,417,000 FOR THE PAINTING AND MAINTENANCE OF  
TWO (2) POTABLE WATER STORAGE TANK STRUCTURES**

Whereas, application provisions for loans from the Public Water Supply Loan Program for construction of public water supply facilities require that the Village of Willowbrook authorize a representative to sign the loan application forms and supporting documents: therefore, be it resolved by the Mayor and Board of Trustees that Village Administrator Timothy J. Halik is hereby authorized to sign all loan application forms and documents.

PASSED and APPROVED this 11th day of January, 2016.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

A RESOLUTION AUTHORIZING THE EXECUTION OF THE LOCAL PUBLIC AGENCY AGREEMENT FOR FEDERAL PARTICIPATION IN THE CLARENDON HILLS ROAD RECONSTRUCTION PROJECT

**AGENDA NO.****5h****AGENDA DATE:** 1/11/16**STAFF REVIEW:** Tim Halik, Village Administrator**SIGNATURE:** Tim Halik**LEGAL REVIEW:** Thomas Bastian, Village Attorney**SIGNATURE:** Thomas Bastian III**RECOMMENDED BY:** Tim Halik, Village Administrator**SIGNATURE:** Tim Halik**REVIEWED & APPROVED BY COMMITTEE:**YES NO N/A **ITEM HISTORY (ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY, ETC.)**

The Village previously applied for and was awarded grant funding through the Federal Surface Transportation Program (STP) to complete a reconstruction of Clarendon Hills Road, from 67<sup>th</sup> Street and extending north to 58<sup>th</sup> Street. Approval of the grant would enable 75% of the cost of the reconstruction of the roadway to be removed from the Village's Roadway Maintenance Program, thereby saving local MFT funds to be used for other road maintenance projects. The engineering design costs of the project, which are not grant eligible, were paid from the General Fund Public Works Engineering account. The project is currently scheduled to be on the IDOT March bid letting, and construction should commence this late Spring or early Summer.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The Federal Surface Transportation Program (STP) funding for this project is distributed through the Illinois Department of Transportation (IDOT). As part of the IDOT process, Willowbrook, as the local agency, must execute a Local Agency Agreement (LAA) acknowledging the terms of the Federal Grant Program for funding. The Agreement codifies the funding arrangement between the Village of Willowbrook (25%) and IDOT (75%) for the construction of the project.

**ACTION PROPOSED:** Adopt resolution.

RESOLUTION NO. 16-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE EXECUTION OF THE LOCAL PUBLIC AGENCY AGREEMENT FOR FEDERAL PARTICIPATION IN THE CLARENDON HILLS ROAD RECONSTRUCTION PROJECT

---

BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor is hereby authorized to execute the Local Public Agency Agreement to receive Federal Funding to complete a reconstruction of Clarendon Hills Road, attached hereto as Exhibit "A" and made a part hereof.

ADOPTED and APPROVED this 11<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**Exhibit "A"**



**Illinois Department of Transportation**

**Local Public Agency Agreement for Federal Participation**

Local Public Agency Village of Willowbrook	State Contract X	Day Labor	Local Contract	RR Force Account
Section 15-00022-00-RS	Fund Type STU	ITEP, SRTS, or HSIP Number(s)		

Construction		Engineering		Right-of-Way	
Job Number	Project Number	Job Number	Project Number	Job Number	Project Number
C-91-088-16	M-4003(597)				

This Agreement is made and entered into between the above local public agency, hereinafter referred to as the "LPA", and the State of Illinois, acting by and through its Department of Transportation, hereinafter referred to as "STATE". The STATE and LPA jointly propose to improve the designated location as described below. The improvement shall be constructed in accordance with plans prepared by, or on behalf of the LPA, approved by the STATE and the STATE's policies and procedures approved and/or required by the Federal Highway Administration, hereinafter referred to as "FHWA".

**Location**

Local Name Clarendon Hills Road Route FAU 2663 Length 1.12 miles  
 Termini 58<sup>th</sup> Street to 67<sup>th</sup> Street

Current Jurisdiction LPA TIP Number 08-11-0026 Existing Structure No N/A

**Project Description**

The work consists of 3" Hot-Mix Asphalt Surface Removal replaced by a 1" Hot-Mix Asphalt Leveling Binder Course and 2" Surface Course, as well as minor patching, traffic signal detection loop replacement, spot curb and gutter repair, structure adjustments, frame and lid replacement, defective drainage structure replacement, and ADA improvements.

**Division of Cost**

Type of Work	STU	%	%	LPA	%	Total
Participating Construction	\$581,250	( * )	( )	\$193,750	( BAL )	\$775,000
Non-Participating Construction		( )	( )		( )	
Preliminary Engineering		( )	( )		( )	
Construction Engineering		( )	( )		( )	
Right of Way		( )	( )		( )	
Railroads		( )	( )		( )	
Utilities		( )	( )		( )	
Materials		( )	( )		( )	
<b>TOTAL</b>	<b>\$ 581,250</b>			<b>\$ 193,750</b>		<b>\$ 775,000</b>

\*Maximum FHWA (STU) participation 75% not to exceed \$581,250.

**NOTE:** The costs shown in the Division of Cost table are approximate and subject to change. The final LPA share is dependent on the final Federal and State participation. The actual costs will be used in the final division of cost for billing and reimbursement.

If funding is not a percentage of the total, place an asterisk in the space provided for the percentage and explain above.

**Local Public Agency Appropriation**

By execution of this Agreement, the LPA attests that sufficient moneys have been appropriated or reserved by resolution or ordinance to fund the LPA share of project costs. A copy of the authorizing resolution or ordinance is attached as an addendum (required for State-let contracts only)

**Method of Financing (State Contract Work Only)**

- METHOD A---Lump Sum (80% of LPA Obligation) \_\_\_\_\_
- METHOD B--- \_\_\_\_\_ Monthly Payments of \_\_\_\_\_ due by the \_\_\_\_\_ of each successive month.
- METHOD C---LPA's Share \_\_\_\_\_ Balance \_\_\_\_\_ divided by estimated total cost multiplied by actual progress payment.

(See page two for details of the above methods and the financing of Day Labor and Local Contracts)

## Agreement Provisions

### THE LPA AGREES:

- (1) To acquire in its name, or in the name of the **STATE** if on the **STATE** highway system, all right-of-way necessary for this project in accordance with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, and established State policies and procedures. Prior to advertising for bids, the **LPA** shall certify to the **STATE** that all requirements of Titles II and III of said Uniform Act have been satisfied. The disposition of encroachments, if any, will be cooperatively determined by representatives of the **LPA**, and the **STATE** and the **FHWA**, if required.
- (2) To provide for all utility adjustments, and to regulate the use of the right-of-way of this improvement by utilities, public and private, in accordance with the current Utility Accommodation Policy for Local Agency Highway and Street Systems.
- (3) To provide for surveys and the preparation of plans for the proposed improvement and engineering supervision during construction of the proposed improvement.
- (4) To retain jurisdiction of the completed improvement unless specified otherwise by addendum (addendum should be accompanied by a location map). If the improvement location is currently under road district jurisdiction, an addendum is required.
- (5) To maintain or cause to be maintained, in a manner satisfactory to the **STATE** and the **FHWA**, the completed improvement, or that portion of the completed improvement within its jurisdiction as established by addendum referred to in item 4 above.
- (6) To comply with all applicable Executive Orders and Federal Highway Acts pursuant to the Equal Employment Opportunity and Nondiscrimination Regulations required by the U.S. Department of Transportation.
- (7) To maintain, for a minimum of 3 years after final project close-out by the **STATE**, adequate books, records and supporting documents to verify the amounts, recipients and uses of all disbursements of funds passing in conjunction with the contract; the contract and all books, records and supporting documents related to the contract shall be available for review and audit by the Auditor General and the department; and the **LPA** agrees to cooperate fully with any audit conducted by the Auditor General and the **STATE**; and to provide full access to all relevant materials. Failure to maintain the books, records and supporting documents required by this section shall establish a presumption in favor of the **STATE** for the recovery of any funds paid by the **STATE** under the contract for which adequate books, records and supporting documentation are not available to support their purported disbursement.
- (8) To provide if required, for the improvement of any railroad-highway grade crossing and rail crossing protection within the limits of the proposed improvement.
- (9) To comply with Federal requirements or possibly lose (partial or total) Federal participation as determined by the **FHWA**.
- (10) (State Contracts Only) That the method of payment designated on page one will be as follows:
  - Method A - Lump Sum Payment. Upon award of the contract for this improvement, the **LPA** will pay to the **STATE** within thirty (30) calendar days of billing, in lump sum, an amount equal to 80% of the **LPA's** estimated obligation incurred under this Agreement. The **LPA** will pay to the **STATE** the remainder of the **LPA's** obligation (including any nonparticipating costs) within thirty (30) calendar days of billing in a lump sum, upon completion of the project based on final costs.
  - Method B - Monthly Payments. Upon award of the contract for this improvement, the **LPA** will pay to the **STATE**, a specified amount each month for an estimated period of months, or until 80% of the **LPA's** estimated obligation under the provisions of the Agreement has been paid, and will pay to the **STATE** the remainder of the **LPA's** obligation (including any nonparticipating costs) in a lump sum, upon completion of the project based upon final costs.
  - Method C - Progress Payments. Upon receipt of the contractor's first and subsequent progressive bills for this improvement, the **LPA** will pay to the **STATE** within thirty (30) calendar days of receipt, an amount equal to the **LPA's** share of the construction cost divided by the estimated total cost, multiplied by the actual payment (appropriately adjusted for nonparticipating costs) made to the contractor until the entire obligation incurred under this Agreement has been paid.Failure to remit the payment(s) in a timely manner as required under Methods A, B, or C, shall allow the **STATE** to internally offset, reduce, or deduct the arrearage from any payment or reimbursement due or about to become due and payable from the **STATE** to **LPA** on this or any other contract. The **STATE**, at its sole option, upon notice to the **LPA**, may place the debt into the Illinois Comptroller's Offset System (15 ILCS 405/10.05) or take such other and further action as may be required to recover the debt.
- (11) (Local Contracts or Day Labor) To provide or cause to be provided all of the initial funding, equipment, labor, material and services necessary to construct the complete project.
- (12) (Preliminary Engineering) In the event that right-of-way acquisition for, or actual construction of, the project for which this preliminary engineering is undertaken with Federal participation is not started by the close of the tenth fiscal year following the fiscal year in which the project is federally authorized, the **LPA** will repay the **STATE** any Federal funds received under the terms of this Agreement.
- (13) (Right-of-Way Acquisition) In the event that the actual construction of the project on this right-of-way is not undertaken by the close of the twentieth fiscal year following the fiscal year in which the project is federally authorized, the **LPA** will repay the **STATE** any Federal Funds received under the terms of this Agreement.

- (14) (Railroad Related Work Only) The estimates and general layout plans for at-grade crossing improvements should be forwarded to the Rail Safety and Project Engineer, Room 204, Illinois Department of Transportation, 2300 South Dirksen Parkway, Springfield, Illinois, 62764. Approval of the estimates and general layout plans should be obtained prior to the commencement of railroad related work. All railroad related work is also subject to approval by the Illinois Commerce Commission (ICC). Final inspection for railroad related work should be coordinated through appropriate IDOT District Bureau of Local Roads and Streets office.
- Plans and preemption times for signal related work that will be interconnected with traffic signals shall be submitted to the ICC for review and approval prior to the commencement of work. Signal related work involving interconnects with state maintained traffic signals should also be coordinated with the IDOT's District Bureau of Operations.
- The LPA is responsible for the payment of the railroad related expenses in accordance with the LPA/railroad agreement prior to requesting reimbursement from IDOT. Requests for reimbursement should be sent to the appropriate IDOT District Bureau of Local Roads and Streets office.
- Engineer's Payment Estimates shall be in accordance with the Division of Cost on page one.
- (15) And certifies to the best of its knowledge and belief its officials:
- (a) are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal department or agency;
  - (b) have not within a three-year period preceding this Agreement been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements receiving stolen property;
  - (c) are not presently indicted for or otherwise criminally or civilly charged by a governmental entity (Federal, State, local) with commission of any of the offenses enumerated in item (b) of this certification; and
  - (d) have not within a three-year period preceding the Agreement had one or more public transactions (Federal, State, local) terminated for cause or default.
- (16) To include the certifications, listed in item 15 above, and all other certifications required by State statutes, in every contract, including procurement of materials and leases of equipment.
- (17) (State Contracts) That execution of this agreement constitutes the LPA's concurrence in the award of the construction contract to the responsible low bidder as determined by the STATE.
- (18) That for agreements exceeding \$100,000 in federal funds, execution of this Agreement constitutes the LPA's certification that:
- (a) No Federal appropriated funds have been paid or will be paid, by or on behalf of the undersigned, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress or any employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any cooperative agreement, and the extension, continuation, renewal, amendment or modification of any Federal contract, grant, loan or cooperative agreement;
  - (b) If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress or an employee of a Member of Congress, in connection with this Federal contract, grant, loan or cooperative agreement, the undersigned shall complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying", in accordance with its instructions;
  - (c) The LPA shall require that the language of this certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants and contracts under grants, loans and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.
- (19) To regulate parking and traffic in accordance with the approved project report.
- (20) To regulate encroachments on public right-of-way in accordance with current Illinois Compiled Statutes.
- (21) To regulate the discharge of sanitary sewage into any storm water drainage system constructed with this improvement in accordance with current Illinois Compiled Statutes.
- (22) To complete this phase of the project within three (3) years from the date this agreement is approved by the STATE if this portion of the project described in the Project Description does not exceed \$1,000,000 (five years if the project costs exceed \$1,000,000).
- (23) To comply with the federal Financial Integrity Review and Evaluation (FIRE) program, which requires States and subrecipients to justify continued federal funding on inactive projects. 23 CFR 630.106(a)(5) defines an inactive project as a project which no expenditures have been charged against Federal funds for the past twelve (12) months.
- To keep projects active, invoicing must occur a minimum of one time within any given twelve (12) month period. However, to ensure adequate processing time, the first invoice shall be submitted to the STATE within six (6) months of the federal authorization date. Subsequent invoices will be submitted in intervals not to exceed six (6) months.
- (24) The LPA will submit supporting documentation with each request for reimbursement from the STATE. Supporting documentation is defined as verification of payment, certified time sheets or summaries, vendor invoices, vendor receipts, cost plus fix fee invoice, progress report, and personnel and direct cost summaries and other documentation supporting the requested reimbursement amount (Form BLRS 05621 should be used for consultant invoicing purposes). LPA invoice requests to the STATE will be submitted with sequential invoice numbers by project.

The LPA will submit to the STATE a complete and detailed final invoice with applicable supporting documentation of all incurred costs, less previous payments, no later than twelve (12) months from the date of completion of this phase of the improvement or from the date of the previous invoice, which ever occurs first. If a final invoice is not received within this time frame, the most recent invoice may be considered the final invoice and the obligation of the funds closed.

- (25) The LPA shall provide the final report to the appropriate STATE district within twelve months of the physical completion date of the project so that the report may be audited and approved for payment. If the deadline cannot be met, a written explanation must be provided to the district prior to the end of the twelve months documenting the reason and the new anticipated date of completion. If the extended deadline is not met, this process must be repeated until the project is closed. Failure to follow this process may result in the immediate close-out of the project and loss of further funding.
- (26) (Single Audit Requirements) That if the LPA expends \$750,000 or more a year in federal financial assistance they shall have an audit made in accordance with 2 CFR 200. LPAs expending less than \$750,000 a year shall be exempt from compliance. A copy of the audit report must be submitted to the STATE (Office of Finance and Administration, Audit Coordination Section, 2300 South Dirksen Parkway, Springfield, Illinois, 62764), within 30 days after the completion of the audit, but no later than one year after the end of the LPA's fiscal year. The CFDA number for all highway planning and construction activities is 20.205.

Federal funds utilized for construction activities on projects let and awarded by the STATE (denoted by an "X" in the State Contract field at the top of page 1) are not included in a LPA's calculation of federal funds expended by the LPA for Single Audit purposes.

- (27) That the LPA is required to register with the System for Award Management or SAM (formerly Central Contractor Registration (CCR)), which is a web-enabled government-wide application that collects, validates, stores, and disseminates business information about the federal government's trading partners in support of the contract award and the electronic payment processes. To register or renew, please use the following website: <https://www.sam.gov/portal/public/SAM/#1>.

The LPA is also required to obtain a Dun & Bradstreet (D&B) D-U-N-S Number. This is a unique nine digit number required to identify subrecipients of federal funding. A D-U-N-S number can be obtained at the following website: <http://fedgov.dnb.com/webform>.

#### THE STATE AGREES:

- (1) To provide such guidance, assistance and supervision and to monitor and perform audits to the extent necessary to assure validity of the LPA's certification of compliance with Titles II and III requirements.
- (2) (State Contracts) To receive bids for the construction of the proposed improvement when the plans have been approved by the STATE (and FHWA, if required) and to award a contract for construction of the proposed improvement, after receipt of a satisfactory bid.
- (3) (Day Labor) To authorize the LPA to proceed with the construction of the improvement when Agreed Unit Prices are approved, and to reimburse the LPA for that portion of the cost payable from Federal and/or State funds based on the Agreed Unit Prices and Engineer's Payment Estimates in accordance with the Division of Cost on page one.
- (4) (Local Contracts) For agreements with Federal and/or State funds in engineering, right-of-way, utility work and/or construction work:
- (a) To reimburse the LPA for the Federal and/or State share on the basis of periodic billings, provided said billings contain sufficient cost information and show evidence of payment by the LPA;
- (b) To provide independent assurance sampling, to furnish off-site material inspection and testing at sources normally visited by STATE inspectors of steel, cement, aggregate, structural steel and other materials customarily tested by the STATE.

#### IT IS MUTUALLY AGREED:

- (1) Construction of the project will utilize domestic steel as required by Section 106.01 of the current edition of the Standard Specifications for Road and Bridge Construction and federal Buy America provisions.
- (2) That this Agreement and the covenants contained herein shall become null and void in the event that the FHWA does not approve the proposed improvement for Federal-aid participation within one (1) year of the date of execution of this Agreement.
- (3) This Agreement shall be binding upon the parties, their successors and assigns.
- (4) For contracts awarded by the LPA, the LPA shall not discriminate on the basis of race, color, national origin or sex in the award and performance of any USDOT – assisted contract or in the administration of its DBE program or the requirements of 49 CFR part 26. The LPA shall take all necessary and reasonable steps under 49 CFR part 26 to ensure nondiscrimination in the award and administration of USDOT – assisted contracts. The LPA's DBE program, as required by 49 CFR part 26 and as approved by USDOT, is incorporated by reference in this Agreement. Upon notification to the recipient of its failure to carry out its approved program, the STATE may impose sanctions as provided for under part 26 and may, in appropriate cases, refer the matter for

enforcement under 18 U.S.C. 1001 and/or the Program Fraud Civil Remedies Act of 1986 (31U.S.C. 3801 et seq.). In the absence of a USDOT – approved LPA DBE Program or on State awarded contracts, this Agreement shall be administered under the provisions of the STATE's USDOT approved Disadvantaged Business Enterprise Program.

- (5) In cases where the STATE is reimbursing the LPA, obligations of the STATE shall cease immediately without penalty or further payment being required if, in any fiscal year, the Illinois General Assembly or applicable Federal Funding source fails to appropriate or otherwise make available funds for the work contemplated herein.
- (6) All projects for the construction of fixed works which are financed in whole or in part with funds provided by this Agreement and/or amendment shall be subject to the Prevailing Wage Act (820 ILCS 130/0.01 et seq.) unless the provisions of that Act exempt its application.

**ADDENDA**

Additional information and/or stipulations are hereby attached and identified below as being a part of this Agreement.

Number 1- Location Map, Number 2 – LPA Appropriation Resolution

(Insert Addendum numbers and titles as applicable)

The LPA further agrees, as a condition of payment, that it accepts and will comply with the applicable provisions set forth in this Agreement and all Addenda indicated above.

**APPROVED**

Local Public Agency

Frank A. Trilla

Name of Official (Print or Type Name)

Mayor

Title (County Board Chairperson/Mayor/Village President/etc.)

(Signature)

Date

The above signature certifies the agency's TIN number is 36-6097046 conducting business as a Governmental Entity.

DUNS Number 932797285

**APPROVED**

State of Illinois  
Department of Transportation

Randall S. Blankenhorn, Secretary

Date

By:

Aaron A. Weatherholt, Deputy Director of Highways

Date

Omer Osman, Director of Highways/Chief Engineer

Date

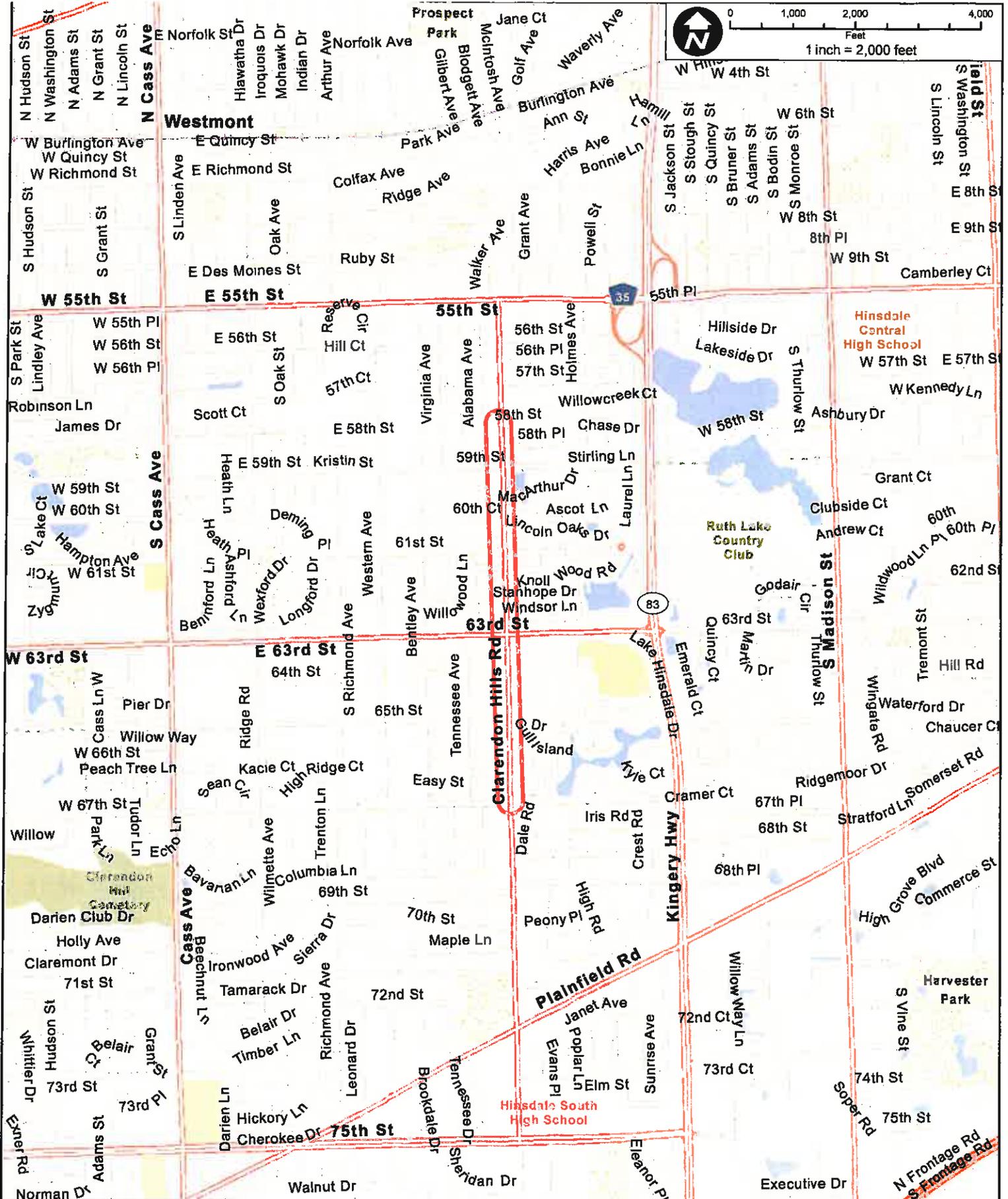
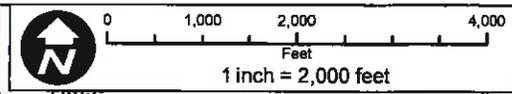
William M. Barnes, Chief Counsel

Date

Jeff Heck, Chief Fiscal Officer (CFO)

Date

**NOTE:** If the LPA signature is by an APPOINTED official, a resolution authorizing said appointed official to execute this agreement is required.



Path: N:\WILLOWBROOK\150469\GIS\Exhibits\Project Location Map.mxd

CLIENT:  **VILLAGE OF WILLOWBROOK**

TITLE: **PROJECT LOCATION MAP**

PROJ. NO. 150469  
 DATE: 08-17-15  
 SHEET 1 OF 1  
 DRAWING NO.

 **CHRISTOPHER B. BURKE ENGINEERING, LTD.**  
 9575 W. Higgins Road, Suite 600 • Rosemont, Illinois 60018 • (847) 823-0500

DSGN.		SCALE:	1:12000
DWN.		AUTHOR:	DWALTERS
CHKD.		PLOT DATE:	8/17/2015
FILE:	Project Location Map		

**EXH**

Local Agency Village of Willowbrook	 <b>Illinois Department of Transportation</b>  <b>Construction Engineering Services Agreement For Federal Participation</b>	<b>C O N S U L T A N T</b>	Consultant Christopher B. Burke Engineering
County DuPage			Address 9575 W. Higgins Road
Section 15-00022-00-RS			City Rosemont
Project No. C-91-088-16			State Illinois
Job No. M-4003(597)			Zip Code 60018
Contact Name/Phone/E-mail Address Tim Halik, PE / (630) 920-2261 thalik@willowbrook.il.us			Contact Name/Phone/E-mail Address Lisa Gasperec / (847) 417-4221 lgasperec@cbbel.com

THIS AGREEMENT is made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2016 between the above Local Agency (LA) and Consultant (ENGINEER) and covers certain professional engineering services in connection with the PROJECT described herein. Federal-aid funds allotted to the LA by the state of Illinois under the general supervision of the Illinois Department of Transportation (STATE) will be used entirely or in part to finance engineering services as described under AGREEMENT PROVISIONS.

WHEREVER IN THIS AGREEMENT or attached exhibits the following terms are used, they shall be interpreted to mean:

<b>Regional Engineer</b>	Deputy Director Division of Highways, Regional Engineer, Department of Transportation
<b>Resident Construction Supervisor In Responsible Charge</b>	Authorized representative of the LA in immediate charge of the engineering details of the PROJECT A full time LA employee authorized to administer inherently governmental PROJECT activities
<b>Contractor</b>	Company or Companies to which the construction contract was awarded

#### Project Description

Name Clarendon Hills Road Route FAU 2663 Length 1.12 mi Structure No. N/A  
Termini 58<sup>th</sup> Street to 67<sup>th</sup> Street

Description: The work consists of 3" Hot-Mix Asphalt Surface Removal replaced by a 1" Hot-Mix Asphalt Leveling Binder Course and 2" Surface Course, as well as minor patching, traffic signal detection loop replacement, spot curb and gutter repair, structure adjustments, frame and lid replacement, defective drainage structure replacement, and ADA improvements.

#### Agreement Provisions

#### I. THE ENGINEER AGREES,

1. To perform or be responsible for the performance of the engineering services for the LA, in connection with the PROJECT hereinbefore described and checked below:
  - a. Proportion concrete according to applicable STATE Bureau of Materials and Physical Research (BMPR) Quality Control/Quality Assurance (QC/QA) training documents or contract requirements and obtain samples and perform testing as noted below.
  - b. Proportion hot mix asphalt according to applicable STATE BMPR QC/QA training documents and obtain samples and perform testing as noted below.
  - c. For soils, to obtain samples and perform testing as noted below.
  - d. For aggregates, to obtain samples and perform testing as noted below.

NOTE: For 1a. through 1d. the ENGINEER is to obtain samples for testing according to the STATE BMPR "Project Procedures Guide", or as indicated in the specifications, or as attached herein by the LA; test according to the STATE BMPR "Manual of Test Procedures for Materials", submit STATE BMPR inspection reports; and verify compliance with contract specifications.

- e. Inspection of all materials when inspection is not provided at the sources by the STATE BMPR, and submit inspection reports to the LA and the STATE in accordance with the STATE BMPR "Project Procedures Guide" and the policies of the STATE.
  - f. For Quality Assurance services, provide personnel who have completed the appropriate STATE BMPR QC/QA trained technician classes.
  - g. Inspect, document and inform the LA employee In Responsible Charge of the adequacy of the establishment and maintenance of the traffic control.
  - h. Geometric control including all construction staking and construction layouts.
  - i. Quality control of the construction work in progress and the enforcement of the contract provisions in accordance with the STATE Construction Manual.
  - j. Measurement and computation of pay items.
  - k. Maintain a daily record of the contractor's activities throughout construction including sufficient information to permit verification of the nature and cost of changes in plans and authorized extra work.
  - l. Preparation and submission to the LA by the required form and number of copies, all partial and final payment estimates, change orders, records, documentation and reports required by the LA and the STATE.
  - m. Revision of contract drawings to reflect as built conditions.
  - n. Act as resident construction supervisor and coordinate with the LA employee In Responsible Charge.
2. Engineering services shall include all equipment, instruments, supplies, transportation and personnel required to perform the duties of the ENGINEER in connection with the AGREEMENT.
  3. To furnish the services as required herein within twenty-four hours of notification by the LA employee In Responsible Charge.
  4. To attend meetings and visit the site of the work at any reasonable time when requested to do so by representatives of the LA or STATE.
  5. That none of the services to be furnished by the ENGINEER shall be sublet, assigned or transferred to any other party or parties without the written consent of the LA. The consent to sublet, assign or otherwise transfer any portion of the services to be furnished by the ENGINEER shall not be construed to relieve the ENGINEER of any responsibility for the fulfillment of this AGREEMENT.
  6. The ENGINEER shall submit invoices, based on the ENGINEER's progress reports, to the LA employee In Responsible Charge, no more than once a month for partial payment on account for the ENGINEER's work completed to date. Such invoices shall represent the value, to the LA of the partially completed work, based on the sum of the actual costs incurred, plus a percentage (equal to the percentage of the construction engineering completed) of the fixed fee for the fully completed work.
  7. That the ENGINEER is qualified technically and is entirely conversant with the design standards and policies applicable to improvement of the SECTION; and that the ENGINEER has sufficient properly trained, organized and experienced personnel to perform the services enumerated herein.
  8. That the ENGINEER shall be responsible for the accuracy of the ENGINEER's work and correction of any errors, omissions or ambiguities due to the ENGINEER'S negligence which may occur either during prosecution or after acceptance by the LA. Should any damage to persons or property result from the ENGINEER's error, omission or negligent act, the ENGINEER shall indemnify the LA, the STATE and their employees from all accrued claims or liability and assume all restitution and repair costs arising from such negligence. The ENGINEER shall give immediate attention to any remedial changes so there will be minimal delay to the contractor and prepare such data as necessary to effectuate corrections, in consultation with and without further compensation from the LA.
  9. That the ENGINEER will comply with applicable federal statutes, state of Illinois statutes, and local laws or ordinances of the LA.
  10. The undersigned certifies neither the ENGINEER nor I have:
    - a) employed or retained for commission, percentage, brokerage, contingent fee or other considerations, any firm or person (other than a bona fide employee working solely for me or the above ENGINEER) to solicit or secure this AGREEMENT;

- b) agreed, as an express or implied condition for obtaining this AGREEMENT, to employ or retain the services of any firm or person in connection with carrying out the AGREEMENT or
  - c) paid, or agreed to pay any firm, organization or person (other than a bona fide employee working solely for me or the above ENGINEER) any fee, contribution, donation or consideration of any kind for, or in connection with, procuring or carrying out the AGREEMENT.
  - d) are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal department or agency;
  - e) have not within a three-year period preceding the AGREEMENT been convicted of or had a civil judgment rendered against them for commission of fraud or criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State or local) transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
  - f) are not presently indicted for or otherwise criminally or civilly charged by a government entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (e) of this certification; and
  - g) have not within a three-year period preceding this AGREEMENT had one or more public transactions (Federal, State or local) terminated for cause or default.
11. To pay its subconsultants for satisfactory performance no later than 30 days from receipt of each payment from the LA.
  12. To submit all invoices to the LA within one year of the completion of the work called for in this AGREEMENT or any subsequent Amendment or Supplement.
  13. To submit BLR 05613, Engineering Payment Report, to the STATE upon completion of the work called for in the AGREEMENT.
  14. To be prequalified with the STATE in Construction Inspection when the ENGINEER or the ENGINEER's assigned staff is named as resident construction supervisor. The onsite resident construction supervisor shall have a valid Documentation of Contract Quantities certification.
  15. Will provide, as required, project inspectors that have a valid Documentation of Contract Quantities certification.

**II. THE LA AGREES,**

1. To furnish a full time LA employee to be In Responsible Charge authorized to administer inherently governmental PROJECT activities.
2. To furnish the necessary plans and specifications.
3. To notify the ENGINEER at least 24 hours in advance of the need for personnel or services.
4. To pay the ENGINEER as compensation for all services rendered in accordance with this AGREEMENT, on the basis of the following compensation formulas:

**Cost Plus Fixed Fee Formulas**

- FF = 14.5%[DL + R(DL) + OH(DL) + IHDC], or
- FF = 14.5%[(2.3 + R)DL + IHDC]

Where: DL = Direct Labor  
 IHDC = In House Direct Costs  
 OH = Consultant Firm's Actual Overhead Factor  
 R = Complexity Factor  
 FF=Fixed Fee  
 SBO = Services by Others

Total Compensation = DL +IHDC+OH+FF+SBO

Specific Rate  (Pay per element)

Lump Sum  \_\_\_\_\_

5. To pay the ENGINEER using one of the following methods as required by 49 CFR part 26 and 605 ILCS 5/5-409:

With Retainage

- a) **For the first 50% of completed work**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to 90% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- b) **After 50% of the work is completed**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LA, monthly payments covering work performed shall be due and payable to the ENGINEER, such payments to be equal to 95% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- c) **Final Payment** – Upon approval of the work by the LA but not later than 60 days after the work is completed and reports have been made and accepted by the LA and the STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.

Without Retainage

- a) **For progressive payments** – Upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- b) **Final Payment** – Upon approval of the work by the LA but not later than 60 days after the work is completed and reports have been made and accepted by the LA and STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.

6. The recipient shall not discriminate on the basis on the basis of race, color, national origin or sex in the award and performance of any DOT-assisted contract or in the administration of its DBE program or the requirements of 49 CFR part 26. The recipient shall take all necessary and reasonable steps under 49 CFR part 26 to ensure nondiscrimination in the award and administration of DOT-assisted contracts. The recipient's DBE program, as required by 49 CFR part 26 and as approved by DOT, is incorporated by reference in this agreement. Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as violation of this agreement. Upon notification to the recipient of its failure to carry out its approved program, the Department may impose sanctions as provided for under part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and/or the Program Fraud Civil Remedies Act of 1986 (31U.S.C. 3801 et seq.).

7. To submit approved form BC 775 (Exhibit C) and BC 776 (Exhibit D) with this AGREEMENT.

### III. It is Mutually Agreed,

- 1. That the ENGINEER and the ENGINEER's subcontractors will maintain all books, documents, papers, accounting records and other evidence pertaining to cost incurred and to make such materials available at their respective offices at all reasonable times during the AGREEMENT period and for three years from the date of final payment under this AGREEMENT, for inspection by the STATE, Federal Highway Administration or any authorized representatives of the federal government and copies thereof shall be furnished if requested.
- 2. That all services are to be furnished as required by construction progress and as determined by the LA employee In Responsible Charge. The ENGINEER shall complete all services specified herein within a time considered reasonable to the LA, after the CONTRACTOR has completed the construction contract.
- 3. That all field notes, test records and reports shall be turned over to and become the property of the LA and that during the performance of the engineering services herein provided for, the ENGINEER shall be responsible for any loss or damage to the documents herein enumerated while they are in the ENGINEER's possession and any such loss or damage shall be restored at the ENGINEER's expense.
- 4. That this AGREEMENT may be terminated by the LA upon written notice to the ENGINEER, at the ENGINEER's last known address, with the understanding that should the AGREEMENT be terminated by the LA, the ENGINEER shall be paid for any services completed and any services partially completed. The percentage of the total services which have been rendered by the ENGINEER shall be mutually agreed by the parties hereto. The fixed fee stipulated in numbered paragraph 4d of Section II shall be multiplied by this percentage and added to the ENGINEER's actual costs to obtain the earned value of work performed. All field notes, test records and reports completed or partially completed at the time of termination shall become the property of, and be delivered to, the LA.
- 5. That any differences between the ENGINEER and the LA concerning the interpretation of the provisions of this AGREEMENT shall be referred to a committee of disinterested parties consisting of one member appointed by the ENGINEER, one member appointed by the LA, and a third member appointed by the two other members for disposition and that the committee's decision shall be final.
- 6. That in the event the engineering and inspection services to be furnished and performed by the LA (including personnel furnished by the ENGINEER) shall, in the opinion of the STATE be incompetent or inadequate, the STATE shall have the right to supplement the engineering and inspection force or to replace the engineers or inspectors employed on such work at the expense of the LA.

7. That the ENGINEER has not been retained or compensated to provide design and construction review services relating to the contractor's safety precautions, except as provided in numbered paragraph 1f of Section I.
8. This certification is required by the Drug Free Workplace Act (30ILCS 580). The Drug Free Workplace Act requires that no grantee or contractor shall receive a grant or be considered for the purpose of being awarded a contract for the procurement of any property or service from the State unless that grantee or contractor will provide a drug free workplace. False certification or violation of the certification may result in sanctions including, but not limited to, suspension of contract or grant payments, termination of a contract or grant and debarment of contracting or grant opportunities with the State for at least one (1) year but no more than five (5) years.

For the purpose of this certification, "grantee" or "contractor" means a corporation, partnership or other entity with twenty-five (25) or more employees at the time of issuing the grant, or a department, division or other unit thereof, directly responsible for the specific performance under a contract or grant of \$5,000 or more from the State, as defined in the Act.

The contractor/grantee certifies and agrees that it will provide a drug free workplace by:

- (a) Publishing a statement:
  - (1) Notifying employees that the unlawful manufacture, distribution, dispensing, possession or use of a controlled substance, including cannabis, is prohibited in the grantee's or contractor's workplace.
  - (2) Specifying the actions that will be taken against employees for violations of such prohibition.
  - (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will:
    - (A) abide by the terms of the statement; and
    - (B) notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.
- (b) Establishing a drug free awareness program to inform employees about:
  - (1) the dangers of drug abuse in the workplace;
  - (2) the grantee's or contractor's policy of maintaining a drug free workplace;
  - (3) any available drug counseling, rehabilitation and employee assistance program; and
  - (4) the penalties that may be imposed upon an employee for drug violations.
- (c) Providing a copy of the statement required by subparagraph (a) to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.
- (d) Notifying the contracting or granting agency within ten (10) days after receiving notice under part (B) of paragraph (3) of subsection (a) above from an employee or otherwise receiving actual notice of such conviction.
- (e) Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by, any employee who is convicted, as required by section S of the Drug Free Workplace Act.
- (f) Assisting employees in selecting a course of action in the event drug counseling, treatment and rehabilitation is required and indicating that a trained referral team is in place.
- (g) Making a good faith effort to continue to maintain a drug free workplace through implementation of the Drug Free Workplace Act.

9. The ENGINEER or subconsultant shall not discriminate on the basis of race, color, national origin or sex in the performance of this AGREEMENT. The ENGINEER shall carry out applicable requirements of 49 CFR part 26 in the administration of DOT-assisted contracts. Failure by the ENGINEER to carry out these requirements is a material breach of this AGREEMENT, which may result in the termination this AGREEMENT or such other remedy as the LA deems appropriate.







# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

A MOTION TO APPROVE APPLICATION FOR A LICENSE TO HOLD A RAFFLE – WILLOWBROOK/BURR RIDGE CHAMBER OF COMMERCE

**AGENDA NO.****5i****AGENDA DATE:** 1/11/16**STAFF REVIEW:** Cindy Stuchl**SIGNATURE:** Cindy Stuchl**LEGAL REVIEW:** Thomas Bastian**SIGNATURE:** THOMAS BASTIAN JR**RECOMMENDED BY VILLAGE ADMIN.:****SIGNATURE:** T. Hold**REVIEWED & APPROVED BY COMMITTEE:** YES  N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

The Willowbrook/Burr Ridge Chamber of Commerce submitted an application to hold a raffle at their fund raising event that occasionally gets held at their monthly Chamber meetings. These events are held throughout the year at Ashton Place, 341 W. 75<sup>th</sup> Street.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)**

This is the fifth application for this organization.

**ACTION PROPOSED:** Approve Application to hold a Raffle.



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## LICENSE TO HOLD A RAFFLE

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton

1. The name of the Licensee:  
Willowbrook/Burr Ridge Chamber of Commerce
2. The aggregate retail value of all prizes or merchandise awarded by the licensee in a single raffle.  
Split the Pot Raffle & various donated items
3. The maximum retail value of each prize awarded by the licensee in a single raffle.  
\$500.00
4. The maximum price which may be charged for each raffle chance issued or sold.  
1 for \$5.00, 3 for \$10.00, 7 for \$20.00
5. The maximum number of days during which chances may be issued or sold.  
DNA
6. The date on which the drawing is to be held.  
May 4 & June 1, 2016
7. The place at which the drawing is to be held.  
Ashton Place, 341 W. 75<sup>th</sup> Street

APPROVED BY THE MAYOR AND BOARD OF TRUSTEES AT THEIR SPECIAL MEETING HELD ON THE 11<sup>th</sup> DAY OF January, 2016.

Leroy R. Hansen  
Village Clerk



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

2016

835 Midway Drive  
Willowbrook, IL 60527-5594

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## APPLICATION FOR LICENSE TO HOLD A RAFFLE

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton

- Name, age and address of the applicant in the case of an individual or in such other case of the duly authorized representative of the applicant, the date of incorporation of any corporation, the date of formation of any other organization, the object for which an organization or corporation was formed, the names and addresses of the officers and directors of any organization or corporation.

Name	Address	Age
DOBBIE JACKSON	WATERLOGIC	PRES
CHARL LYONS	PETALS + LYONS	VP
JOE STASTNY	MPS	TREAS
LINDSEY POLZIN	WINTG SURGI / STEWART KENTON	SECRET

Date of incorporation, if corporation: 1984  
 Date of formation of organization: 1982  
 Object for which organization or corporation was formed: CHAMBER OF COMMERCE

- The area or areas within the Village in which raffle chances will be sold or issued and the time period during which raffle chances will be sold or issued.  
ASHTON PLACE, MAY 4, JUNE 1, 2016
- The date on which the drawing is to be held  
ABOVE
- The place at which the drawing is to be held.  
ABOVE
- Has the applicant ever been convicted of a felony and been disqualified to receive a license by reason of any matter or thing contained in Chapter 3-17 of the Village of Willowbrook Code of Ordinances, laws of the State or of the United States of America.

Yes: \_\_\_\_\_ No: X

If yes, explain: \_\_\_\_\_



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Illinois Route 66 Scenic Byway

6. The aggregate retail value of all prizes or merchandise awarded by the licensee in a single raffle.

SPIT THE POT RAFFLE  
VARIOUS DONATED ITEMS

7. The maximum retail value of each prize awarded by the licensee in a single raffle.

\$500.00

8. The maximum price which may be charged for each raffle chance issued or sold.

1 FOR \$5.00, 3 FOR \$10.00, 7 FOR \$20.00

9. Has a previous license issued by any state or subdivision thereof or by the Federal government ever been revoked:

Yes: \_\_\_\_\_

No: X

If yes, state reasons: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10. Affirm that the applicant will not violate any of the laws of the State or of the United States or any ordinances of this Village in the conduct of raffles.

YES

11. Affirm that the applicant will not allow gambling devices or gambling on the premises where the drawing will be held.

YES

12. Attach a sworn statement attesting to the not-for-profit character of the prospective licensee organization signed by the presiding officer and secretary of that organization.

Signature: [Handwritten Signature]

Date: 12-10-15

PRESIDENT



**2015 OFFICERS  
AND BOARD  
OF DIRECTORS**

**PRESIDENT**

Debbie Jackson  
Waterlogic

**VICE PRESIDENT**

Christopher P. Lyons  
Peters & Lyons, Ltd

**SECRETARY**

Lindsey Polzin  
Wine Sergi/Stewart-  
Keator

**TREASURER**

Joseph J. Stastny  
Mulcahy, Pauritsch,  
Salvador & Co., Ltd

**PAST PRESIDENT**

Rita Farrell  
Law Office of  
Rita A. Farrell

**BOARD MEMBERS:**

Joe Chlada  
Legacy Professionals

Debra Hamilton  
Rock Valley  
Publishing

Brad Kmetz  
G. James Kmetz

Diane Konicek  
Unique Balloon  
Decorating

Denise Marchetti  
Mutual of Omaha

Torrence Riley  
Costco Wholesale

Mike Schultz  
Turtle Wax, Inc.

Mark Shelton  
Willowbrook Police  
Department

Lisa J. Shemroske  
Tri-S Recruiters

Zaklina Trpenovski  
Srbino Real Estate  
Management

**WILLOWBROOK/BURR RIDGE  
CHAMBER OF COMMERCE AND INDUSTRY**  
8300 South Madison Street, Burr Ridge, Illinois 60527  
Tel 630.654.0909 Fax 630.654.0922  
[www.wbbrchamber.org](http://www.wbbrchamber.org)

December 10, 2015

RECEIVED

DEC 14 2015

VILLAGE OF  
WILLOWBROOK

Mr. Timothy Halik, Village Administrator  
Village of Willowbrook  
7760 South Quincy Street  
Willowbrook, IL 60527

Dear Tim:

The Willowbrook Burr Ridge Chamber of Commerce and Industry occasionally holds raffles, i.e. split the pot, at our business meeting luncheons and at different events throughout the year. In that we often have our meetings and different events within the Village of Willowbrook, we would like to request consideration of a Village of Willowbrook raffle license that would encompass the entire 2016 calendar year. Enclosed please find a completed Raffle License Application.

Thank you for your consideration of our request. As usual we are grateful for the continuing cooperation between the local businesses and the Village of Willowbrook. Please do not hesitate to call us with any questions.

Respectfully submitted,

Debbie Jackson, President

mp



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

**Mayor**

Frank A. Trilla

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Gayle Neal

Paul Oggerino

**Village Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 08, 2015

BROWN, ANNIE L.  
320 W 79TH ST  
WILLOWBROOK, IL 60527

Re: Account 110050.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 211.83. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

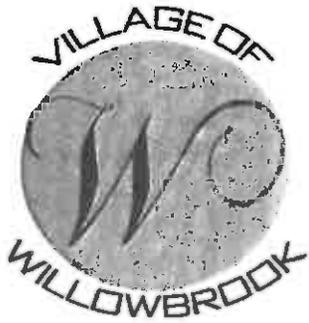
If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

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Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 08, 2015

BUDZIK, GARY  
7915 WILLIAM DR  
WILLOWBROOK, IL 60527

Re: Account 113160.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 239.62. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

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Mark Shelton

**Director of Finance**

Carrie Dittman

CANO, MARYBETH  
6631 WEATHER HILL DR  
WILLOWBROOK, IL 60527

Re: Account 112275.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 399.76. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

# Willowbrook

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**Director of Finance**

Carrie Dittman

December 08, 2015

COOPER, PATRICIA  
222 MIDWAY DR  
WILLOWBROOK, IL 60527

Re: Account 112125.004  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 309.69. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

# Willowbrook

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**Director of Finance**

Carrie Dittman

December 08, 2015

HEALY, MARION  
332 SHERIDAN DR #1C  
WILLOWBROOK, IL 60527

Re: Account 110860.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 115.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

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Finance**

Carrie Dittman

December 08, 2015

KEGALY, JOHN  
827 EMERALD CT  
WILLOWBROOK, IL 60527

Re: Account 152825.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 174.02. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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Proud Member of the  
Illinois Route 66 Scenic Byway

December 08, 2015

KOZLA, CINDY  
326 SHERIDAN DR #2D  
WILLOWBROOK, IL 60527

Re: Account 110825.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 257.42. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

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Mark Shelton

**Director of Finance**

Carrie Dittman

December 08, 2015

LANE, CLYDE & GORDON, CHIQUITA  
334 SHERIDAN DR # 2A  
WILLOWBROOK, IL 60527

Re: Account 110875.014  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 302.77. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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Carrie Dittman

December 08, 2015

LEONE, ROBERT  
7630 ELEANOR PL  
WILLOWBROOK, IL 60527

Re: Account 111395.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 195.19. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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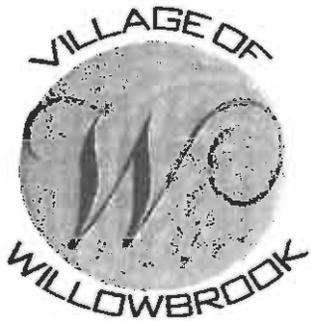
If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

MASCHIO, FRANCES  
7505 SHERIDAN DR #3B  
WILLOWBROOK, IL 60527

Re: Account 111935.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 242.94. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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**Director of  
Finance**

Carrie Dittman

December 08, 2015

ORZECHOWSKI, LEONARD  
7803 BLACKBERRY LN  
WILLOWBROOK, IL 60527

Re: Account 110425.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 107.09. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

**Mayor**

Frank A. Trilla

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Gayle Neal

Paul Oggerino

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Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 08, 2015

OSMAN, BASSAM  
229 W 75TH ST  
WILLOWBROOK, IL 60527

Re: Account 111295.008  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 732.80. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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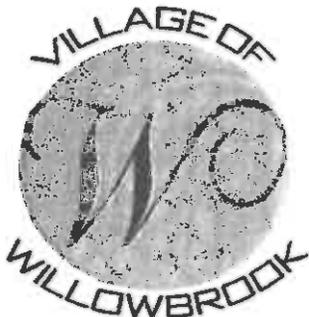
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Carrie Dittman

December 08, 2015

PANZARELLA, MELINDA  
256 WEATHER HILL DR  
WILLOWBROOK, IL 60527

Re: Account 112340.007  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 132.87. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Carrie Dittman

December 08, 2015

QUIRKE, DAVE  
106 79TH ST  
WILLOWBROOK, IL 60527

Re: Account 111950.005  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 130.41. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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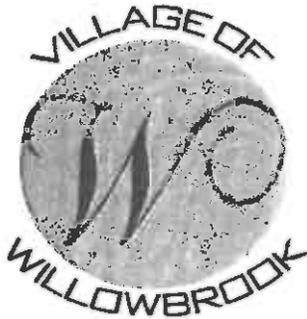
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Carrie Dittman

December 08, 2015

RACEALA, JOHN  
6322 BRETON LAKES DR  
WILLOWBROOK, IL 60527

Re: Account 152930.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 235.18. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Carrie Dittman

December 08, 2015

RADECKI, DANIELLE  
7610 ARLENE AVE  
WILLOWBROOK, IL 60527

Re: Account 111225.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 160.37. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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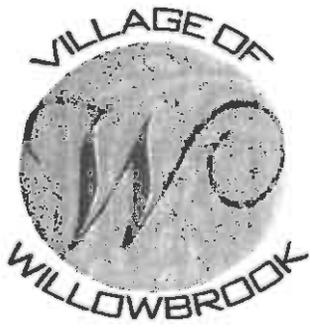
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Carrie Dittman



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December 08, 2015

SAUCEDO, JOHNNY  
230 MIDWAY DR  
WILLOWBROOK, IL 60527

Re: Account 111690.003  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 185.69. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Carrie Dittman

December 08, 2015

SIDDU, PHILIP & RUMSA, ALEXAND  
7505 SHERIDAN DR # 3A  
WILLOWBROOK, IL 60527

Re: Account 111940.004  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 313.02. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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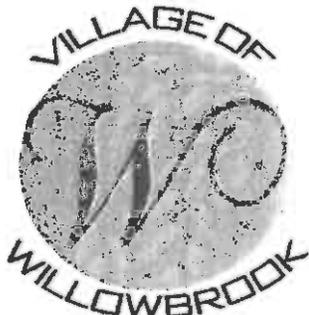
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Director of Municipal Services



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**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 08, 2015

STRAUCH, ANNALIESE  
75 W 75TH ST  
WILLOWBROOK, IL 60527

Re: Account 111230.008  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 115.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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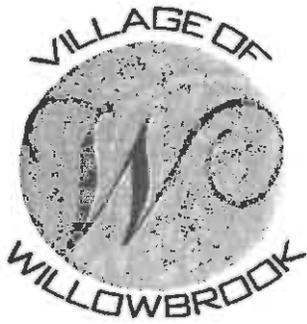
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Carrie Dittman

December 08, 2015

TEMEN, KENNETH  
413 W 79TH ST  
WILLOWBROOK, IL 60527

Re: Account 110120.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 202.93. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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**Director of Finance**

Carrie Dittman

December 08, 2015

VALDEZ, RODOLFO/SALGADO, LORENA  
7527 ELEANOR PL  
WILLOWBROOK, IL 60527

Re: Account 111235.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 435.58. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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Carrie Dittman

December 08, 2015

WILLOWBROOK INN  
255 SHELLEY RD  
ELK GROVE VILLAGE, IL 60007

Re: Account 410295.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 4,405.00. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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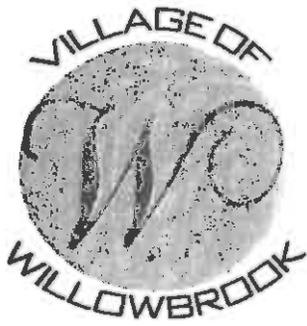
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Carrie Dittman

December 08, 2015

WORLDWIDE TRANSMISSION GROUP  
585 EXECUTIVE DR  
WILLOWBROOK, IL 60527

Re: Account 410210.004  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 368.81. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 16, 2016, will result in the immediate termination of your water service.

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# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

PC 15-06: (ROC Willowbrook, LLC): An ordinance approving a Preliminary and Final Plat of Subdivision and Granting a Special Use Permit for Preliminary and Final Plat of PUD, including waivers from the Zoning Ordinance.

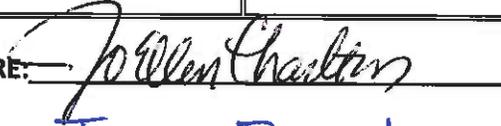
### AGENDA NO.

7

AGENDA DATE: 1/11/16

**STAFF REVIEW:** Jo Ellen Charlton,  
Planning Consultant

**SIGNATURE:**



**LEGAL REVIEW:** Tom Bastian

**SIGNATURE:**



**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:**



### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

On November 4, 2015, the Plan Commission held the public hearing to consider a request for a special use that includes approval of a plat of subdivision, a special use for a Planned Unit Development and other relief to allow the construction of two new buildings on vacant property located on the northeast corner of Quincy and Executive Drive. On November 23, 2015, the Village Board remanded the case back to the Plan Commission and requested a new recommendation that included necessary findings of fact. The Plan Commission discussed this request again at their December 2, 2015 meeting, including the concerns raised by the Village Board. The Village Board considered an ordinance approving the request at their December 14, 2015 meeting. At that meeting, the Village Board expressed concerns about the overall density (specifically the need to increase the building setback along Quincy), the lack of architectural details on both buildings, and concerns about not having a masonry enclosed dumpster area. The applicant was asked to consider changes that would address these issues before taking a formal Village Board vote.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Trustee Mistele and Village Staff met with the applicant after the Village Board's December 14, 2015 meeting to discuss possible changes to the plans. At that meeting, the applicant agreed to increase the Quincy building setback from 30' to 40', to add architectural details to the north building that provide a brick pattern stamp in the lower half of the pre-cast panels (excluding the east elevation), too add windows to all elevations of the south building, and to provide an outdoor masonry enclosure area for the dumpster.

The revised plans included with the attached ordinance include all the changes agreed to at the meeting with Trustee Mistele and staff.

### ACTION PROPOSED:

Consideration to approve the attached ordinance as modified to reflect changes requested by the Village Board at their December 14, 2015 meeting.

ORDINANCE NUMBER 16-O-\_\_\_\_\_  
AN ORDINANCE APPROVING A PRELIMINARY AND FINAL  
PLAT OF SUBDIVISION, AND  
GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL  
PLAT OF PUD,  
INCLUDING WAIVERS FROM THE ZONING ORDINANCE

PC 15-06: 7501-7601 Quincy/ROC PUD

---

**WHEREAS**, on or about March 4, 2015, Doug Riccolo and Mike Siurek as applicants ("APPLICANTS") and authorized agents for ROC WBCS LLC as owners ("OWNERS") filed an application with the Village of Willowbrook with respect to the property legally described in Exhibit "A" attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY"); and,

**WHEREAS**, said application requested that the Village approve a Preliminary and Final Plat of Subdivision, grant a special use permit for a Preliminary and Final Plat of Planned Unit Development, and grant certain waivers from the requirements of the Zoning Ordinance of the Village; and

**WHEREAS**, Notice of Public Hearing on said application was published on or about October 16, 2015, in The Suburban Life, being a newspaper of general circulation within the Village of Willowbrook, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

**WHEREAS**, pursuant to said Notice, the Plan Commission of the Village conducted a Public Hearing on said application on or about

November 4, 2014, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

**WHEREAS**, at said Public Hearing, the applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

**WHEREAS**, the recommendation of the Plan Commission, including its Findings of Fact, was forwarded to the Mayor and Board of Trustees on December 2, 2015, a copy of which is attached hereto as Exhibit "B" and by this reference, made a part hereof; and,

**WHEREAS**, at their meeting on December 2, 2015, the Mayor and Board of Trustees discussed modifications that would decrease density by increasing the Quincy Avenue setback from thirty feet (30') to forty feet (40'), that would add an outdoor masonry enclosure for garbage, and that would provide for additional architectural details on both buildings; and

**WHEREAS**, on December 29, 2015, APPLICANTS submitted revised plans to address the modifications discussed by the Mayor and Board of Trustees at their December 2, 2015 meeting; and

**WHEREAS**, the Mayor and Board of Trustees now determine it would be in the best interest of the Village to approve the Preliminary and Final Plat of Subdivision and grant a special use for a Preliminary and Final Planned Unit Development, including certain

waivers from the requirements of the Zoning Ordinance, subject to the terms and conditions established by this Ordinance

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

**SECTION ONE:** That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-8-2(A) of the Zoning Ordinance of the Village of Willowbrook, for a Planned Unit Development.

**SECTION TWO:** That pursuant to Section 9-13-6(K), the Mayor and Board of Trustees hereby find that the construction of a self-storage facility use in two (2) buildings on Lot 1 on the SUBJECT REALTY is consistent with the objectives of the Planned Unit Development provisions of the Zoning Ordinance and is hereby approved.

**SECTION THREE:** That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted:

- A. An exception from Section 9-8-3(D) (1) for a reduction in the required front yard building setback from Executive on Lot 1 from forty feet (40') to thirty feet (30').
- B. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to five feet (5') on the east side of Lot 1 between a fire lane and the east property line.

- C. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to zero feet (0') along the common lot line between Lot 1 and Lot 2.
- D. An exception from Section 9-10-5L2(B)(2)(C) for a reduction in the minimum distance between a driveway and a lot line from seventy feet (70') to five feet (5') between the proposed fire lane and the east lot line of Lot 1.
- E. An exception from Section 9-14-2.23(B)3(d) for a reduction in the amount of foundation landscaping in accordance with the Approved Plans.
- F. An exception from Section 9-10-4(H) for a reduction in the number of loading spaces on Lot 1 from two (2) to zero (0).
- G. An exception from Section 9-10-5(L)(2)(b)(2)(C) for a reduction in the distance between a driveway center line and a lot line from seventy feet (70') to twenty-two and one half feet (22.5') for the fire lane as it relates to the east line of Lot 1.
- H. An exception from the landscaping provisions of Title 9 for a reduction in the landscaping requirements per the Approved Plans.

**SECTION FOUR:** That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted to the extent that said findings support the modifications recommended by the Mayor and Board of Trustees at their December 2, 2015 meeting and included in the APPROVED PLANS described infra.

**SECTION FIVE:** That a Parking Easement Agreement, substantially in the form as attached hereto as Exhibit "C", is hereby approved

and shall be recorded by the APPLICANTS prior to the issuance of any construction permits.

**SECTION SIX:** That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Subdivision for "ROC Industrial Subdivision", as prepared by Harrington Land Surveying Ltd and attached hereto as Exhibit "D", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

**SECTION SEVEN:** That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Planned Unit Development for "ROC Industrial PUD", as prepared by Harrington Land Surveying Ltd. and attached hereto as Exhibit "E", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

**SECTION EIGHT:** That the approvals granted in Sections 1, 2, 3, and 7 of this Ordinance are expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

- A. That all construction, use, development and maintenance of the site be in substantial accordance with the following approved plans ("APPROVED PLANS"), attached hereto as Exhibit "F", except as may be modified by the conditions

infra, or as required by the Village Engineer or Village Administrator for compliance with Village Codes prior to the issuance of any construction permits:

1. Color Elevations (1 Sheet) hand dated December 29, 2015.
  2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
  3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
  4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
  5. Building B details, prepared by Koziol Engineering Services, consisting of Sheets A0.0, A1.0, A1.1, A1.2, A2.0, A2.1, A2.2, and latest revision dated December 23, 2015, except that floor plan details shall be revised to show windows on four sides as indicated on the elevation plans.
  6. Final Engineering, prepared by Koziol Engineering Services, consisting of Sheets C-0 through C-13, and latest revision dated December 28, 2015.
- B. Approved uses on Lot 1 are restricted to self-storage uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
- C. The overhead doors visible on Building A from Quincy and on Building B from Executive Drive shall only be used as a means of egress out of the buildings, with no ability for customer to activate these doors from outside the buildings. Ingress into Building A shall only be from the east side of the building, and ingress into Building B shall only be from the north side of the building.
- D. Tenant parking requirements for the building on Lot 2 shall be measured to include the 237 parking spaces on Lot 2 plus

the 53 parking spaces in the northern most parking lot on Lot 1.

- E. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify the use of "10" pre-cast panels with painted reveal accent stripes" on all sides of Building A and Building B.
- F. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify a brick pattern stamp in the lower half of the pre-cast panels for Building A as shown in the Color Elevation, excluding the east elevation
- G. No building permits shall be issued unless final plan documents provide details that show building material colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator.
- H. Storefront windows along the Quincy Frontage of Building A shall be lit so as not to exceed lighting standards in the Zoning Ordinance, and the color of doors visible through these windows shall be only one color, to be approved by the Village Administrator.
- I. The dumpster enclosure shall be masonry and shall appear similar to the color and style of Building B. It shall be placed upon a frost proof foundation.
- J. There shall be no outdoor storage of any kind.
- K. There shall be no retail sales except for retail sales of moving boxes or other moving/storage supplies that are stored inside from the office located in the southwest corner of Building A.
- L. There shall be no dispensing of gasoline.
- M. There shall be no servicing of vehicles on the site.
- N. Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent

property, in compliance with the requirements of section 9-9-8 of this title.

- O. All mechanical equipment shall be located on the roof, and except for the area above the proposed office area in Building A, no mechanical equipment shall be located closer than 30' to a building edge. Any mechanical equipment above the office area in Building A that is taller than the parapet extension in that area shall be screened as approved by the Village Administrator.
- P. Wall signs shall conform to the requirements of Title 9, Chapter 11 of the Village Code.
- Q. Construction permits may not be issued prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats.
- R. Prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats, the APPLICANT shall supply the Village with a letter of credit in the amount equal to 125% of the engineer's estimate of cost to be approved by the Village Engineer on a form approved by the Village Attorney.

**SECTION NINE:** That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION TEN:** That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 11th day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES:

\_\_\_\_\_

NAYS:

\_\_\_\_\_

ABSTENTIONS:

\_\_\_\_\_

ABSENT:

\_\_\_\_\_

EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 1 AND 2 IN PLAZA COURT ASSESSMENT PLAT, BEING AN ASSESSMENT DIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAZA COURT ASSESSMENT PLAT RECORDED FEBRUARY 26, 2004 AS DOCUMENT R2004-052460, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-403-027-0000 and 09-26-403-028-0000

COMMONLY KNOWN AS: 7501 and 7601 S. Quincy St., Willowbrook, IL 60527

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION  
AND  
FINDINGS OF FACT

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor  
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: December 2, 2015

SUBJECT: Zoning Hearing Case 15-06: (ROC WILLOWBROOK LLC - 7501-7601 Quincy) Consideration of a motion to approve a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD.

At the regular meeting of the Plan Commission held on December 2, 2015, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Remkus, seconded by Commissioner Lacayo that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings for special use and planned unit development referenced in the staff report for PC 15-06 prepared for the December 2, 2015 meeting (attached to the end of this memo) and recommend to the Village Board approval of the relief associated with PC 15-06 including a preliminary and final plat of subdivision, approval of a special use for a preliminary and final planned unit development, including exceptions outlined in exhibit 2 of the December 2, 2015 staff report, and other relief as may be necessary to accommodate proposed project, subject to the following conditions:

1. That the approval be in substantial compliance with the list of documents approved for PC 15-06 on December 2, 2015 meeting

for PC 15-06, except as modified or required by all required changes or proposed conditions of approval identified in sections 2 and 3 respectively of the staff report for PC 15-06 except that Required Change Number 1 in Section 2 will not require a shade tree in the one island that contains a light pole, and except as may be required for compliance with the requirements of the village engineer or the building inspector as part of the building permit review process.

2. Compliance at all times with the conditions of approval identified in Section 3 of the December 2, 2015 staff report for PC 15-06, except as discussed at the meeting, which is as follows:

- a. Condition Number 5 shall be revised to identify 53 instead of 29 parking spaces in Lot 2, and eliminate the words "only as long as the use on Lot 1 is for self-storage".
- b. Condition Number 6 shall be revised to require the 10" pre-cast panels with painted reveal accent stripes only on the west elevation of Building A and only on the west and south elevations of Building B, which are the elevations visible to Quincy and Executive Drive.
- c. Condition Number 18 is removed as it was a run-on error in the staff report.

ROLL CALL: AYES: Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, and Vice-Chairman Wagner; RECUSED: Chairman Kopp. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

Exhibit B Continued

STANDARDS AND FINDINGS OF FACT

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the required standards is provided below, along with "findings" provided in *italics*.

Special Use Standards.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

*Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.*

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.  
*The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.*

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

*This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.*

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

*The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.*

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

*Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Given the unique characteristics of this use, a major change to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.*

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

*Except as modified in Section 3 of this Ordinance, the project will comply with the applicable regulations of the M-1 Zoning District.*

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-0-05, 1-27-1997)

*The Village Board has not considered any special use permit on this property in the last year.*

## Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

*If designed with the conditions included in Section 8 of this Ordinance, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy is added to be consistent with the Comprehensive Plan.*

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

*The proposed development contains 15.434 acres.*

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

*Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of the pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of a storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overly commercialized appearance, which may have a negative influence on surrounding industrial properties.*

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

*Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since change to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.*

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

*The buildings are one story and there is a 32.74' separation between the buildings*

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

*The proposed project meets this requirement.*

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

*Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allowing access and parking to 53 parking spaces on Lot 1.*

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

*Access is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.*

- (I) *Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.*

*While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.*

- (J) *Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.*

*No variations to the Willowbrook Subdivision regulations are required.*

- (K) *Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.*

*The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the conditions outlined in Section 8 of this Ordinance.*

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

*Minor exceptions are incorporated into the PUD as identified in the staff report prepared for the December 2, 2015 meeting, however the development does comply with standards A, B, C, D, H, I and K as required.*

#### **Planned Unit Development Findings**

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

*The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 53 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.*

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

*The PUD meets the standards as identified above.*

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

*The PUD includes exceptions as identified in Section 3 of this Ordinance.*

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

*The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.*

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

*The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenants" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.*

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

*The proposed plan promotes new development in compliance with Zoning Ordinance requirements and will bring new people to the*

area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

*The plan conforms to the spirit and intent of the Village's current planning objectives if developed as recommended by the Plan Commission.*

**EXHIBIT "C"**  
**PARKING EASEMENT AGREEMENT**

RECEIVED

JUL 29 2015

VILLAGE OF WILLOWBROOK  
BUILDING & ZONING DIVISION

**PARKING  
EASEMENT AGREEMENT**

THIS PARKING EASEMENT AGREEMENT ("Agreement") is made as of June \_\_\_\_, 2015 by and between ROC Willowbrook LLC, an Illinois limited liability company ("Tract 1 Owner"), and ROC WBCS II LLC, a Delaware limited liability company ("Tract 2 Owner").

**RECITALS:**

A. Tract 1 Owner is the owner of that certain tract of land known as Lot 1 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 1"), as more particularly described on Exhibit A.

B. Tract 2 Owner is the owner of that certain tract of land known as Lot 2 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 2"), as more particularly described on Exhibit A.

C. Tract 2 Owner desires to receive from Tract 1 Owner and Tract 1 Owner is willing to grant to Tract 2 Owner a nonexclusive easement over, across and upon that portion of Tract 1 (the "Easement Area") cross-hatched on the site plan attached hereto as Exhibit B and made a part hereof, as the same may exist from time to time, upon and subject to the conditions and limitations herein contained.

NOW, THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Tract 1 Owner and Tract 2 Owner hereby agree as follows:

1. **Easement Grant.** Tract 1 Owner hereby grants to Tract 2 Owner a non-exclusive, perpetual, irrevocable easement for the benefit of Tract 2 Owner for the use of the Easement Area for the sole and exclusive purposes of the passage and parking of passenger automobiles and passage of pedestrians, by Tract 2 Owner, all tenants and other occupants of Tract 2 or portions thereof, and the respective employees, agents, contractors, customers, visitors, invitees, licensees, subtenants and concessionaires of Tract 2 Owner or such tenants and occupants. Notwithstanding the foregoing, in no event shall Tract 2 Owner have the right use more than fifty-three (53) parking spaces in the Easement Area at any time.

2. **Insurance.** Tract 2 Owner shall at all times obtain and maintain commercial general liability insurance for bodily injury, personal injury and property damage for the mutual benefit of the owner of Tract 1 and Tract 2, with limits of not less than \$2,000,000.00 in Constant Dollars (as defined below) per occurrence, which policy or policies shall:

- (a) name as an additional insured Tract 1 Owner;
- (b) be written by solvent insurance companies licensed in the State of Illinois; and
- (c) include contractual liability coverage insuring Tract 2 Owner's indemnity obligations provided for herein.

Tract 2 Owner shall deliver certificates evidencing such policies of insurance to Tract 1 Owner upon demand. Nothing herein contained shall prevent Tract 2 Owner from taking out insurance of the kind and in the amount provided for hereunder under a blanket insurance policy or policies which may cover other properties owned or operated by Tract 2 Owner.

For purposes of this Agreement, the term "Constant Dollars" shall mean the value of the U.S. dollar to which such phrase refers, as adjusted from time to time. An adjustment shall occur on the 1st day of January of the fifth (5<sup>th</sup>) full calendar year following the date of this Agreement, and thereafter at five (5)

year intervals. Constant Dollars shall be determined by multiplying the dollar amount to be adjusted by a fraction, the numerator of which is the Current Index Number and the denominator of which is the Base Index Number. The "Base Index Number" shall be the level of the Index for the year in which this Agreement is executed; the "Current Index Number" shall be the level of the Index for the year preceding the adjustment year; the "Index" shall be the Consumer Price Index for All Urban Consumers, published by the Bureau of Labor Statistics of the United States Department of Labor for U.S. City Average, All Items (1982-84=100), or any successor index thereto as hereinafter provided. If publication of the Index is discontinued, or if the basis of calculating the Index is materially changed, then Tract 1 Owner and Tract 2 Owner shall substitute for the Index comparable statistics as computed by an agency of the United States Government or, if none, by a substantial and responsible periodical or publication of recognized authority most closely approximating the result which would have been achieved by the Index.

3. **Maintenance.** Tract 1 Owner shall keep the improvements located within the Easement Area neat, orderly in condition and appearance, and in good repair and in compliance with all applicable laws. Except as otherwise provided herein, the improvements located within the Easement Area shall not be obstructed in any way but shall be kept open at all times for the free use thereof.

4. **Indemnification.** Tract 2 Owner (as an "indemnitor") shall defend, indemnify and hold harmless Tract 1 Owner (as an "indemnitee") from and against all claims, damages, liabilities and expenses (including reasonable attorneys fees, court costs and expenses) which are incurred by the indemnitee in connection with loss of life, personal injury and/or property damage arising from the indemnitor's exercise of the indemnitor's easement rights granted herein, except to the extent caused by willful or negligent acts of the indemnitee or to the extent covered by insurance. The indemnitee shall tender defense of any claim subject to the indemnitor's indemnity to the indemnitor in sufficient time to avoid prejudice, and the indemnitor shall be entitled to defend the same with counsel of its selection and reasonably acceptable to the indemnitee.

5. **Rights Reserved.** Tract 1 Owner reserves and shall continue to enjoy the use of Tract 1 for any purpose which does not interfere in any material respect with or prevent the use by Tract 2 Owner of the easements herein granted, including the right to locate and relocate buildings, driveways, parking areas and other improvements to be located upon Tract 1, provided there is no material and adverse impact to the quality or quantity of the parking or access provided hereunder, and provided further that no buildings or permanent structures shall be located within the Easement Area.

6. **Duration.** The easements, covenants, conditions and restrictions contained herein shall exist at all times hereafter, shall create mutual benefits and covenants running with the land, and shall be binding upon any owner, tenant or occupant of Tract 1 or Tract 2 and their respective legal representatives, heirs, successors and assigns.

7. **Not a Public Dedication.** Nothing herein contained shall be deemed to be a grant or dedication of any portion of Tract 1 to or for the general public or for any public purposes whatsoever, it being the intention of Tract 1 Owner and Tract 2 Owner that this Agreement shall be strictly limited to and for the purposes herein expressed.

8. **Sole Agreement.** This Agreement may not be amended or modified in any respect whatsoever except by an instrument in writing signed by all parties. This Agreement constitutes the entire agreement between the parties with respect to the matters set forth herein and supersedes all prior negotiations, discussions, writings and agreements between them in connection therewith other than the Declaration.

9. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois.

10. **Partial Invalidity.** Should any one or more of the provisions of this Agreement be determined to be invalid, unlawful or unenforceable in any respect, the validity, legality and enforceability of the remaining provisions hereof shall not in any way be affected or impaired thereby unless as a result the purpose and intent of this Agreement shall thereby be substantially and essentially impaired. In such event, the parties shall diligently proceed to revise this Agreement in order to rememorialize such purpose and intent.

11. **Miscellaneous.** This Agreement shall be binding upon and inure to the benefit of each of: (a) Tract 1 Owner and all successor owners of Tract 1; and (b) Tract 2 Owner and all successor owners of Tract 2, each of whom shall accept and undertake, and shall be deemed to have accepted and undertaken, all rights and obligations of Tract 1 Owner or Tract 2 Owner, respectively, upon transfer of ownership in Tract 1 or Tract 2, respectively. Wherever a transfer occurs in the ownership of either Tract 1 or Tract 2, the transferor shall have no further liability for breach of covenant occurring thereafter. Each owner agrees to look solely to the interest of the other owner in its respective Tract for the recovery of any judgment from such Tract owner, it being agreed that the owner of any such Tract and its partners, directors, officers, members, managers or shareholders shall never be personally liable for such judgment.

[Signature Page Follows]

IN WITNESS WHEREOF, Tract 1 Owner and Tract 2 Owner have executed this Agreement as of the day and year first above written.

**TRACT 1 OWNER:**

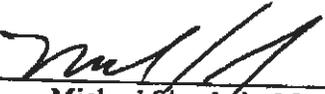
**ROC WILLOWBROOK LLC,**  
an Illinois limited liability company

By:   
Michael Siurek, its Manager

**TRACT 2 OWNER:**

**ROC WBCS II LLC,**  
a Delaware limited liability company

By: ROC WBCS LLC, an Illinois limited liability company, its Manager

By:   
Its: Michael Siurek, its Manager

This instrument was prepared by  
and after recording return to:

Daniel J. Kopp  
Daspin & Aument, LLP  
227 West Monroe Street  
Suite 3500  
Chicago, IL 60606

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DuPage )

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell, personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, as Manager of ROC WBCS II LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said limited liability companies, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20<sup>th</sup> day of July, 2015.



[Signature]  
Notary Public

My Commission Expires: 10/15/18

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DuPage )

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability partnership, as his free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20<sup>th</sup> day of July, 2015.



[Signature]  
Notary Public

My Commission Expires: 10/15/18

**EXHIBIT A**

**TRACT 1:**

**LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_, 2015 AS DOCUMENT NO. \_\_\_\_\_, IN DUPAGE COUNTY, ILLINOIS.**

**TRACT 2:**

**LOT 2 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_, 2015 AS DOCUMENT NO. \_\_\_\_\_, IN DUPAGE COUNTY, ILLINOIS.**

**EXHIBIT B**

**Easement Area**

THAT PART OF LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_, 2015 AS DOCUMENT NO. \_\_\_\_\_, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 223.13 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG SAID NORTH LINE, A DISTANCE OF 140.66 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 27 SECONDS WEST, A DISTANCE OF 41.84 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 17.75 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 73.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 33.42 FEET; THENCE SOUTH 34 DEGREES 21 MINUTES 36 SECONDS EAST, A DISTANCE OF 16.93 FEET; THENCE SOUTH 55 DEGREES 38 MINUTES 24 SECONDS WEST, A DISTANCE OF 163.00 FEET; THENCE NORTH 34 DEGREES 21 MINUTES 36 SECONDS WEST, A DISTANCE OF 61.00 FEET; THENCE NORTH 55 DEGREES 38 MINUTES 24 SECONDS EAST, A DISTANCE OF 173.29 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



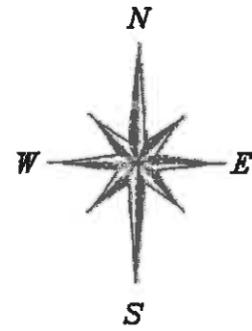
**EXHIBIT "D"**  
**ROC INDUSTRIAL SUBDIVISION PLAT**

# FINAL PLAT ROC INDUSTRIAL SUBDIVISION

BEING A REVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 34 N., RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN SURGE COUNTY, ILLINOIS.

P.L.N. 08-28-403-022  
08-28-403-028

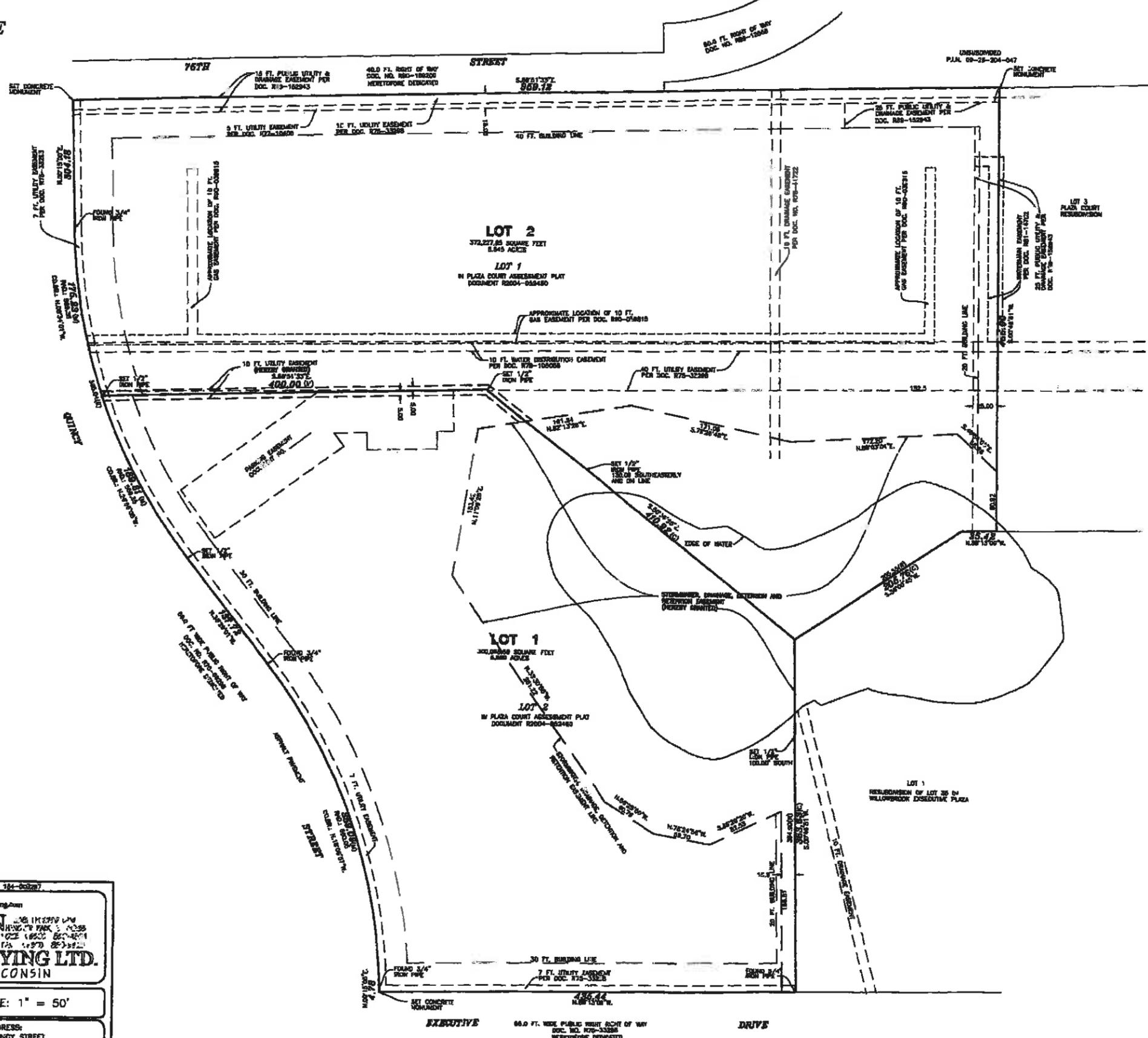
SUBMITTED BY AND RETURN TO:  
VILLAGE OF WILLOWBROOK  
330 MONROE BLVD.  
WILLOWBROOK, ILLINOIS 60097



BASE OF RECORDS  
DIMENSIONS ARE BASED ON THE  
NORTH LINE OF EXECUTIVE BLVD.  
AS SHOWN ON THE RECORDED PLAT  
OF PLAZA COURT REVISIONS  
AS 5.871370° E.

- (D) INDICATES RECORD DIMENSION
- (M) INDICATES MEASURED DIMENSION
- (C) INDICATES CALCULATED DIMENSION

AREA IS EQUAL TO  
672,151.57 SQUARE FEET OR 15.434  
ACRES



SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 194-003287

**HARRINGTON**  
LAND SURVEYING LTD.  
ILLINOIS & WISCONSIN

1501 INTERSTATE 55  
WILLOWBROOK, ILLINOIS 60097  
TEL: 630.584.8800  
FAX: 630.584.8801

ORDERED BY:  
KOZDOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: DB2-15WEST  
DRAWN BY: FJM

COMMON ADDRESS:  
7801 QUINCY STREET  
WILLOWBROOK, ILLINOIS



**EXHIBIT "E"**  
**ROC INDUSTRIAL PUD**

# FINAL PLAT

## ROC INDUSTRIAL P.U.D.

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 36 NORTH,  
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.L.N. 03-18-403-C27  
09-05-403-C28

SUBMITTED BY: HARRINGTON LAND SURVEYING LTD.  
WILLIAMSON, ILLINOIS 60188



FIELD MEASUREMENTS  
BEARINGS ARE BASED ON THE  
NORTH LINE OF EXECUTIVE DRIVE  
AS SHOWN ON THE RECORDED  
PLAT OF PLAZA COURT  
RESUBDIVISION AS S.87°13'08"E.

(R) INDICATES RECORD DIMENSION  
(M) INDICATES MEASURED DIMENSION

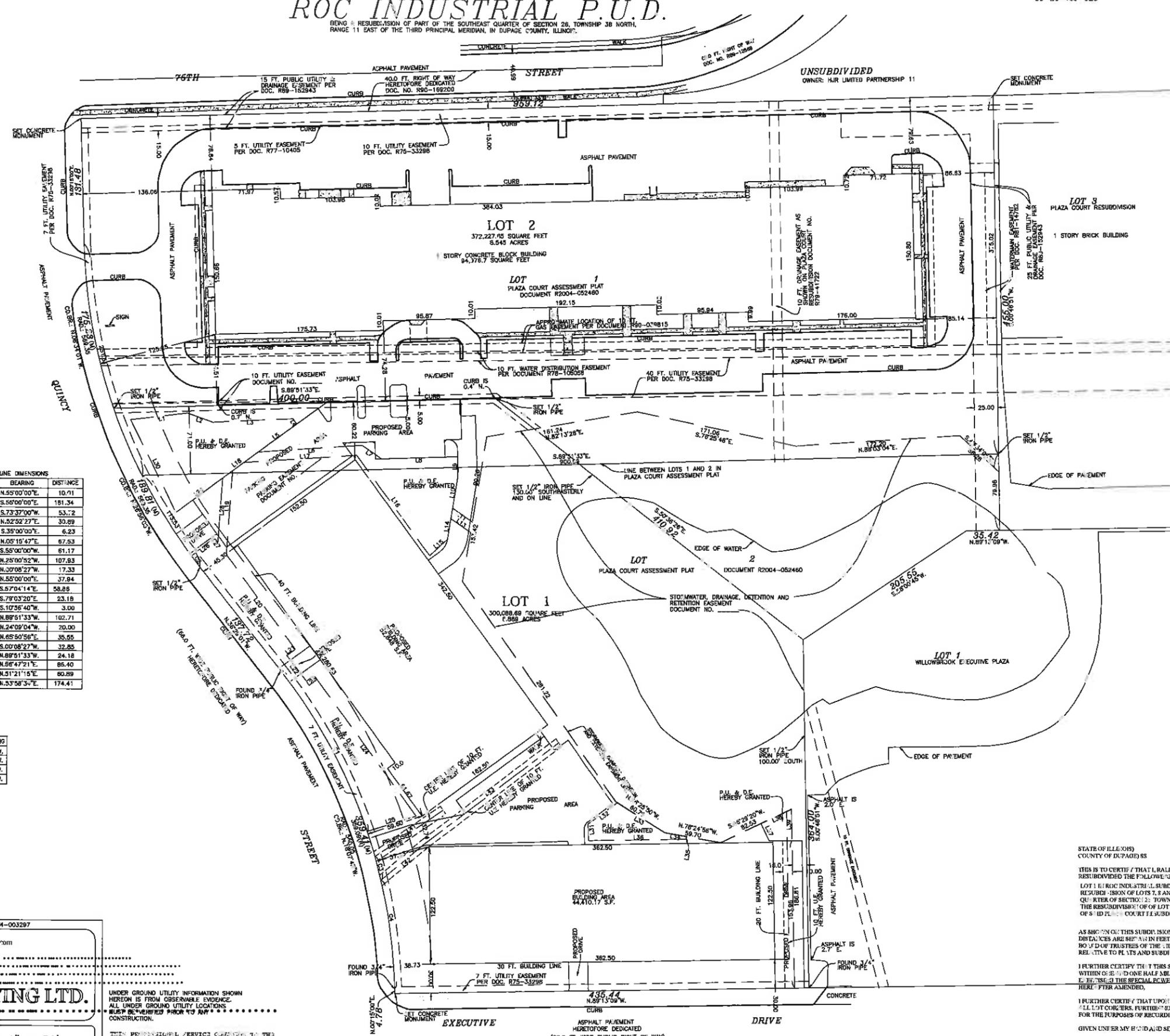
AREA IS EQUAL TO:  
672,18.34 SQUARE FEET OR 15.434 ACRES

P.U. INDICATES PUBLIC UTILITY EASEMENT  
D.E. INDICATES DRAINAGE EASEMENT

LINE DIMENSIONS			LINE DIMENSIONS		
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
L1	N.94°18'13"E	60.06	L23	N.55°00'00"E	10.71
L2	N.89°11'13"E	28.63	L24	S.55°00'00"E	181.34
L3	N.82°27'29"E	84.27	L25	S.73°37'00"W	53.72
L4	S.35°00'00"E	4.90	L26	N.52°52'27"E	30.89
L5	S.65°00'00"W	40.94	L27	S.35°00'00"E	6.23
L6	N.87°11'01"E	109.00	L28	N.05°15'47"E	87.53
L7	S.54°07'36"E	24.88	L29	S.55°00'00"W	61.17
L8	N.89°21'36"E	79.06	L30	N.25°00'52"W	107.93
L9	S.00°43'03"W	22.57	L31	N.20°08'27"W	17.33
L10	S.10°18'40"W	31.70	L32	N.55°00'00"E	37.94
L11	S.54°07'36"E	25.29	L33	S.57°04'14"E	58.88
L12	S.10°31'04"W	11.07	L34	S.78°03'20"E	23.18
L13	N.54°07'36"W	25.05	L35	S.10°56'40"W	3.00
L14	S.10°19'40"W	21.87	L36	N.88°51'33"W	102.71
L15	S.48°21'19"W	25.25	L37	N.24°09'04"W	20.00
L16	N.35°00'00"W	129.82	L38	N.65°50'56"E	35.55
L17	S.87°11'01"W	118.42	L39	S.00°08'27"W	32.85
L18	S.5°00'00"W	14.52	L40	N.88°51'33"W	24.18
L19	S.05°15'47"W	87.81	L41	N.66°47'21"E	85.40
L20	S.35°00'00"E	122.70	L42	N.51°21'15"E	60.89
L21	S.55°00'00"W	10.77	L43	N.53°56'3"E	174.41
L22	S.36°17'40"E	33.78			

CURVE DIMENSIONS			
NO.	ARC LENGTH	RADIUS	CHORD BEARING
C1	191.70	560.05	N.27°19'06"W
C2	14.53	569.35	N.7°19'06"W
C3	25.42	580.05	N.13°23'19"W
C4	114.37	560.05	N.06°14'17"W

USE AREA TABULATION	
LAND AREA:	
NO. OF BUILDINGS - 2	
NO. OF DWELLING UNITS - NONE	
NO. OF DWELLING UNITS PER ACRE - NONE	



SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com

## HARRINGTON

# LAND SURVEYING LTD.

UNDER GROUND UTILITY INFORMATION SHOWN HEREON IS FROM OBSERVABLE EVIDENCE. ALL UNDER GROUND UTILITY LOCATIONS MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A PROFESSIONAL SURVEY.

For Building Restrictions and Easements refer to your Abstract Deed, Guarantee Policy, and Local Ordinances. COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE

ORDERED BY:  
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD  
DRAWN BY: RJM  
FILE NAME: 062-13.DWG

COMMON ADDRESS:  
7801 QUINCY STREET  
WILLOWBROOK, ILLINOIS.

STATE OF ILLINOIS  
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, RALPH J. HARRINGTON, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2486, HAVE SURVEYED AND RESUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 1, ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF LOTS 7, 8 AND 9 IN WILLOWBROOK E. EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND OF LOT 2 IN THE RESUBDIVISION OF LOT 35 IN WILLOWBROOK E. EXECUTIVE PLAZA, AS FURTHER ANTICIPATED, ACCORDING TO THE PLAT OF EXECUTIVE PLAZA COURT RESUBDIVISION RECORDED MAY 27, 1975 AS DOCUMENT 879-41722 IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND REBUNDING, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR WITHIN ONE HALF MILE OF THE CORPORATE LIMITS OF SAID VILLAGE, WHICH HAS ADOPTED CITY PLANNED DEVELOPMENT. THE SPECIAL POWER IS AUTHORIZED BY ARTICLE 11, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT UPON COMPLETION OF MONUMENTING, IRON PIPES AND CONCRETE MONUMENTS WILL BE SET AT ALL LOT CORNERS, FURTHER SETTING, LOCATING, THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO THE SURVEYOR FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL AT HANOVER PARK, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015

RALPH J. HARRINGTON  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2486  
231 LEEWARD LANE  
HANOVER PARK, ILLINOIS

# ROC INDUSTRIAL P.U.D.

BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.L.N. 09-26-403-027  
09-26-403-028

SUBMITTED BY AND RETURN TO:  
OFFICE OF WILLOWBROOK  
835 MIDWAY DRIVE  
WILLOWBROOK, ILLINOIS 60157



### FLOOD DAMAGE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE POLICY NO. 1704C 0909 H REVISED DATE, DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "X", NO PORTION OF THE PARCEL IS LOCATED IN ZONE "A", AREA OF 100-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT WILLOWBROOK, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 246

### SCHOOL DISTRICT CERTIFICATE

THIS IS TO CERTIFY THAT THE \_\_\_\_\_'S OWNER OF THE PROPERTY DESCRIBED AS THE \_\_\_\_\_ SUBDIVISION AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME, HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE THE SCHOOL DISTRICTS IN WHICH SAID SUBDIVISION IS SITUATED WITHIN:

ELEMENTARY SCHOOL DISTRICT \_\_\_\_\_ HIGH SCHOOL DISTRICT DISTRICT 86

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

STATE OF ILLINOIS  
COUNTY OF DUPAGE

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE FORESAID, DO HEREBY CERTIFY THAT IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THE ANNEXED PLAT AS HIS/HER/THEIR OWN ACT(S) FOR THE PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC

COMMISSION EXPIRES: \_\_\_\_\_

STATE OF ILLINOIS  
COUNTY OF DUPAGE

APPROVED AND ACCEPTED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

PRESIDENT

VILLAGE CLERK

### VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF DUPAGE

I, \_\_\_\_\_, VILLAGE ENGINEER OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, HEREBY CERTIFY THAT THE PUBLIC IMPROVEMENTS FOR THIS SUBDIVISION AS SHOWN BY THE PLANS AND SPECIFICATIONS THEREON, MEET THE MINIMUM REQUIREMENTS OF SAID VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREON.

DATED AT WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

VILLAGE ENGINEER

### DUPAGE COUNTY SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF DUPAGE

APPROVED BY THE DIRECTOR OF PUBLIC WORKS FOR THE COUNTY OF DUPAGE, ILLINOIS, DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

DIRECTOR

### VILLAGE COLLECTOR CERTIFICATE

I, \_\_\_\_\_, COLLECTOR FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THIS PLAT.

VILLAGE COLLECTOR

### PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

SIGNED

CHAIRMAN

ATTEST

RECORDING SECRETARY

### UTILITY EASEMENT PROVISIONS

PERPETUAL EASEMENTS FOR PUBLIC UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND APPLIED TO THE VILLAGE OF WILLOWBROOK, TO THE COMPANY OPERATING THE SAME, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICE TO THE PROPERTY, INCLUDING BUT NOT LIMITED TO METRO, NORTHWESTERN ILLINOIS GAS COMPANY, COMMERCIAL ELECTRIC COMPANY, DUPAGE PUBLIC WORKS, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENTAL CONCERNS, AND THEIR SUCCESSORS, TO PASS OVER AND ACROSS, THROUGH AND UPON THE AREAS ENCLOSED BY THE DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND EASEMENT, FOR THE PURPOSES OF THIS PLAT, PROVIDED UTILITY SERVICES SHALL EXCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RELOCATE, RELOCATE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER AND ANY OTHER FACILITIES USED IN THE TRANSMISSION AND DISTRIBUTION OF SAID GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES. SUCH EASEMENTS SHALL INCLUDE ANY AND ALL APURTANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, THROUGH AND UPON SUCH FACILITIES, THROUGH AND UPON SUCH FACILITIES, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE SAID EASEMENTS THEREON, OR TO ADJUST THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND SHRUBS AS MAY BE REQUIRED BY THE RIGHTS HEREIN GRANTED, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES, OBSTRUCTION SHALL NOT BE PLACED OVER ANY FACILITIES OR EASEMENTS, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENTS WITHOUT THE PRIOR WRITTEN CONSENT OF THE INTERESTED PARTY OF SAID FACILITIES. THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEES' OTHER RIGHTS PROVIDED HEREIN, EXCEPT FOR STORM WATER DETENTION AND RETENTION PURPOSES. THE GRANTED EASEMENT, SEPARATE PROVISIONS OF THIS PLAT AND FACILITIES FOR SAID PURPOSES AND APURTANCES THEREON, SHALL BE CONTROLLED BY SAID PROVISIONS.

### STORM WATER DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS

FOR THE PURPOSE OF PROMOTING SURFACE DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNERS OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

- A PERPETUAL EASEMENT FOR STORM WATER DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK AND THE PUBLIC GENERALLY, IN, OF, UNDER, ACROSS, LONG, THROUGH AND UPON THE AREAS BOUNDARY BY THE DOTTED LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DETENTION AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT, AND GRANT OF EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RELOCATE, RELOCATE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APURTANCES THEREON, TO CONSTRUCT, THROUGH AND UPON SAID EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THOSE PURPOSES.

- NOTWITHSTANDING THE FOREGOING, THE OWNERS OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APURTANCES THEREON, LOCATED OVER OR THROUGH ANY OR UPON SUCH LOT, EXCEPT AS, BUT NOT LIMITED TO, TREE ROOT AND DETENTION RELATED SOIL EROSION CONTROL, DITCH PROFILES, A STORM SEWER CLEANING BLOCK OR REMOVAL AND REPLACEMENT OF STORAGE TANKS, NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER DIMINISH STORM WATER DETENTION OR RETENTION, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHT, BUT NOT OBLIGATION. THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REPAIR, RELOCATE AND/OR INCREASE SAID EASEMENT AREAS, AND TO ENTER UPON THE PROPERTY THEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

STATE OF ILLINOIS  
COUNTY OF DUPAGE

I, \_\_\_\_\_, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAXES, OR INSTALMENT OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WILLOWBROOK, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BY: \_\_\_\_\_  
COUNTY CLERK

STATE OF ILLINOIS  
COUNTY OF DUPAGE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DEPOSITOR OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATERS WILL BE CHANGED, REASONABLE PROVISIONS WILL BE MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS ONTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE EROSION PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BY: \_\_\_\_\_  
ENGINEER

BY: \_\_\_\_\_  
OWNER OR ATTORNEY

### OWNER'S CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF DUPAGE

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS (ARE) THE OWNER(S) OF THE LAND DESCRIBED BY THE ANNEXED PLAT AND THAT SAID OWNER(S) HAS (HAVE) CLAIMED THE SAME TO BE SUBJECT OF SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CLAIMED THE SAME TO BE SUBJECT OF SAID LAND, AND THAT SAID OWNER(S) HAS (HAVE) CLAIMED THE SAME TO BE SUBJECT OF SAID LAND, AND DOES HEREBY KNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREIN INDICATED.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

ROC WILLOWBROOK LLC

1804 PAPER BOULEVARD  
SUITE 400  
WILLOWBROOK, ILLINOIS

MANAGEMENT MEMBER

NOTARY CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF DUPAGE

I, \_\_\_\_\_, NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE FORESAID, DO HEREBY

CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE (SHE) SIGNED AND DELIVERED THE ANNEXED PLAT AS HIS (THEIR) OWN FREE AND VOLUNTARY ACT FOR THE USE AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015.

NOTARY PUBLIC

SHEET 2 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

HARRINGTON  
LAND SURVEYING LTD.

ORDERED BY:  
KOZYL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD  
DRAWN BY: RJM  
FILE NAME: 062-13.DWG

COMMON ADDRESS:  
7601 QUINCY STREET  
WILLOWBROOK, ILLINOIS

For Building Restrictions and Easements refer to your Abstract Deed, Guarantee Policy and Local Ordinances. COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE

**EXHIBIT "F"**  
**APPROVED PLANS**

1. Color Elevations (1 Sheet) hand dated December 29, 2015.
2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
5. Building B details, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 23, 2015.
6. Final Engineering, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 28, 2015.



12-29-15

**GENERAL NOTES: LANDSCAPE**

- Notes indicated on grading plans shall pertain to landscape plans. Final grade of planting beds shall be as per grading plan.
- The landscape contractor shall be responsible for making them. Most familiar with all underground utilities and structures.
- All existing plant material and trees shall be saved and protected unless otherwise noted. Contractor to protect new and existing trees and landscaping from damage and shall restore if areas disturbed as a result of construction.
- Plant material shall be supplied from Northern Illinois nursery stock, shall be dug the planting season it is installed, and shall conform to the American Association of Nurserymen's standards.
- Plant material shall be size and type specified. Substitution of plant material shall be on a one-for-one basis and approved in writing by the Owner's Representative and the Village of Willowbrook prior to delivery of material. In no case shall plant material be smaller than indicated in the plans.
- Do not install plants with plantings as designed when it is obvious that obstructions (culter grade, etc.) may not have been known during the design process. Such conditions shall be immediately brought to the attention of the Owner's Representative.
- All plant material shall be inspected and approved by the Owner's Representative and Village of Willowbrook prior to the installation of any and all plant material. Plant locations shall be marked in field with Owner's R.P. The landscape contractor is responsible for providing Owner's Representative with 48 hour minimum advance notice prior to planting.
- Plants shall be installed on the day they are planted and maintained with watering until final acceptance of the project.
- Apply a pre-emergent as per manufacturer's specification prior to installing mulch.
- Beds and tree rings (8" diameter) shall have 4" of premium hardwood mulch applied and a 4" deep space edge at least. Trees that are not located in beds, shall have a tree ring.
- Landscape plant material shall be guaranteed for 12 months from final acceptance. Any plant 1/3 dead or more shall be replaced under the guarantee.
- Contractor to prepare landscape beds by rototilling 2" of Mushroom Compost into new beds. Do not add compost nor rototill within drip line of existing trees.
- Lawn seeding and sodding shall be under favorable weather conditions, and shall follow 48-hour specification.
- Turf areas shall be installed and lawn established at all disturbed areas. See plans.
- Do not overseed into mulch beds and paving.
- Nursery shall email copy of the number, names, and sizes of all plant materials being delivered to the site 48 hours prior to delivery. Material delivered to the site may not be planted until authorized in writing by the Village of Willowbrook.
- Contractor shall restore all areas disturbed as a result of construction.

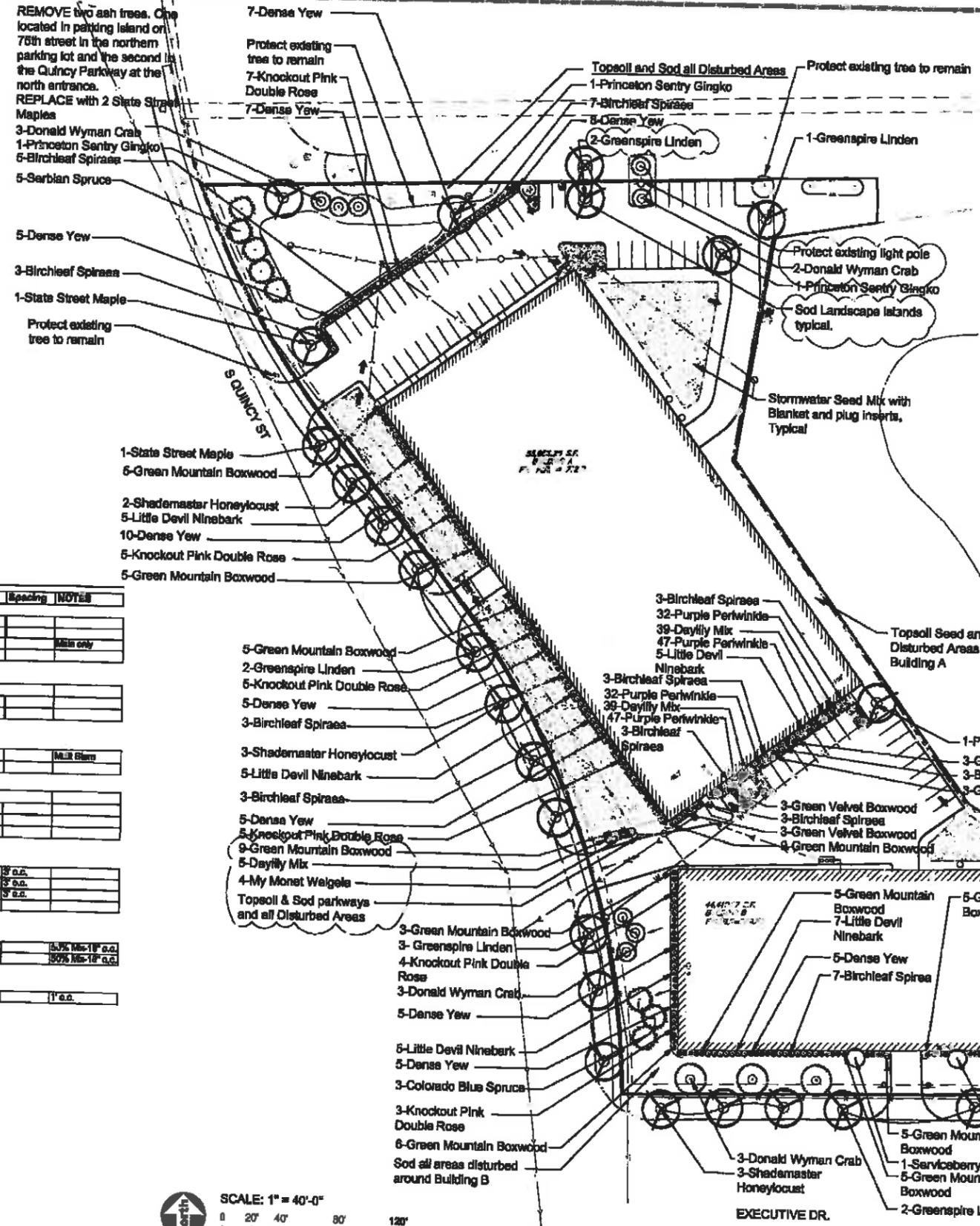
**PLANT LIST**

QTY	SIZE	BOTANICAL NAME	COMMON NAME	Spacing	NOTES
<b>Shade Trees - Ball and Burlap</b>					
7	2.5" Cal.	Acacia melanocoryna	Black Locust		
8	2.5" Cal.	Prunella pennsylvanica	Black Cherry		
4	2.5" Cal.	Prunella pennsylvanica	Black Cherry		
10	2.5" Cal.	Prunella pennsylvanica	Black Cherry		
20					
<b>Evergreen Trees - Ball and Burlap</b>					
8	8" Ht.	Picea canadensis	Serbian Spruce		
3	8" Ht.	Picea pungens	Colorado Blue Spruce		
8	Total				
<b>Ornamental Trees - Ball and Burlap</b>					
8	8" Ht.	Amelanchier canadensis	Serviceberry		
14	2" Cal.	Malus 'Donald Wyman'	Donald Wyman Crab		
22	Total				
<b>Evergreen Shrubs - Pot</b>					
80	80 cont.	Thuja 'Green Mountain'	Green Mountain Boxwood		
12	80 cont.	Thuja 'Green Velvet'	Green Velvet Boxwood		
70	80 cont.	Taxus x media 'Canadensis'	Dense Yew		
170	Total				
<b>Deciduous Shrubs - Pot</b>					
34	80 cont.	Physocarpus opulifolius 'Doris Mey'	Little Devil Ninebark	3' o.d.	
48	80 cont.	Rosa 'Knockout Pink'	Double Pink Knockout Rose	3' o.d.	
62	80 cont.	Spiraea latifolia 'Yor'	Birchleaf Spiraea	3' o.d.	
4	80 cont.	Waldsteinia 'My Monet'	My Monet Wigelia	3' o.d.	
144	Total				
<b>Perennials - Pt</b>					
42	8" Ht.	Hemerocallis 'Gone With the Wind'	Gone With the Wind Daylily	1/2" Ht. 18" o.d.	
41	8" Ht.	Hemerocallis 'Little Wind Cup'	Little Wind Cup Daylily	1/2" Ht. 18" o.d.	
83	Total				
<b>Groundcovers - Flat</b>					
158	10 Flat	Mica minor 'Prostrata'	Purple Periwinkle	1' o.d.	

**WILLOWBROOK REQUIREMENTS CHART**

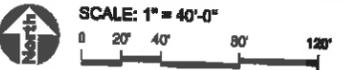
Location	Distance In Feet	Ordinance	Required	Provided
Quincy Street	535	1 shade tree per 50'	11	11
Executive Drive	435	1 shade tree per 50'	9	8
Lot planting		1 tree per 725 sq ft		
		50% shade, 20% conifers	25	26/8
		20% Ornamental	52	29

**uplandDesign Ltd**  
 Landscape Architects & Plant Nursery  
 244 W. Randolph St., Chicago, Illinois 60601  
 34942 Lockport St., Palmdale, Illinois 60454  
 815-294-0091 1111 uplandDesign.com



**LEGEND**

- Shade Tree
- Ornamental Tree
- Evergreen Tree
- Shrub
- Perennial and Groundcover (hatch symbol v.21-1)
- Storm Water Seed Mix with Blanket and plug inserts



**KOZOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
 1111 S. QUINCY STREET  
 WILLOWBROOK, ILLINOIS 60120  
 TEL: 630-584-1111  
 FAX: 630-584-1112

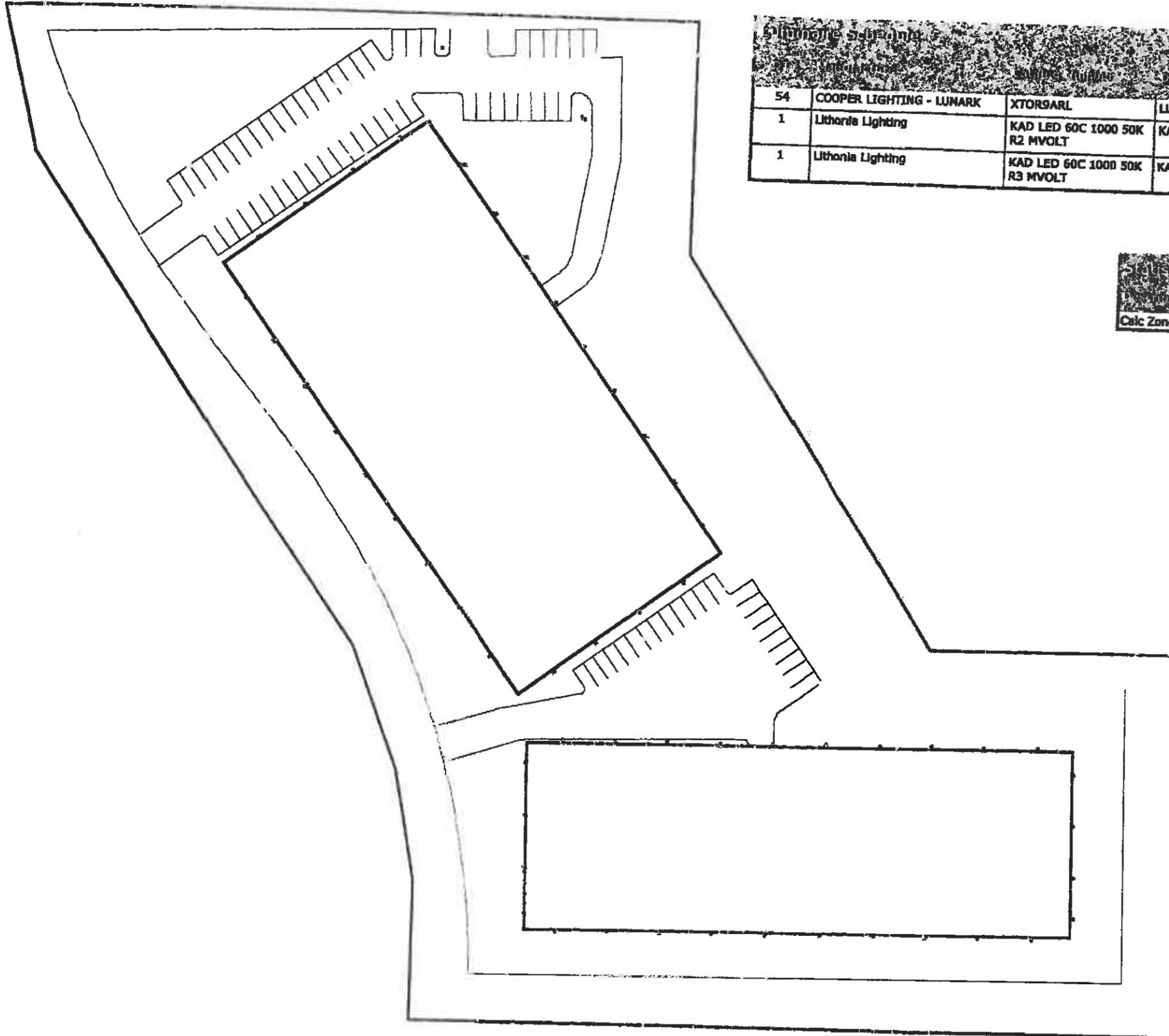


**LANDSCAPING PLAN**  
 7601 S. QUINCY ST.  
 WILLOWBROOK, IL

DATE	DESCRIPTION	DATE	DESCRIPTION
01/15/20	CONCEPT PLAN	01/15/20	CONCEPT PLAN
01/20/20	FINAL ENGINEERING	01/20/20	FINAL ENGINEERING
01/20/20	LANDSCAPE PLAN	01/20/20	LANDSCAPE PLAN
01/20/20	REVISIONS	01/20/20	REVISIONS

1-1





Plan View

Lighting Schedule			
Quantity	Manufacturer	Model	Description
54	COOPER LIGHTING - LUMARK	XTOR9ARL	LUMARK CROSSTOUR MAXX LED 85W - 5000K, REFRACTIVE LENS
1	Lithonia Lighting	KAD LED 60C 1000 50K R2 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 2 OPTICS.
1	Lithonia Lighting	KAD LED 60C 1000 50K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 3 OPTICS.

Schedule							
Calc Zone #1	+	1.8 ft	9.3 ft	0.0 ft	N/A	N/A	0.2:1

7601 Quincy St  
Willowbrook, IL  
LED Wall Packs

Designer  
Josh Helsel  
Date  
6/4/2015  
Scale  
Not to Scale  
Drawing No.  
Summary

# QUINCY STREET STORAGE

## 7601 QUINCY STREET, Bldg. A WILLOWBROOK, ILLINOIS

### PROJECT DIRECTORY:

#### OWNER:

#### ARCHITECT:

KOZJOL AND BROWN  
ARCHITECTS AND ENGINEERS  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8688  
DESIGN FIRM #184-003978

#### ENGINEER:

KOZJOL ENGINEERING SERVICES  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8688  
DESIGN FIRM #184-000988

#### VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT  
24401 LOCKPORT ST  
PLAINFIELD, IL 60544  
815/439-2937

### SHEET INDEX:

#### ARCHITECTURAL

A0 COVER PAGE  
A1.0 FRONT AND REAR ELEVATIONS  
A2.0 LEFT AND RIGHT ELEVATIONS  
A3.0 FLOOR PLAN  
A4.0 BUILDING SECTION  
A5.0 ROOF PLAN  
A6.0 BUILDING SECTION  
A7.0 WALL SECTION, DETAILS & SCHEDULES

#### STRUCTURAL

S1.0 FOUNDATION PLAN  
S2.0 FRAMING PLAN  
S3.0 FRAMING DETAILS

### PROJECT INFORMATION

PROJECT ADDRESS: 7601 QUINCY STREET  
WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)  
ONE-STORY  
SPRINKLERED

CONSTRUCTION TYPE: I-II

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

LOADS:

FIRST FLOOR LOADS:  
DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)  
DEAD 10 PSF (PARTITIONS/ FINISHES)  
LIVE 100 PSF

ROOF LOADS:  
DEAD 25 PSF (10 PSF ROOF)  
(10 PSF BOTTOM CHORD-MECH)  
(5 PSF TRUSS)

LIVE:  
ROOF: 30 PSF  
SNOW (Pg): 25 PSF  
Ce= 0.90  
Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,  
EXPOSURE B

LIVE:  
WIND: 25 PSF  
Ic= 1.00

CONSTRUCTION:  
DEAD 15 PSF  
LIVE 20 PSF  
WIND 8.4 PSF 1 YEAR DURATION

SEISMIC DATA:  
IMPORTANCE FACTOR 1.0  
OCCUPANCY CATEGORY II  
Sa 0.16  
S1 0.05  
SITE CLASS D  
Sds 0.17  
Sd1 0.08  
SEISMIC DESIGN CATEGORY B

### LOCATION MAP:



QUINCY STREET STORAGE  
7601 QUINCY STREET  
WILLOWBROOK, IL

#### VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

2009 EDITION OF THE INTERNATIONAL BUILDING CODE  
2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE  
2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)  
2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE  
2009 EDITION OF THE INTERNATIONAL PLUMBING CODE  
2004 ILLINOIS STATE PLUMBING CODE  
2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE  
ILLINOIS ENERGY CONSERVATION CODE  
2009 EDITION OF THE INTERNATIONAL FIRE CODE  
2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE  
1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

JAMES E. KOZJOL, P.E. EXP 11-30-15  
PAGES M1.0 THROUGH E2.0

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

PHYLLIS G. BROWN, REGISTERED ARCHITECT  
EXP 11/30/16  
PAGES A1.0 THROUGH



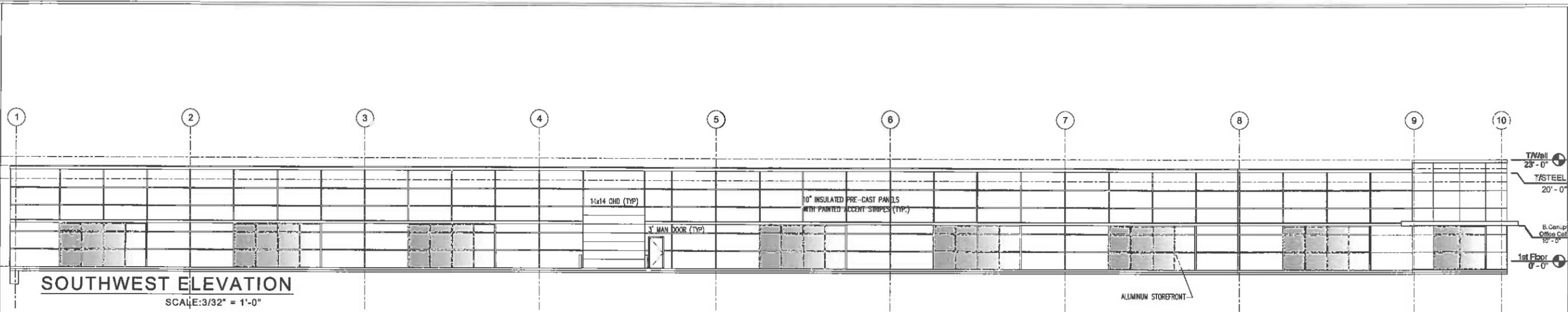
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1	11/20/15	REVISED PER CONCEPT REVIEW	
2	12/23/16		

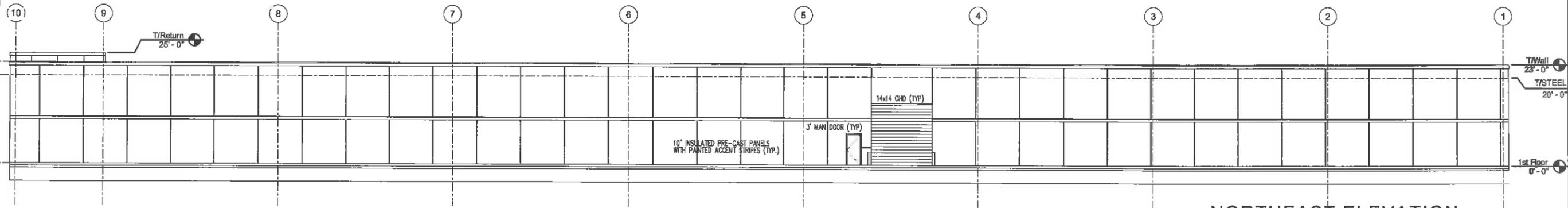
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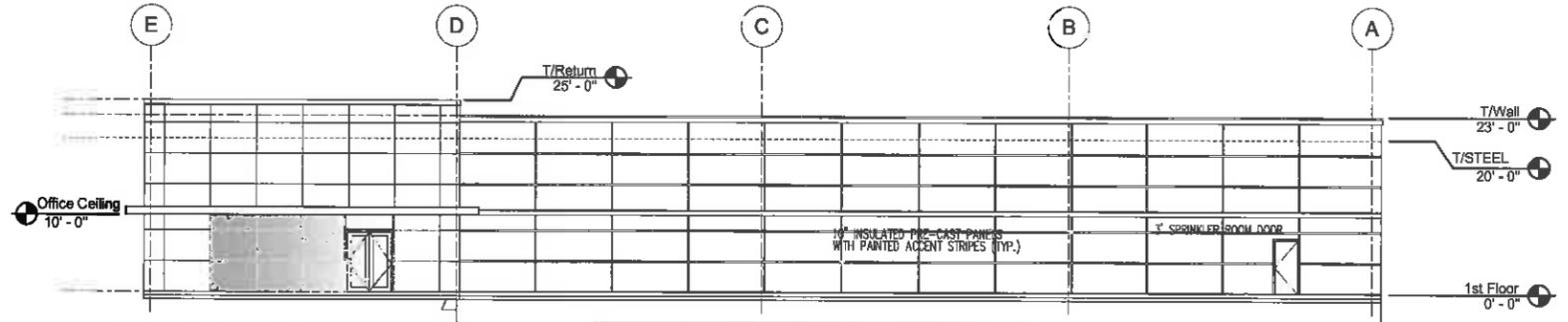
COVER SHEET	7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS
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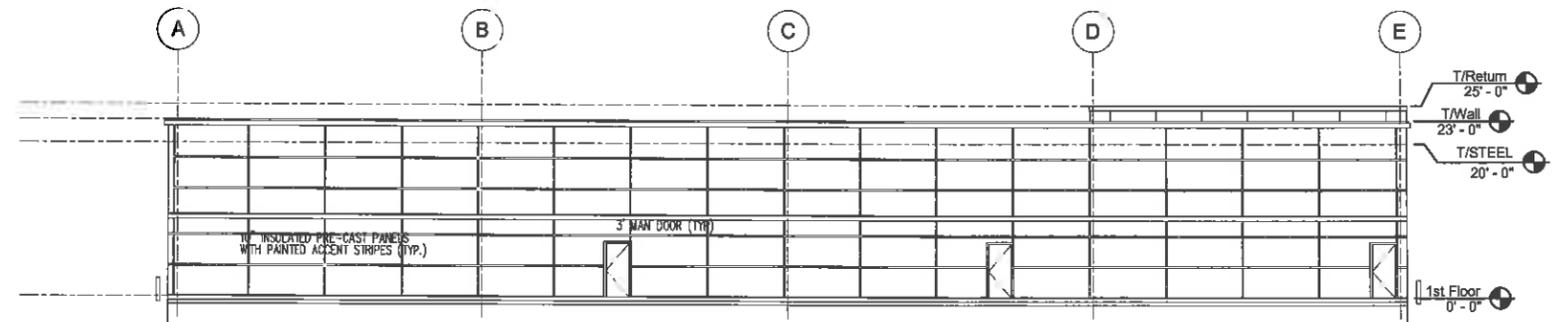
**SOUTHWEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTHEAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**SOUTHEAST ELEVATION**  
SCALE: 3/32" = 1'-0"

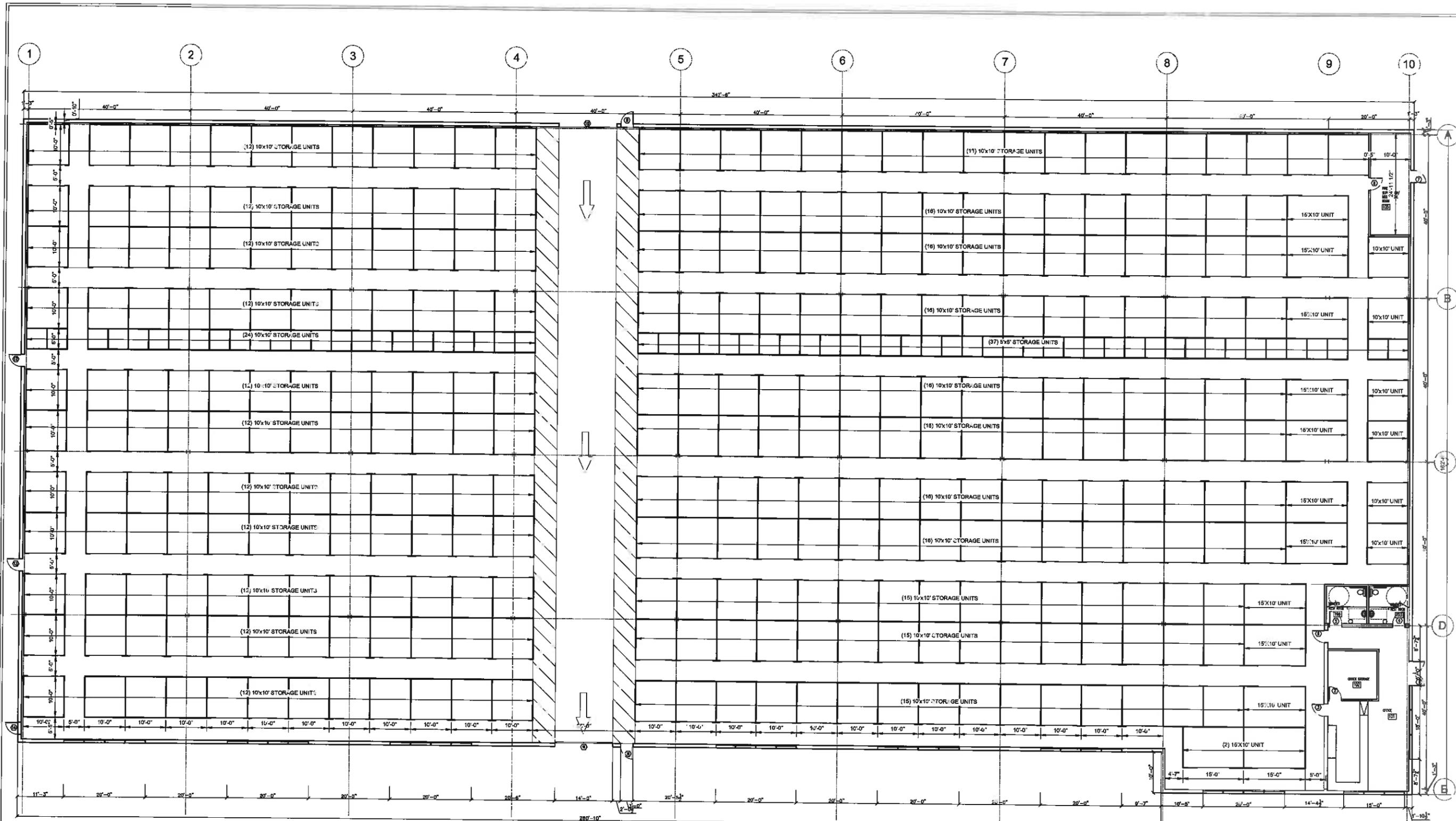


**NORTHWEST ELEVATION**  
SCALE: 3/32" = 1'-0"

**KOZIOL ENGINEERING SERVICES**  
www.koziolengineering.com  
1821 Ogden Avenue  
PH: (309) 458-6638 F: (309) 458-6639



DRAWN BY:	JRH
DESCRIPTION	BUILDING A CONCEPT PLANS FOR PERMIT
DATE	10/8/13
REVISION	0 11/2/14 1 12/1/15 2 REVISED PER CONCEPT REVIEW
SCALE	AS NOTED
PROJECT NUMBER	14-49
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



<b>BUILDING SQUARE FOOTAGE</b>	
OFFICE SPACE	1000 SF
MECHANICAL	264 SF
STORAGE UNIT SPACE	52,847.92 SF
<b>TOTAL BUILDING SQUARE FOOTAGE</b>	<b>55,656.25 SF</b>
<b>NUMBER OF STORAGE UNITS</b>	
10'x10'	313
5'x5'	61
10'x15'	12
<b>TOTAL NUMBER OF UNITS</b>	<b>386</b>

## OVERALL FLOOR PLAN

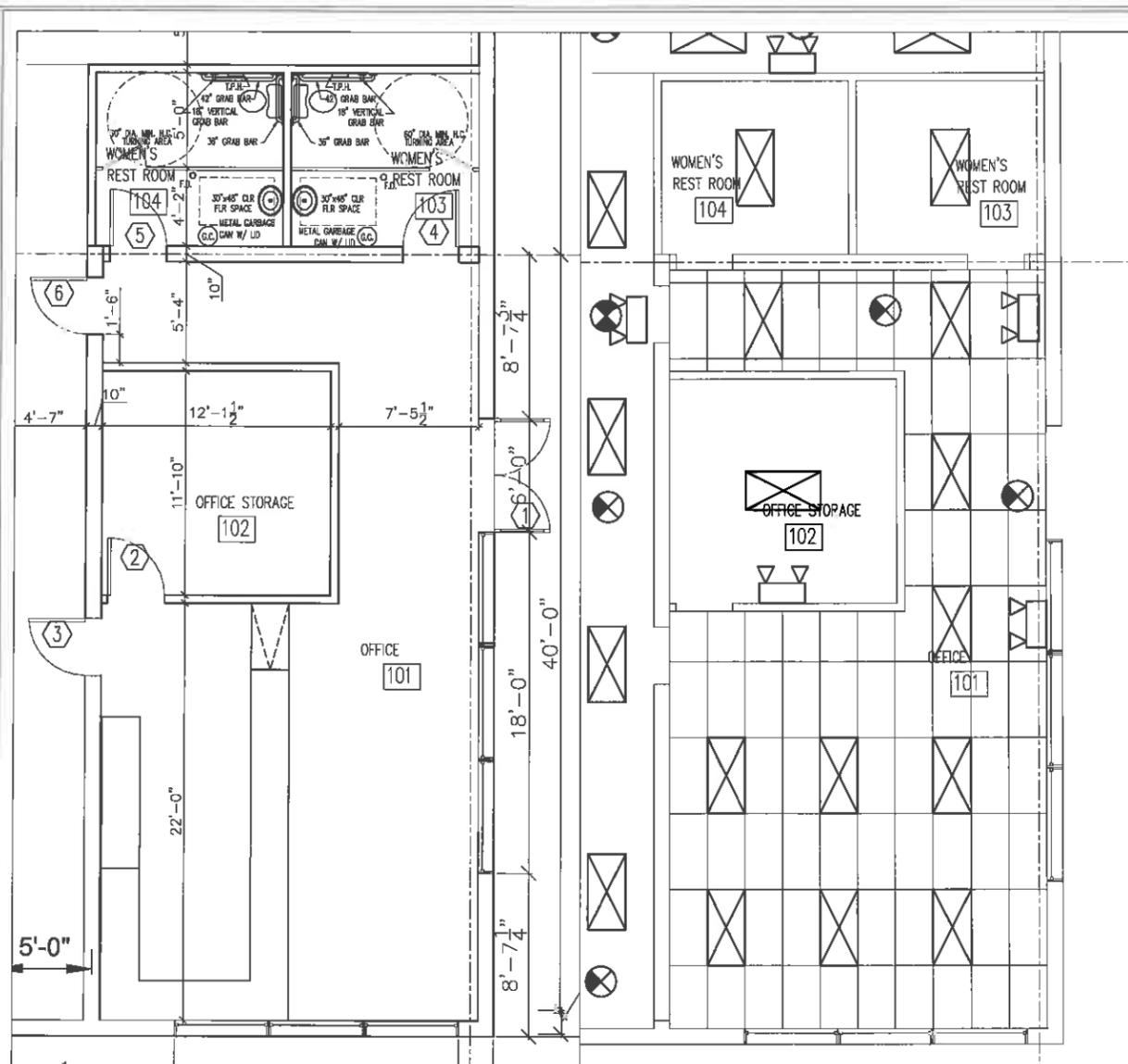
SCALE: 3/32" = 1'-0"

KOZIOL ENGINEERING SERVICES  
 1621 Ogden Avenue  
 PH. (630) 456-9670  
 F. (630) 456-9670  
 www.kes-engineering.com

<b>DRAWN BY:</b>	JRH									
<b>DESCRIPTION</b>	BUILDING A CONCEPT PLANS FOR PERMIT									
<b>DATE</b>	10/15/15									
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NO.	DATE	DESCRIPTION								
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2	12/22/15	REVISED PER CONCEPT REVIEW								
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<b>PROJECT NUMBER</b>	14243									

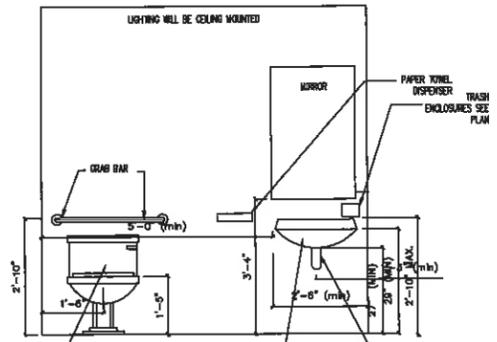
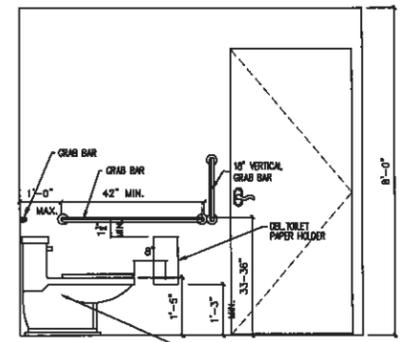
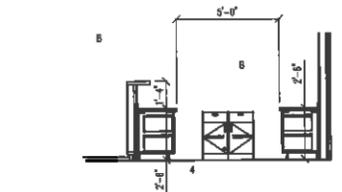
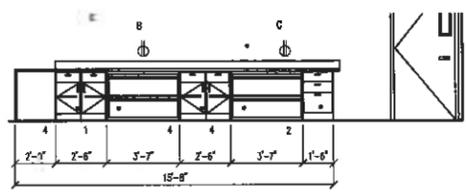
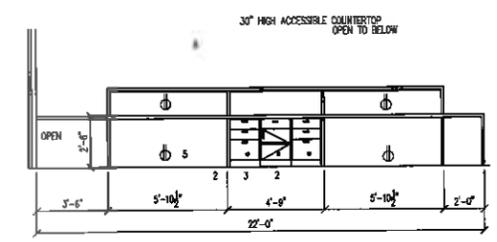
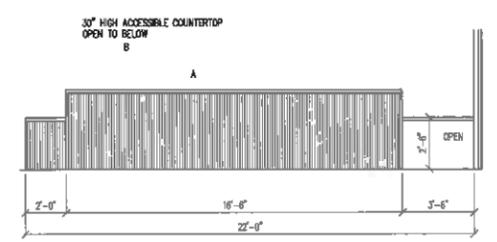
PROPOSED FLOOR PLAN  
 7601 Quincy Street, Bldg A  
 WILLOWBROOK, ILLINOIS

Page 2 of 2



- OFFICE LEGEND**
- ① LATERAL FILE, 2 DRAWERS 28" x 42" x 16 1/2"
  - ② FILE & 2 DRAWERS 28" x 19 1/2" x 16 1/2"
  - ③ DRAWER & 1-DOOR CABINET 28" x 15" x 22"
  - ④ 2-DRAWER & 2-DOOR CABINET 28" x 30" x 22"
  - ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
  - ⑥ 4" BACKPLASH
  - ⑦ WALL MTD. PLASMA TV, 42" HD, PANASONIC TW 42PH08K W/ HEAVY DUTY WALL MOUNTS - PPWPE POWER SUPPLY IN WALL BEHIND TV. REFER TO ELECTRICAL DWGS.
- Ⓢ VINYL BASE
  - Ⓣ DISPLAY AREA
  - Ⓤ EXCT. STRUCTURE

- FINISH LEGEND**
- Ⓐ PLASTIC LAMINATE
  - Ⓑ SOLID SURFACE COUNTERTOP
  - Ⓒ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE
  - Ⓓ TON KICK / DETAIL - BLACK FINISH
  - Ⓔ EXISTING CEILING GRID W/ NEW CEILING TILES
  - Ⓕ SALVAGED CEILING GRID W/ NEW CEILING TILES
  - Ⓖ SIGNAGE - BY OTHERS



**OFFICE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

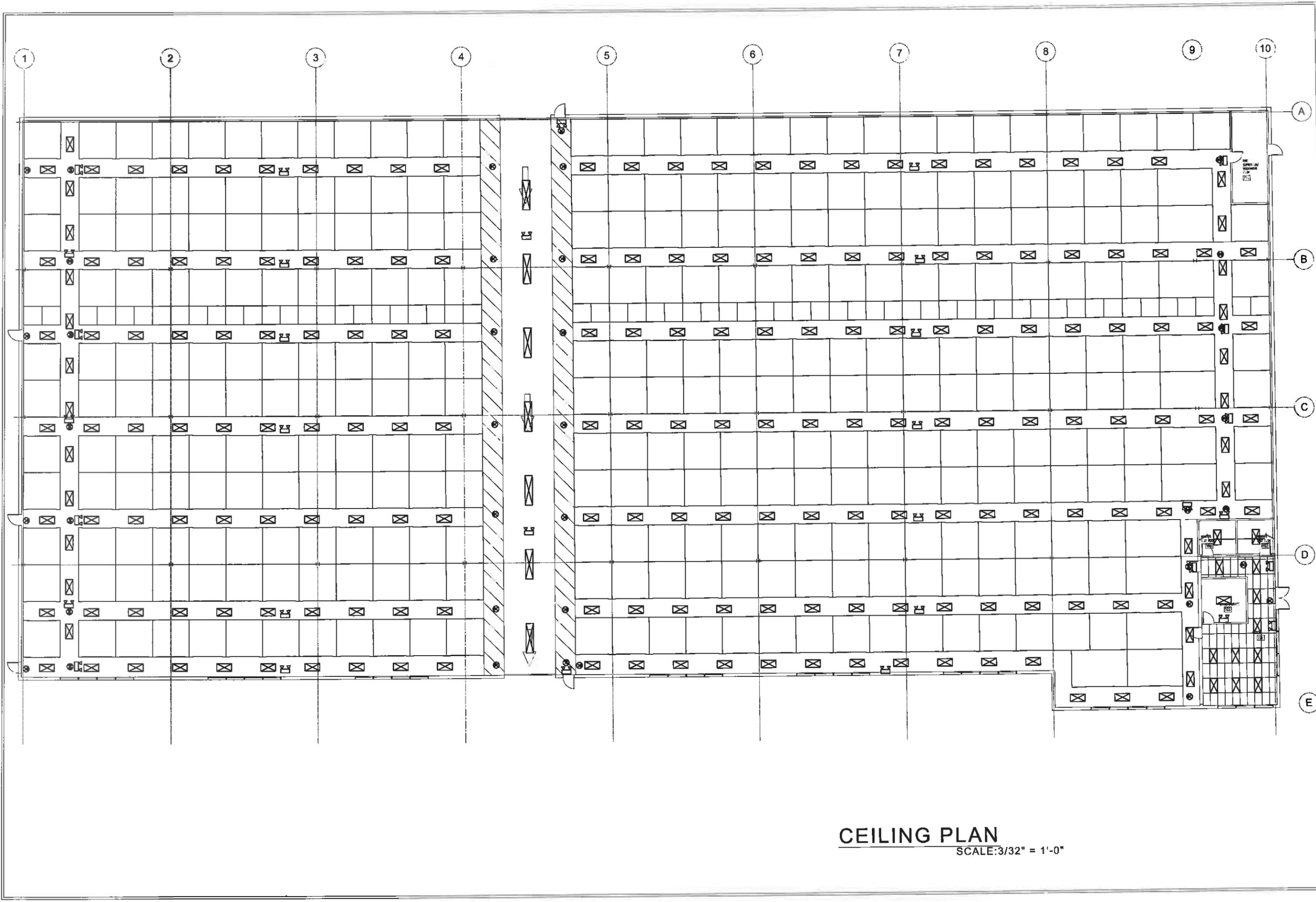
**OFFICE REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

SIDE RESTROOM ELEV.

FRONT RESTROOM ELEV.



DRAWN BY:	JRH
DESCRIPTION	BUILDING A CONCEPT PLANS FOR PERMIT
DATE	10/9/15
REV	0
SCALE	AS NOTED
PROJECT NUMBER	14-18
OFFICE PLANS	
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



**CEILING PLAN**  
 SCALE: 3/32" = 1'-0"

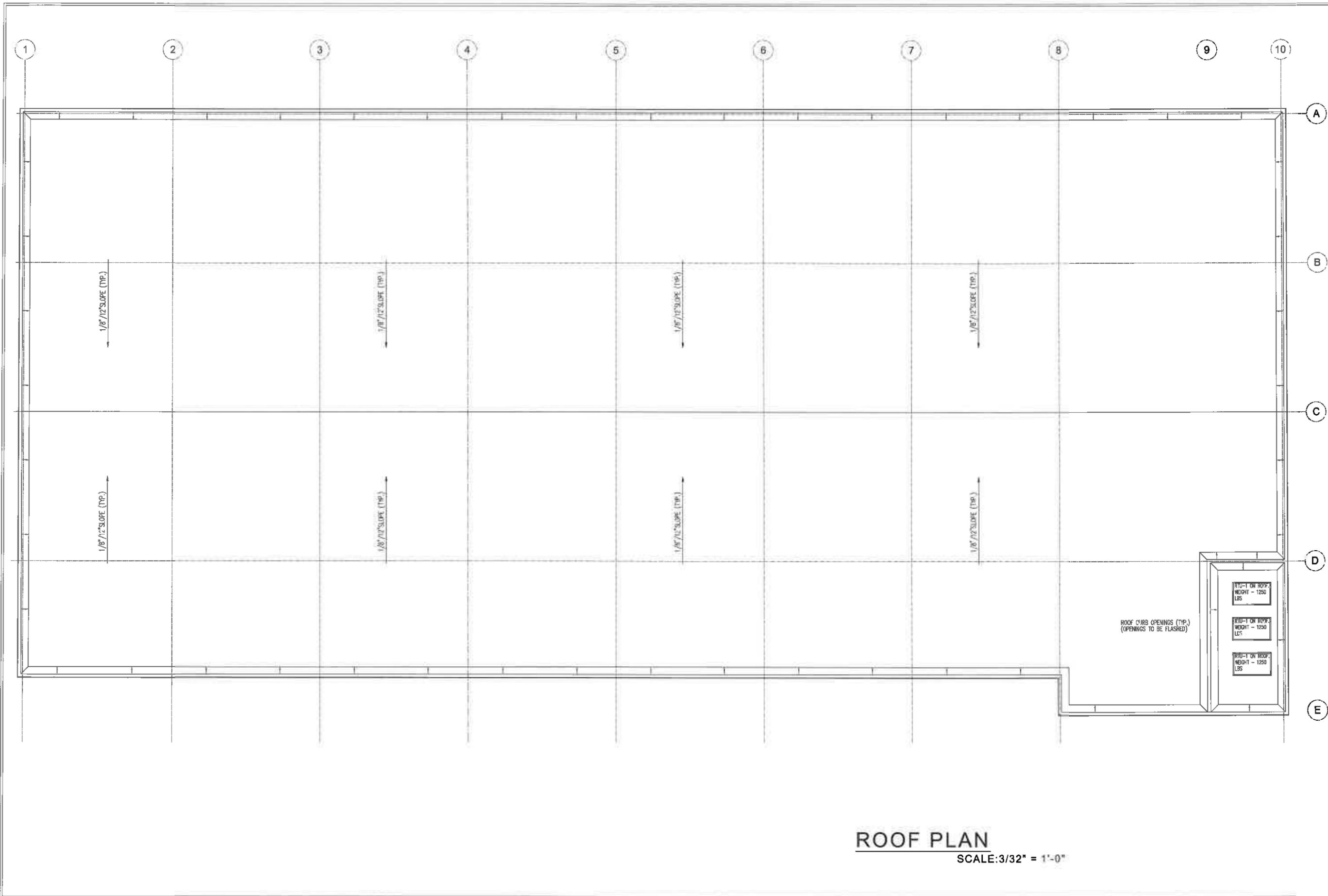
**KOSIOL ENGINEERING SERVICES**  
 1621 Ocean Avenue Lake Villa, IL 60052  
 PH: (800) 438-8668 F: (815) 427-0409  
 www.kosiolengineering.com

**KES**

SCALE AS NOTED	PROJECT NUMBER	REV	DATE	DESCRIPTION	DRAWN BY
1/4" = 1'-0"	14248	0	10/21/15	BUILDING A CONCEPT PLANS FOR PERMIT	JPH
		1	11/09/15		
		2	11/22/15	REVISIONS PER CONCEPT REVIEW	

**CEILING PLAN**  
 7601 Quincy Street, Bldg A  
 WILLOWBROOK, ILLINOIS

Page: 2



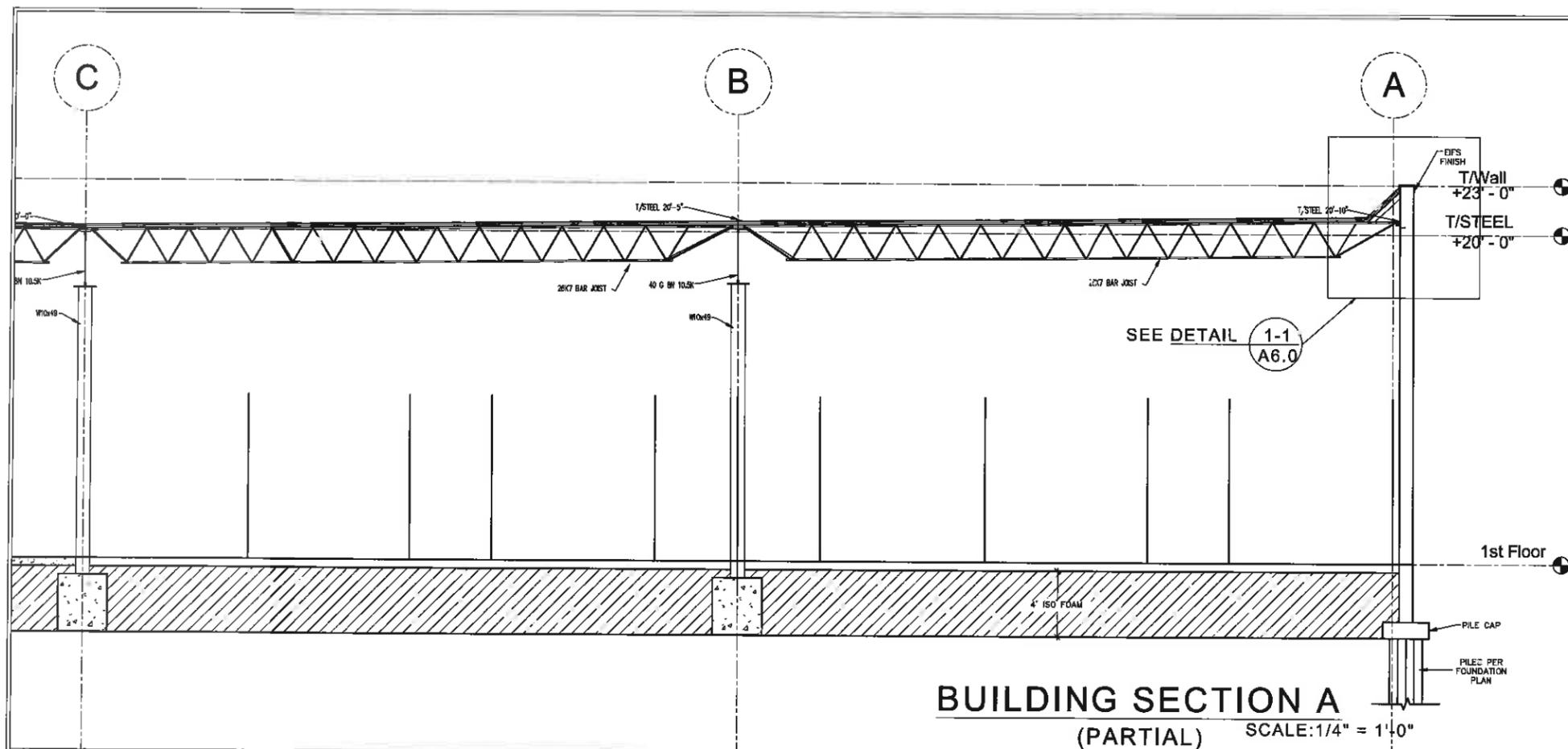
REV	DATE	DESCRIPTION	DRAWN BY
0	10/31/15	BUILDING A CONCEPT PLANS FOR PERMIT	JPH
1	11/20/15		
2	12/22/15	REVISED PER CONCEPT REVIEW	

SCALE AS NOTED	PROJECT NUMBER
14C.3	14C.3
<b>ROOF PLAN</b> 7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	

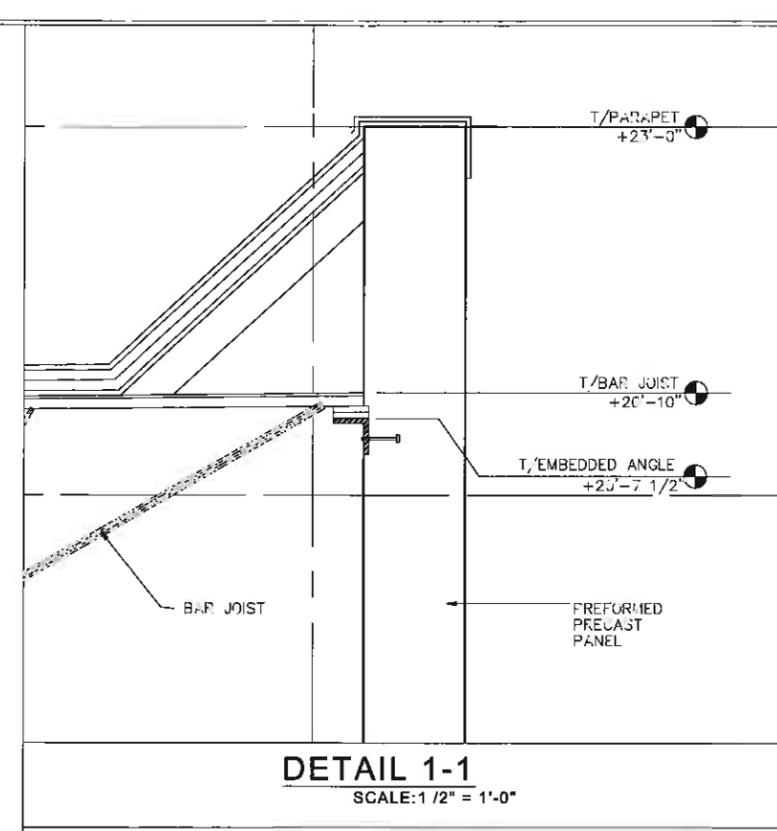
**ROOF PLAN**  
 SCALE: 3/32" = 1'-0"

ROOF CURB OPENINGS (TYP.)  
 (OPENINGS TO BE FLASHED)

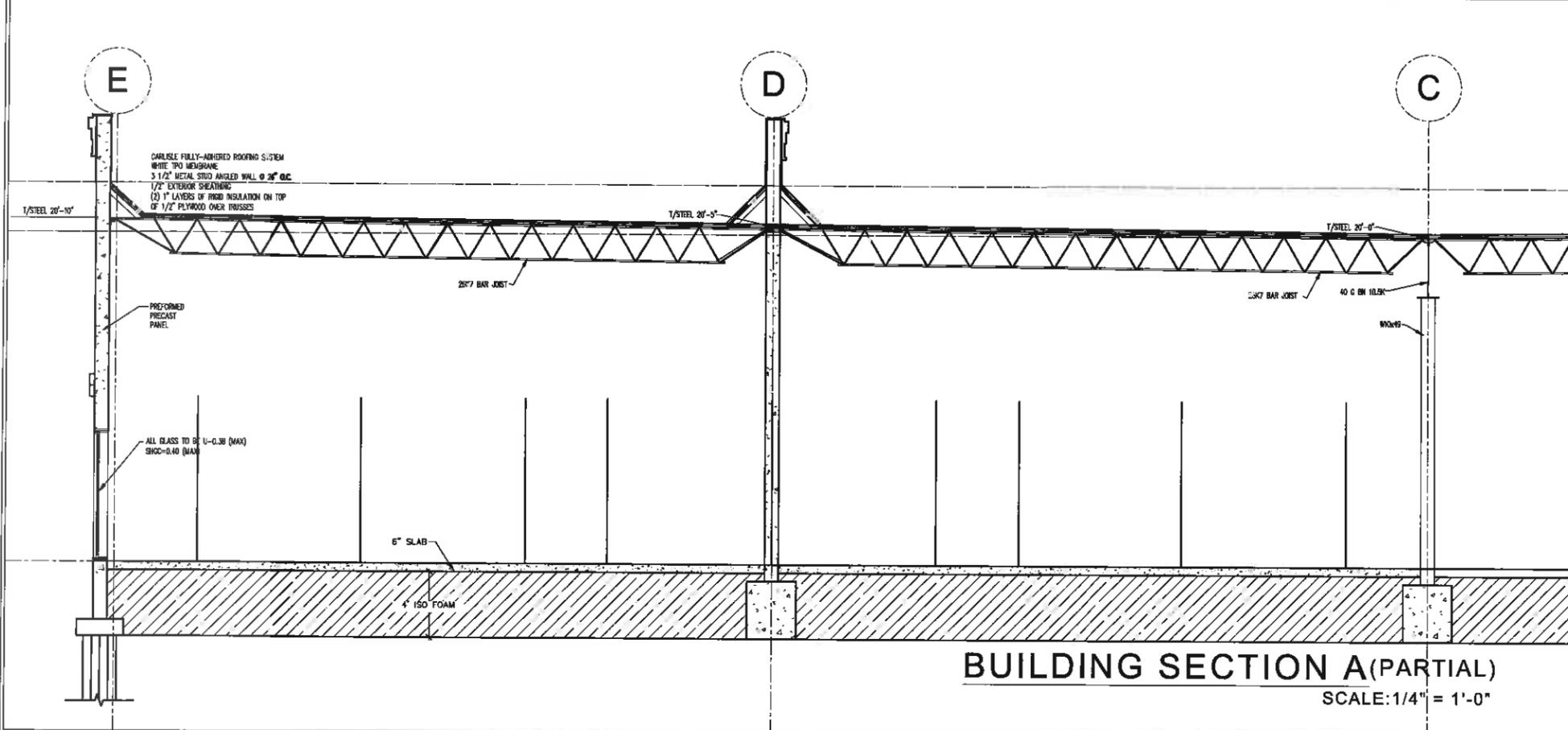
- RIU-1 ON ROOF - WEIGHT - 1250 LBS
- RIU-1 ON ROOF - WEIGHT - 1250 LBS
- RIU-1 ON ROOF - WEIGHT - 1250 LBS



**BUILDING SECTION A**  
(PARTIAL) SCALE: 1/4" = 1'-0"



**DETAIL 1-1**  
SCALE: 1/2" = 1'-0"



**BUILDING SECTION A (PARTIAL)**  
SCALE: 1/4" = 1'-0"

**KOZIOL ENGINEERING SERVICES**  
1431 Ogden Avenue, Suite 200, Quincy, IL 62422  
PH: (618) 454-8888 F: (618) 454-4133  
www.koziol-engineering.com



REV	DATE	DESCRIPTION
0	10/8/15	BUILDING A CONCEPT PLANS
1	11/20/15	FOR PERMIT
2	12/22/15	REVISED PER CONCEPT REVIEW

SCALE AS NOTED	PROJECT NUMBER 14249
----------------	----------------------

**BUILDING CROSS SECTION**  
7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS

Page 2 of 4

NOTE: ALL FINISH COLORS, TILE AND CARPET GRADES BY OWNER.

### ROOM FINISH KEY

FLOORS		BASES		WALLS		CEILING	
KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION
F-1	CONCRETE-SEALED AND PAINTED	B-1	CERAMIC CORED BASE	W-1	CONCRETE BLOCK - PAINTED	C-1	EXPOSED CONSTRUCTION
F-2	VINYL COMPOSITION TILE	B-2	1/2" VINYL CORNER	W-2	GYPSON BOARD - PAINTED	C-2	GYPSON BOARD - PAINTED
F-3	CERAMIC TILE, NON-SLIPPERY	B-3	WOOD STRAIGHT	W-3	WALL COVERING - CHAMLESS STEEL	C-3	2x4 ACoustIC TILE
F-4	HARDWOOD	B-4	WOOD (3 1/2")	W-4	WOOD PANELING	C-4	2x4 ACoustIC TILE AND GRID SYSTEM
F-5	CARPET			W-5	CERAMIC TILE - FULL HEIGHT	C-5	STAINLESS STEEL
				W-6	GLASS AND GYPSON BOARD	C-6	WIRE CLAD REINFORCED 2x4 CEILING TILE
				W-7	GYPSON BOARD - TOP COVERED		

### DOOR SCHEDULE

DOOR NO.	QTY.	DOORS				FRAMES				HOUR	REMARKS	
		WIDTH	HEIGHT	THICK.	MATERIAL	CORE	TYPE	W	H			
FIRST FLOOR												
01	1	1'-0"	7'-0"	1'-0"	METAL	H.C.	A					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET & CLOSER
02	2	3'-0"	7'-0"	1'-0"	METAL	H.C.	A					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
03	1	3'-0"	7'-0"	1'-0"	METAL	H.C.	A					INSULATED METAL DOOR W/ PINNACLE LOCK SET & CLOSER
04	1	3'-0"	7'-0"	1'-0"	METAL	H.C.	A					INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
05	2	3'-0"	7'-0"	1'-0"	STEEL	GLASS	B					A.S.A. APPROVED FRAME HARDWARE W/ CLOSURES COMMERCIAL I.C.E. SET 1/4" TEMPERED GLASS

NOTE: OWNER OR CONTRACTOR SHALL VERIFY MANUFACTURER'S SPECIFICATIONS FOR DOOR HARDWARE. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PULLING OR TWISTING OF THE HAND TO OPERATE. EGRESS DOORS SHALL OPEN READILY FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

### GENERAL NOTES

- THESE NOTES SHALL APPLY WHERE NOT OTHERWISE INDICATED ON DRAWINGS OR IN SPECIFICATIONS.
- A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS WHETHER OR NOT SPECIALLY INDICATED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO ENSURE COMPLIANCE WITH ALL GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS AND EACH TYPE OF WORK REQUIRED.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PRE- PARATION OF THESE DRAWINGS, THE PREPARED CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND HIS SUBCONTRACTORS ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS, AND BE RESPONSIBLE FOR THE SAME.
- APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. SUBCONTRACTORS SHALL VERIFY AND ENSURE CONFORMANCE WITH OWNER'S REQUIREMENTS, BUT IN NO CASE SHALL SYSTEMS BE SUBSTANDARD TO REQUIREMENTS OF GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- INTERIOR AND EXTERIOR WALL DIMENSIONS ARE NOMINAL, ROUGH TO ROUGH.
- CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY.
- ALL CONTRACTORS SHALL HAVE A CERTIFICATE OF INSURANCE AND A \$10,000 SURETY BOND. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LICENSE THAT HAS A COMMISSION AND GIVES A TEST. THE ROOF CONTRACTOR SHALL HAVE A STATE LICENSE. THE PLUMBING CONTRACTOR SHALL HAVE A STATE LICENSE. ALL OTHER CONTRACTORS SHALL SECURE A CONTRACTOR'S LICENSE FROM THE VILLAGE OF JUSTICE, BEFORE THE PERMIT WILL BE ISSUED.

### GENERAL EQUIPMENT NOTES:

- WELT BLADE TYPE HANDLES ARE REQUIRED ON ALL SINKS.
- IF STAINLESS STEEL "PLASH GUARDS" ARE REQUIRED AT ALL HANDSINKS.
- ANY EXISTING AND/OR USED EQUIPMENT INCLUDING SHALL HAVE BE NSF APPROVED, CLEAN, OPERABLE, AND SUBJECT TO TRIAL APPROVAL BY THE COOK COUNTY HEALTH DEPARTMENT.
- COUNTER TOPS TO BE STAINLESS STEEL, OR SOLID SURFACE (NO PLASTIC LAMINATE).
- CABINET SHELVES TO BE STAINLESS STEEL OR WIRE (NO PLASTIC LAMINATE OR WOOD) NSF APPROVED RESTROOM COUNTER TOPS, IF APPLICABLE, TO REFLECT SOLID SURFACE (NO PLASTIC LAMINATE OR CABINETRY).

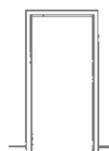
### GENERAL PUBLIC HEALTH NOTES:

- COVERED WASTE CANS ARE REQUIRED IN ALL RESTROOMS.
- TOILETS, URINALS, HAND SINKS, THREE COMPARTMENT SINKS, MOP SINKS, PREP SINKS, AND PERMANENT COUNTERTOPS/CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH SLOTTED CHALK SEAL.
- ANTI-SIPHON DEVICES ARE REQ. ON ALL TOILET TANKS, URINALS, AND FAUCETS WITH ROSE CONNECTIONS.
- SOAP AND PAPER TOWELS ARE REQ. AT ALL HAND SINKS.

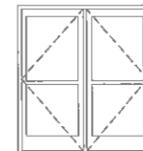
### FIRE PROTECTION NOTES

- THE FLAME SPREAD & SMOKE DEVELOPED RATINGS OF ALL INSULATION MATERIALS & INTERIOR FINISHES SHALL CONFORM TO ASTM E84.
- PORTABLE FIRE EXTINGUISHERS FOR THIS BUILDING SHALL BE IN COMPLIANCE WITH SECTION 908 OF THE 2008 INTERNATIONAL FIRE CODE (IFC) AND NFPA 10, PER TABLE 908.3(1) OF THE 2008 IFC. THE MAXIMUM TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET. IN ADDITION, THE PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE AND SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL.
- FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM) TO BE DESIGNED BY OTHERS.
- FIRE ALARM AND DETECTION SYSTEM TO BE DESIGNED BY OTHERS.

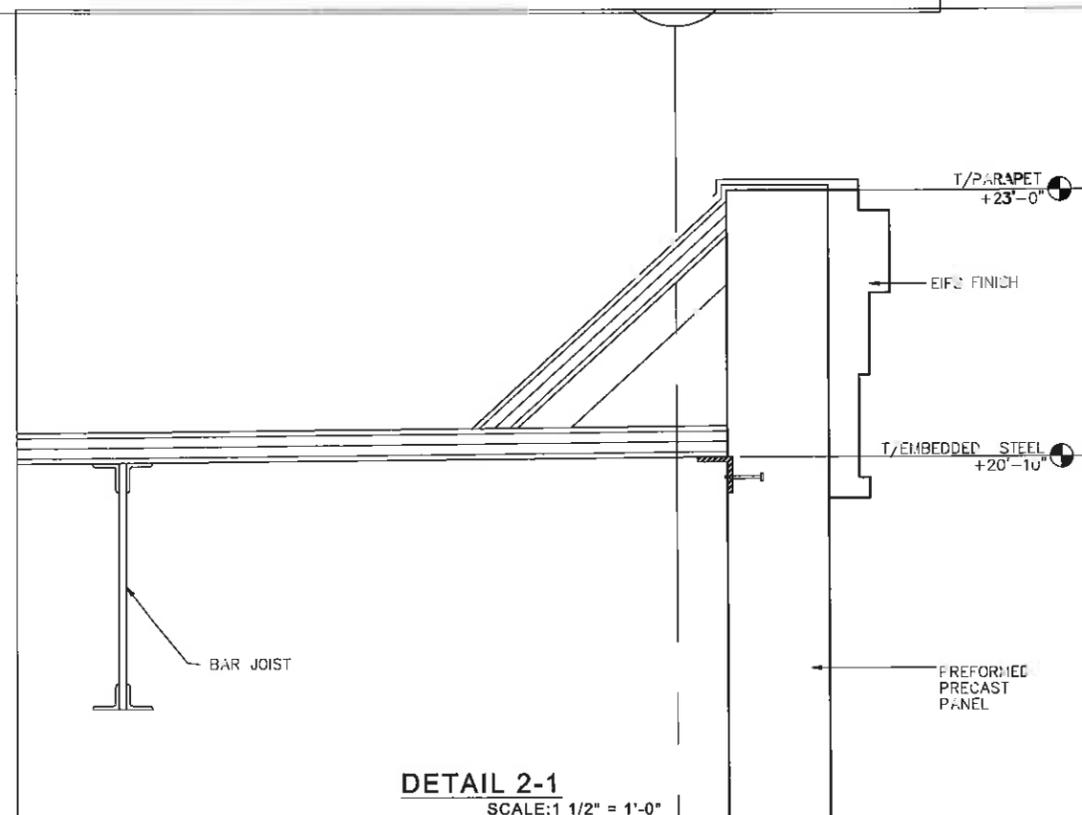
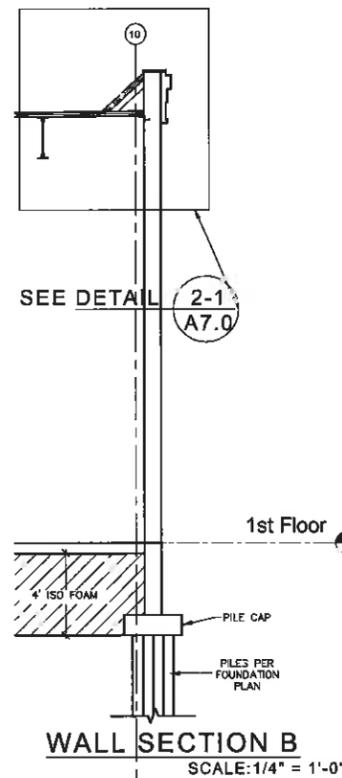
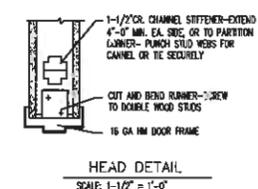
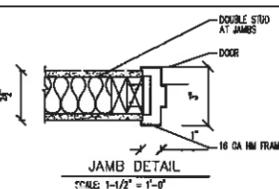
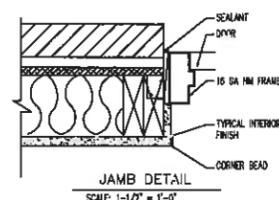
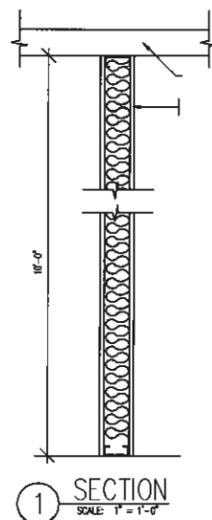
### DOOR TYPES:



TYPE 'A'  
1-3/4" INSUL  
HOLLOW METAL

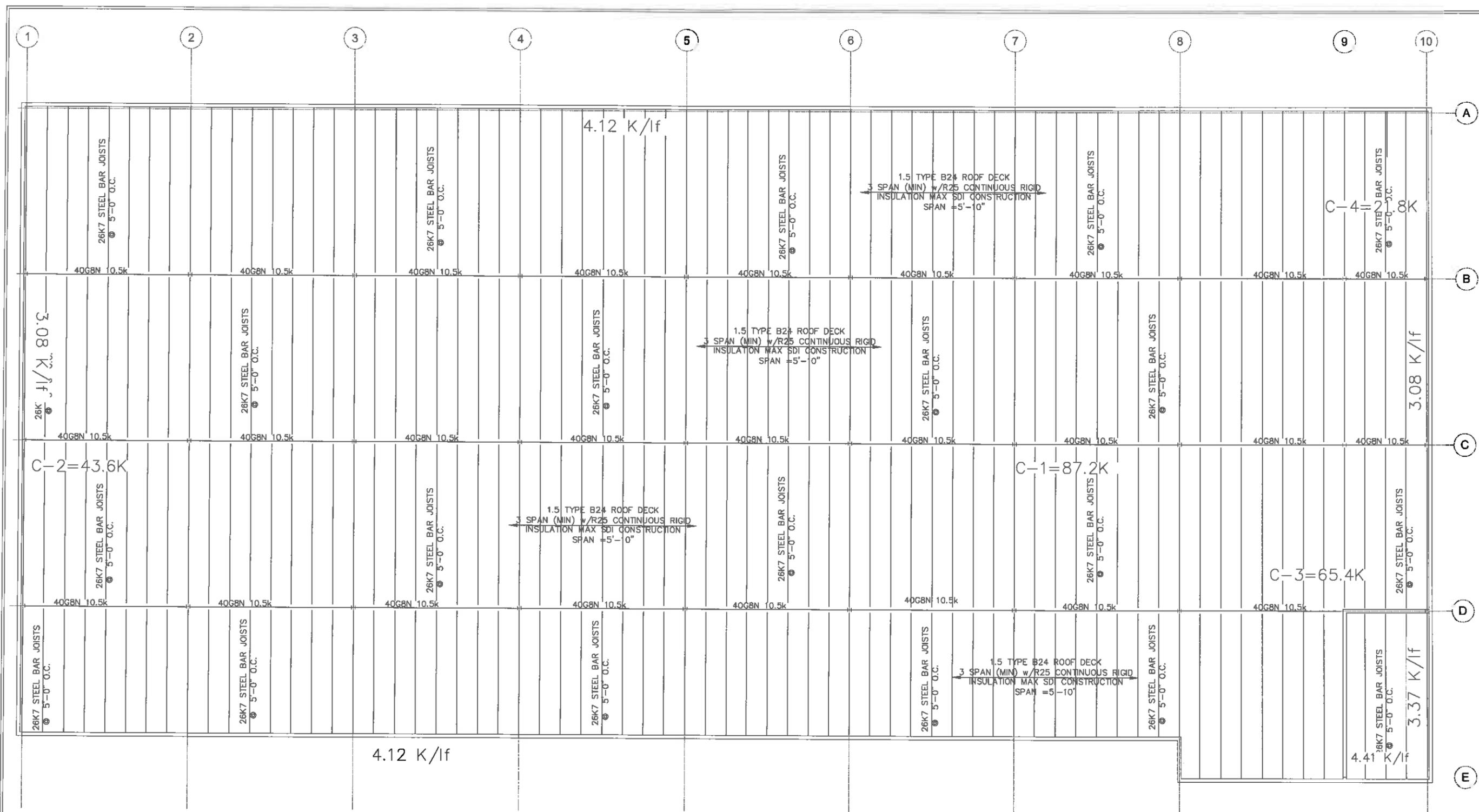


- ALL EXTERIOR DOORS TO HAVE APPROVED FRAME HARDWARE.
- ALL FIRE RATED DOORS TO RECEIVE FRAME HARDWARE, MIN. 3 MINUTES, THRESHOLD, AUTOMATIC DRAIN CLOSURE.
- ALL DOORS SHOWN TO BE FIELD TESTED PRIOR TO ORDERING.
- ALL DOOR HARDWARE TO BE A.S.A. APPROVED.
- THE PROPOSED DOOR OPENING HARDWARE SHALL BE OPERATED BY SINGLE HAND WITH CUT HEAVES OF RIGHT GRASPING, LIGHT PULLING OR TWISTING OF THE HAND.



DRAWN BY:	JRH
DESCRIPTION:	BUILDING A CONCEPT PLANS FOR PERMIT
DATE:	10/20/15
REV:	0 10/20/15
SCALE:	AS NOTED
PROJECT NUMBER:	14249
SCHEDULES & DETAILS	
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	





**FRAMING PLAN**  
SCALE: 3/32" = 1'-0"



REV	DATE	DESCRIPTION	DRAWN BY
0	10/9/15	BUILDING & CONCEPT PLANS FOR PERMIT	JRH
1	11/20/15	FOR PERMIT	
2	1/2/16	REVISION PER CONCRETE REVISION	

SCALE AS NOTED	PROJECT NUMBER
	14929

**FRAMING PLAN**  
7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS

# QUINCY STREET STORAGE BUILDING B

## 7601 QUINCY STREET WILLOWBROOK, ILLINOIS



### LOCATION MAP:



QUINCY STREET STORAGE  
7601 QUINCY STREET  
WILLOWBROOK, IL

### PROJECT DIRECTORY:

#### OWNER:

#### ARCHITECT:

KOZIOL AND BROWN  
ARCHITECTS AND ENGINEERS  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8688  
DESIGN FIRM #184-003978

#### ENGINEER:

KOZIOL ENGINEERING SERVICES  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8688  
DESIGN FIRM #184-000988

#### VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT  
24401 LOCKPORT ST  
PLAINFIELD, IL 60544  
815/439-2937

### SHEET INDEX:

#### ARCHITECTURAL

A0 COVER PAGE  
A1.0 FRONT AND REAR ELEVATIONS  
A2.0 LEFT AND RIGHT ELEVATIONS  
A3.0 FLOOR PLAN  
A4.0 BUILDING SECTION

#### STRUCTURAL

S1.0 FOUNDATION PLAN  
S2.0 FRAMING PLAN  
S3.0 FRAMING DETAILS

### PROJECT INFORMATION

PROJECT ADDRESS: 7601 QUINCY STREET  
WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)  
ONE-STORY  
SPRINKLERED

CONSTRUCTION TYPE: II-B

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

#### LOADS:

FIRST FLOOR LOADS:  
DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)  
DEAD 10 PSF (PARTITIONS/ FINISHES)  
LIVE 100 PSF

ROOF LOADS:  
DEAD 25 PSF (10 PSF ROOF)  
(10 PSF BOTTOM CHORD-MECH)  
(5 PSF TRUSS)

LIVE:  
ROOF: 30 PSF  
SNOW (Pg): 25 PSF  
Ce= 0.80  
Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,  
EXPOSURE B

LIVE:  
WIND: 25 PSF  
Iw= 1.00

CONSTRUCTION:  
DEAD 15 PSF  
LIVE 20 PSF  
WIND 8.4 PSF 1 YEAR DURATION

SEISMIC DATA:  
IMPORTANCE FACTOR 1.0  
OCCUPANCY CATEGORY II  
Sa 0.16  
S1 0.05  
SITE CLASS 0  
Sds 0.17  
Sd1 0.08  
SEISMIC DESIGN CATEGORY B

#### VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

- 2009 EDITION OF THE INTERNATIONAL BUILDING CODE
- 2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE
- 2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
- 2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE
- 2009 EDITION OF THE INTERNATIONAL PLUMBING CODE
- 2004 ILLINOIS STATE PLUMBING CODE
- 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE
- ILLINOIS ENERGY CONSERVATION CODE
- 2009 EDITION OF THE INTERNATIONAL FIRE CODE
- 2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE
- 1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

JAMES E. KOZIOL, P.E. EXP 11-30-15  
PAGES M1.0 THROUGH E2.0

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

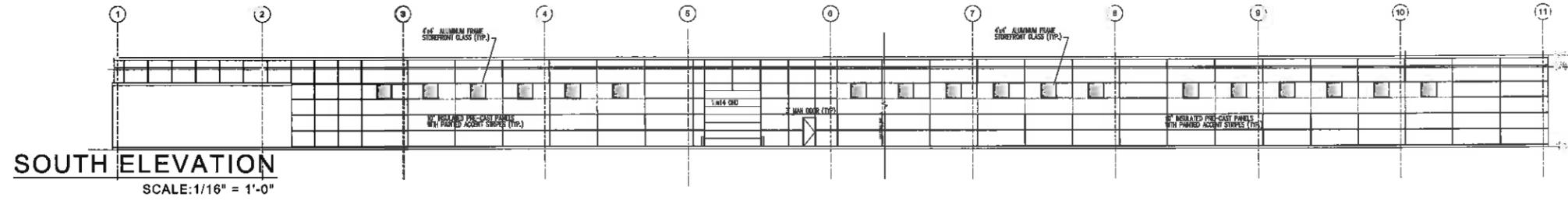
PHYLIS G. BROWN, REGISTERED ARCHITECT  
EXP 11/30/16  
PAGES A1.0 THROUGH

REV	DATE	DESCRIPTION	DRAWN BY
0	10/9/15	BUILDING CONCEPT PLANS	JRH
1	11/20/16	FOR PERMIT	JRH
2	12/29/16	PER REVIEW	JRH

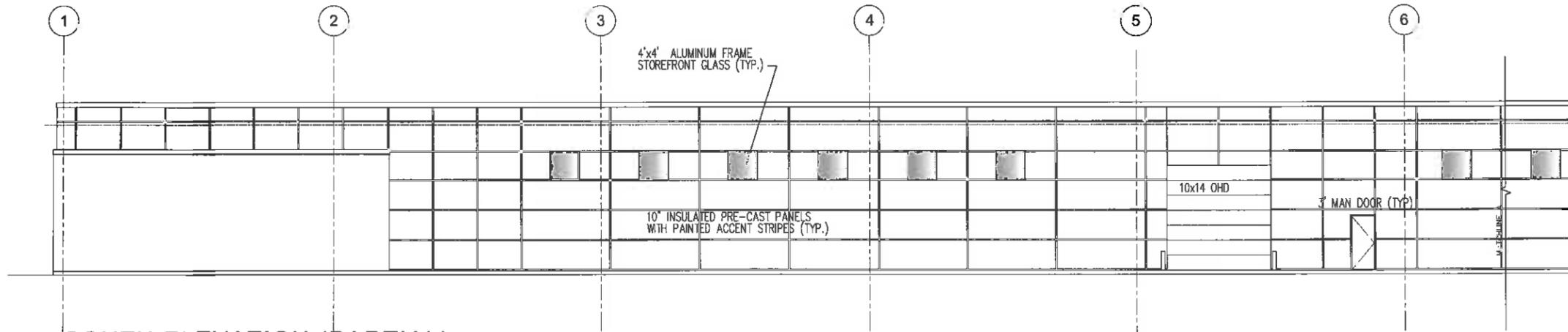
SCALE AS NOTED  
PROJECT NUMBER 14298

**COVER SHEET**

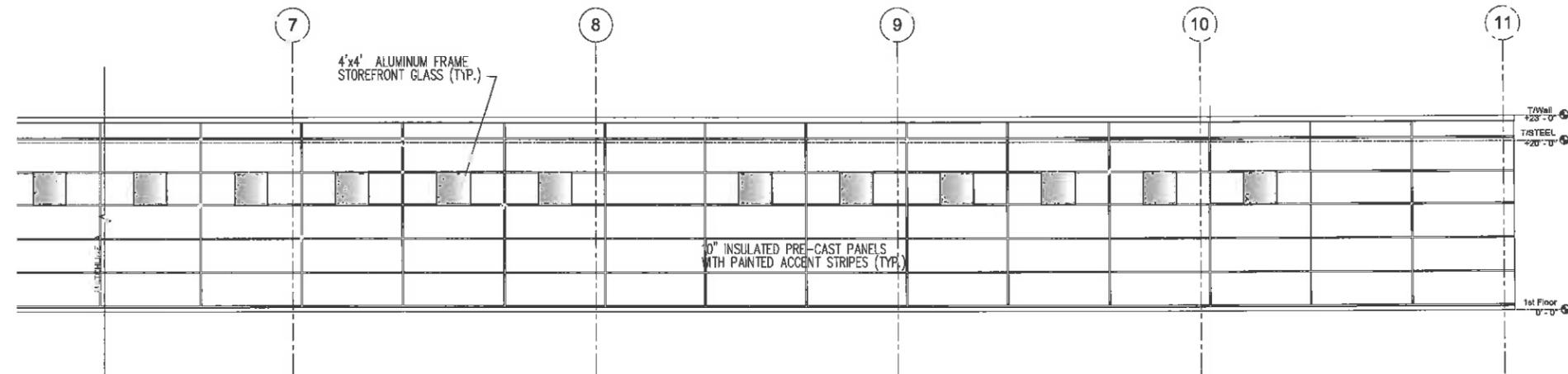
7601 Quincy Street, BLDG B  
WILLOWBROOK, ILLINOIS



**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION	DRAWN BY
0	10/21/15	BUILDING B CONCEPT PLANS	JRH
1	11/20/15	FOR PERMIT	JRH
2	12/23/15	PER REVISION	JRH

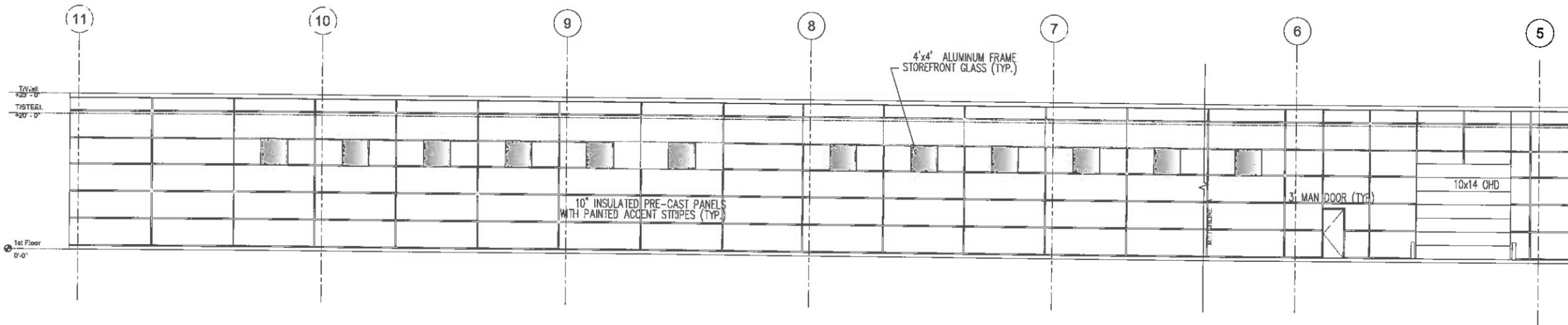
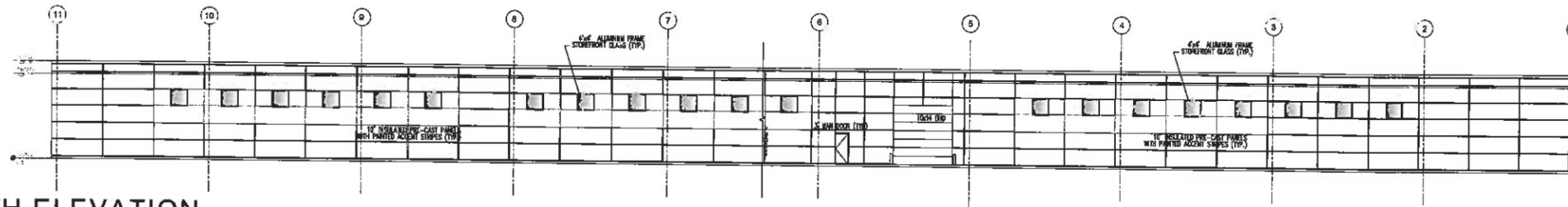
SCALE	PROJECT NUMBER
AS NOTED	14249

SOUTH ELEVATION
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS

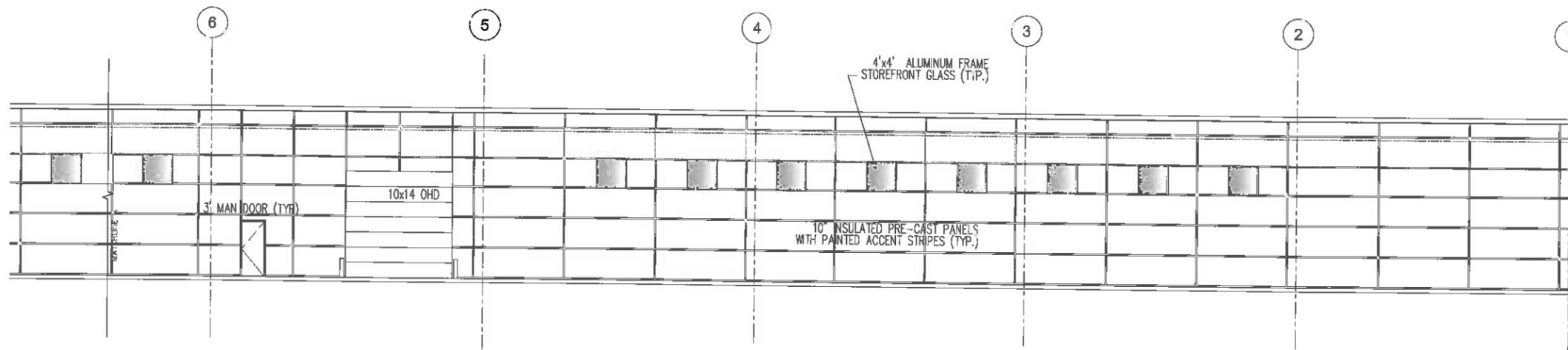
**NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



**NORTH ELEVATION (PARTIAL)**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION (PARTIAL)**

SCALE: 1/8" = 1'-0"



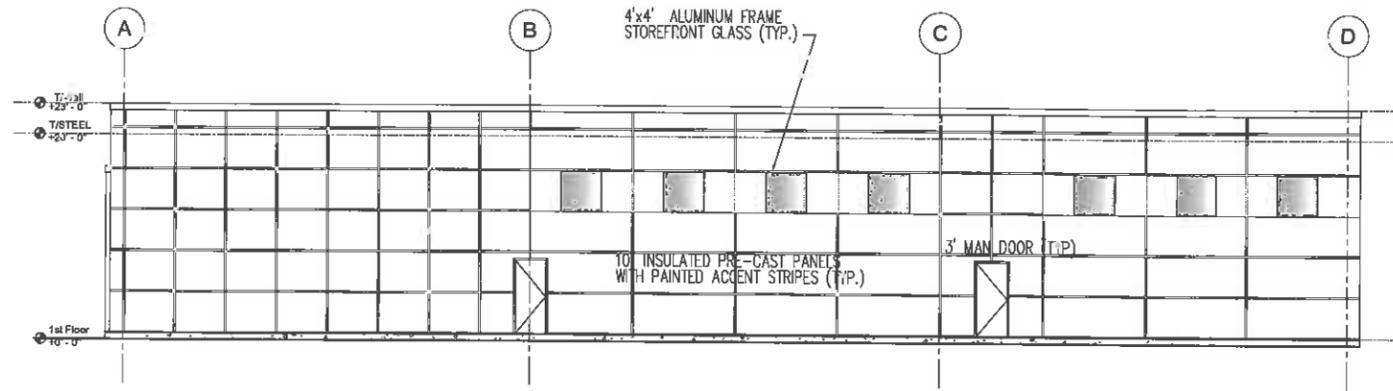
REV	DATE	DESCRIPTION	DRAWN BY
0	10/31/15	BUILDING B CONCEPT PLANS	JRH
1	11/20/15	FOR PERMIT	JRH
2	12/23/15	PER REVIEW	JRH

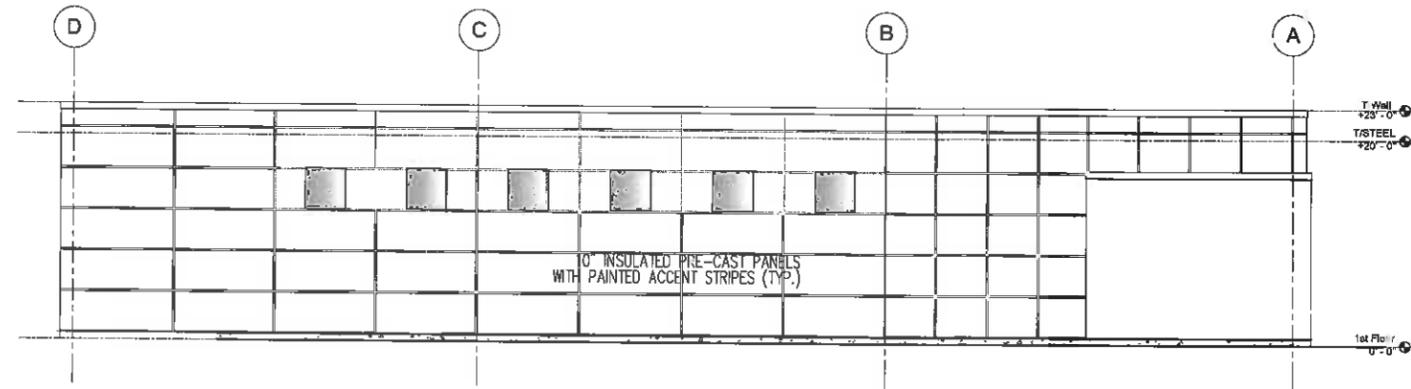
SCALE	AS NOTED	PROJECT NUMBER
AS NOTED	AS NOTED	14519

<b>ELEVATION NORTH</b>
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION	DESIGNED BY:
0	10/27/15	BUILDING & CONCEPT PLANS	JRH
1	11/20/15	FOR PERMIT	JRH
2	12/21/15	PER REVIEW	JRH

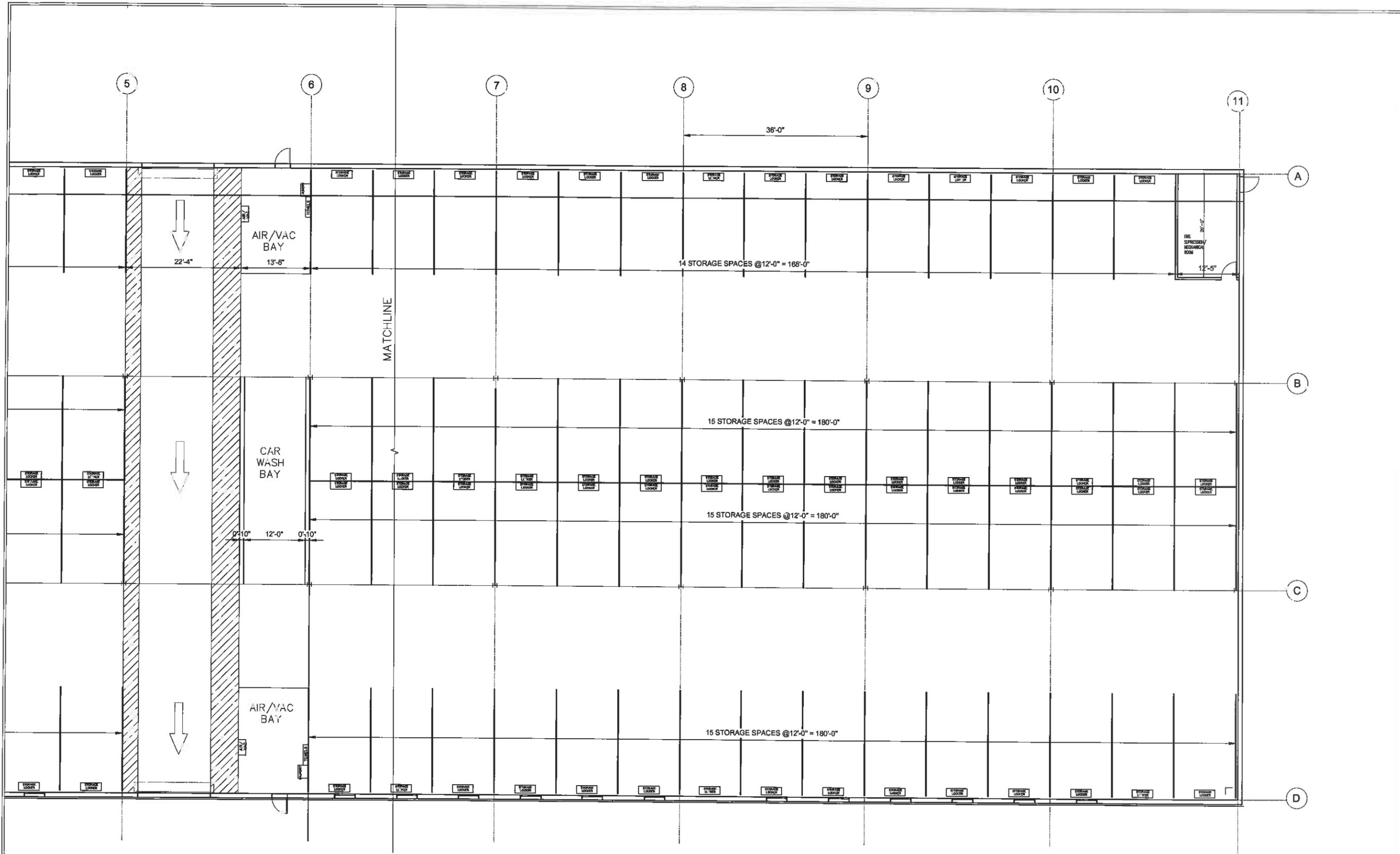
  

SCALE	AS NOTED	PROJECT NUMBER
		14268

ELEVATIONS
EAST & WEST
7601 Quincy Street, BLDG B
WILLOWBROOK, ILLINOIS





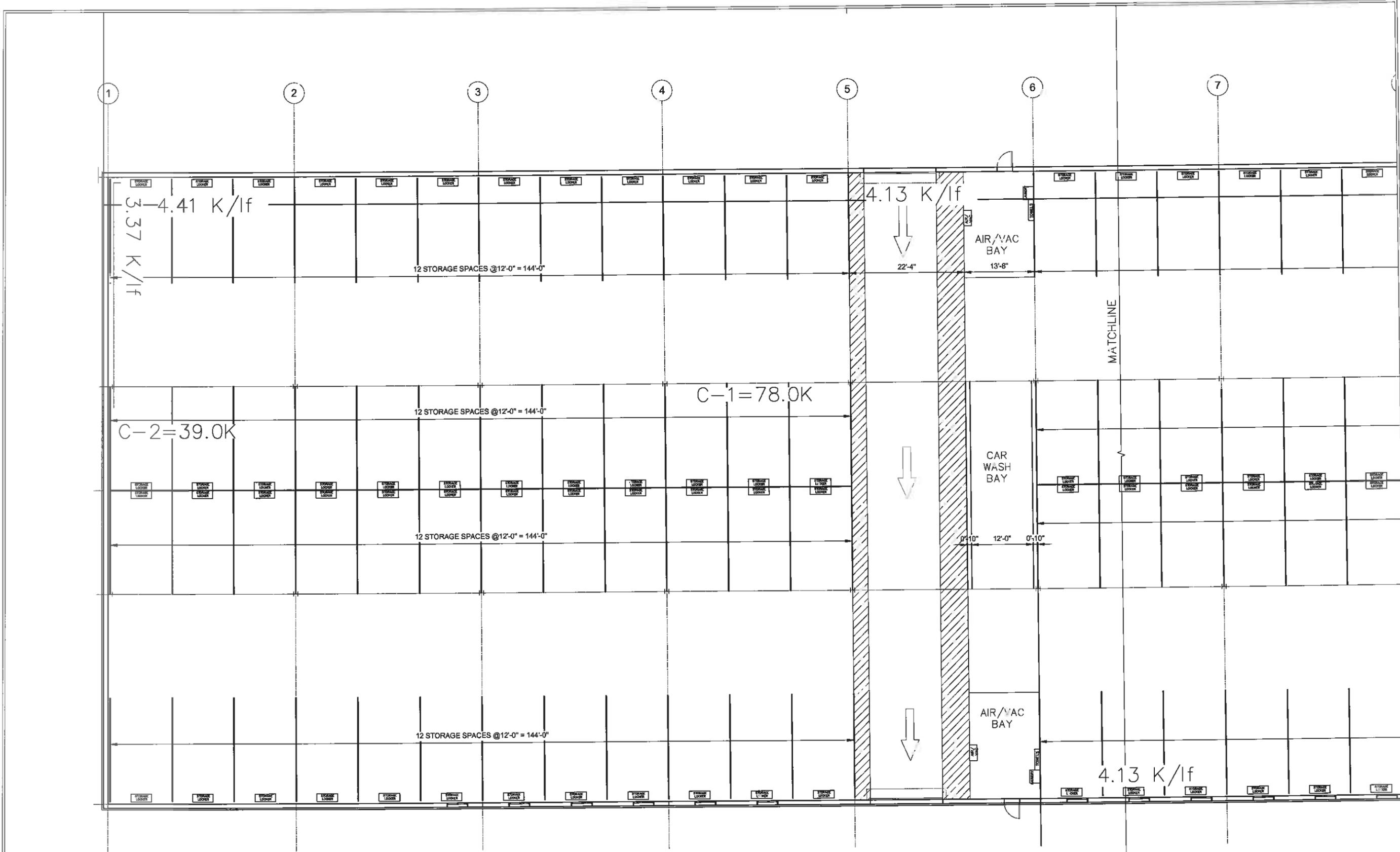
**FLOOR PLAN (partial)**

SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION
0	10-21-15	BUILDING B CONCEPT PLANS
1	11-11-15	FOR PERMIT
2	12-21-15	PER REVIEW

PROPOSED FLOOR PLAN  
 7601 Quincy Street, BLDG B  
 WILLOWBROOK, ILLINOIS



**FLOOR PLAN (partial)**

SCALE: 1/8" = 1'-0"



<b>PROPOSED FLOOR PLAN</b> 7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS	SCALE AS NOTED	REV 0 1 2	DATE 10/9/15 11/20/15 12/3/15	DESCRIPTION BUILDING CONCEPT PLANS FOR PERMIT PER REVIEW	DRAWN BY JRH JRH JRH
	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313
	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313	PROJECT NUMBER 14313

# FINAL ENGINEERING

for  
**7601 S. QUINCY ST.**  
WILLOWBROOK, IL

## LEGAL DESCRIPTION

OF PART OF LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 36 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 22, 1979 AS DOCUMENT R78-41722, IN DUPAGE COUNTY, ILLINOIS.



## DRAWING INDEX

PAGE C-0	TITLE BLOCK AND SPECIFICATIONS
PAGE C-1	EXISTING CONDITIONS/DEMOLITION/SWPPP
PAGE C-2	OVERALL PLAN
PAGE C-3	GEOMETRIC PLAN NORTH
PAGE C-4	GEOMETRIC PLAN SOUTH
PAGE C-5	UTILITY PLAN NORTH
PAGE C-6	UTILITY PLAN SOUTH
PAGE C-7	GRADING PLAN NORTH
PAGE C-8	GRADING PLAN SOUTH
PAGE C-9	SNIP-OVERLAND FLOOD ROUTE
PAGE C-10	DETAILS
PAGE D-11	DETAILS
PAGE D-12	SIGN LOCATION PLAN
PAGE C-13	SIGN DETAILS
PAGE L-1	LANDSCAPE PLAN
PAGE L-2	LANDSCAPE DETAILS

- ### GENERAL NOTES
- (JULIE. (800) 692-0123)
1. Definition of terms:
- The CONTRACTOR is the individual, firm, partnership or corporation contracting with the OWNER for the performance of the prescribed work.
  - The OWNER is the individual, firm, partnership or corporation having the authority to award the contract for the prescribed work.
  - The ENGINEER shall be the OWNER's representative, and/or the designated representative from the local jurisdictional agency having authority over the prosecution of the prescribed work.
2. All CONTRACTORS shall be responsible for the following, which shall also be incidental to the cost of construction:
- Examination of the Engineering Plans and Specifications prior to submitting a bid, and notifying the ENGINEER of any discrepancies.
  - The obtaining of any necessary permits not previously applied for by the OWNER, and posting of the necessary bonds.
  - The notification of the start of construction to all jurisdictional agencies, utility companies, and the ENGINEER, shall be at least two (2) working days prior to said start. All existing utilities must be staked by JULIE prior to construction.
  - Calling attention to the OWNER of any errors or discrepancies which may be suspected on lines and grades which are established by the owner. The CONTRACTOR shall not proceed with the work until the lines and grades which are believed to be in error have been verified or corrected by the OWNER. Additional staking that may be required due to CONTRACTORS negligence, shall be paid for by the CONTRACTOR.
  - The contractor is responsible for providing safe and healthful work conditions throughout the prosecution of the construction work. This shall include, but not be limited to: the removal of debris, the protection of construction hazards with barricades, and the keeping of public street pavement clean of construction dirt and debris.
  - The restoration to the original condition or better of any off-site areas that are damaged by CONTRACTOR during construction.
  - The testing of materials, if required by the jurisdictional agencies.
  - The guarantee of all materials and workmanship for a period of one (1) year upon final acceptance by the OWNER and the jurisdictional agencies.
3. The OWNER shall be responsible for the following:
- Scheduling the necessary pre-construction meeting(s) with the jurisdictional agencies with all SUB-CONTRACTORS present.
  - Providing the CONTRACTOR with one (1) set of control line and grade stakes (at all areas mutually agreed upon) for the proper prosecution and control of the work.

- ### GENERAL SPECIFICATION
1. The General Specifications which apply to the construction work as shown on the Engineering Plans, are contained in the following documents:
- Standard Specifications for Road and Bridge Construction latest edition as adopted by the State of Illinois, Department of Transportation.
  - Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition as adopted by the Illinois Society of Professional Engineers, et al.
  - Standards and Specifications of the Village of Willowbrook, IL.

- ### 1. EARTHWORK IMPROVEMENTS
- a. **Topsoil Excavation**—All topsoil is to be stripped and stockpiled in the location shown on the plan. All excess is to be removed from the site by the contractor.
- b. **Earth Excavation**
- Excavation of earth and other materials which are suitable for use as structural fill. The excavation shall be to within the tolerance of 0.3 feet (plus or minus) of the plan sub-grade elevations. The (plus or minus) tolerance within pavement areas shall be such that the earth material shall "balance" as part of the fine grading operation.
  - Placement of the earth and other suitable materials shall be within three areas requiring structural fill in order to achieve the plan sub-grade elevations to within a tolerance of 0.3 feet (plus or minus). The fill material shall be placed in loose lifts that shall not exceed eight (8) inches in thickness, and the water content shall be adjusted in order to achieve the required compaction. Earth material may be placed within three portions of the building site not requiring structural fill, to within six (6) inches of the plan finished grade elevation, in areas requiring structural fill, however, the earth material shall not be placed over topsoil or other unsuitable materials unless specifically directed by the Soils ENGINEER with the concurrence of the OWNER.
  - Compaction of the earth and other suitable materials, shall be to at least 95% of the Standard Proctor Dry density, ASTM D99, within proposed pavement and building areas. Moisture compaction is required elsewhere.
  - Excess materials, if not utilized as fill, shall be completely removed from the construction site and disposed of by the CONTRACTOR.
- c. **Unsuitable Materials**
- Unsuitable material shall be considered as material which is not suitable for the support of pavement and building construction, and is to be removed from the site by the contractor.

- ### d. Construction Entrances
1. A stabilized construction entrance shall be constructed in accordance with NRCS Detail IL-630 as shown on the Detail Sheet.
- ### e. Sidewalk
- The Grading CONTRACTOR shall:
- Maintain proper site drainage at all times during the course of construction, and prevent storm water from running into or standing in excavated areas.
  - Spread and compact uniformly to the degree specified of excess trench spoil after completion of the underground improvements. (Earthwork CONTRACTOR to make appropriate adjustments in his rough grading to accommodate trench spoil).
  - Soilify and compact to the degree specified the upper twelve (12) inches of the subgrade sub-grade material, in all areas that may be soft due to excess moisture content. This applies to cut areas as well as fill areas.
  - Provide water to add to dry material in order to adjust the moisture content for the purpose of achieving the specified compaction.
  - Backfill the curb and gutter after its construction and prior to the placement of the base course material.

- ### f. Testing and Final Acceptance
- The CONTRACTOR shall provide as a minimum, a fully loaded six-wheel truck for proof rolling the pavement sub-grade prior to the placement of the curb and gutter and the base material.
  - Specific compaction testing may be required by the OWNER in selected fill areas. The CONTRACTOR shall bear the cost of compaction testing as well as the responsibility for the necessary correction(s).
  - Approval of the pavement sub-grade by the jurisdictional agency shall be required prior to the placement of the pavement materials.
- ### 2. PAVING IMPROVEMENTS
- a. **Fine Grading**
- Prior to the construction of the barrier curb and the placement of the base material, the streets shall be fine graded to within 0.1 feet plus or minus of final sub-grade elevation, to a point two (2) feet beyond the back of curb.
- b. **Curb and Gutter**
- The curb and gutter shall be the type as detailed on the Engineering Plans.
  - The curbs shall be backfilled after their construction and prior to the placement of the base course.
  - All water services shall be stamped on the curb with a "W" and a "S" for sewer.
- c. **Pavement**
- The pavement material shall be as detailed on the Engineering Plans.
- Striping/Signage
- All parking areas shall be striped as shown using 4" white painted striping.
  - Hand-dipped parking signs #3350 fine to be provided.
  - Other signage to be provided as noted on plans.
- d. **General**
- The Paving CONTRACTOR shall:
- Repair any base course and binder course failures prior to the installation of the final hot-mix asphalt surface course.
  - Sweep clean the binder course prior to the installation of the final bituminous concrete surface course. Excessive clearing of the binder course that may be required, and is not the fault of the Paving Contractor, shall be paid for on a time and material basis by prior agreement with the OWNER.
  - Permit the hot-mix asphalt binder course to weather one (1) winter season prior to the installation of the hot-mix asphalt surface course.

- ### e. Testing and Final Acceptance
- Prior to placement of the base course, the sub-grade must be approved by the local jurisdictional authority. (See "Testing and Final Acceptance for Earthwork")
  - Prior to placement of the hot-mix asphalt surface course, the CONTRACTOR, when required, shall obtain specimens of the binder course with a core drill where directed, for the purpose of thickness verification, in accordance with the General Specification entitled, "Standard Specification for Road and Bridge Construction", ART.406.1B.
- ### 3. UNDERGROUND IMPROVEMENTS
- a. **Water Main and Services**
- Material the water service shall be ductile iron pipe, which shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement-lined. The domestic water service material shall be type "K" copper.
  - Joints for the ductile iron pipe shall be the push-on (bell-flange) type. All valve and fittings shall be mechanical joint with retainer glands.
  - Cover over the pipe shall be a minimum of 5.5 feet.
  - Reinforced Encasement conforming to ANMA C105A21.5-89 shall be provided for all ductile iron pipe not in steel casing pipe.
  - Services shall extend to within five (5) feet of the face of the proposed building and be clearly located with a blue-topped 4 inch x 4 inch stake.
  - Size shall be as indicated on the Engineering Plans.
  - New water main valves, including pressure tap valves, adjacent to an existing water main, and existing water main valves shall only be operated by the Village of Willowbrook, Department of Public Utilities OEE/CM Division personnel with 48-hour notice (Monday-Friday), (8:30) 720-4122.
  - The CONTRACTOR shall rotate and/or adjust any existing and/or new hydrant to the satisfaction of the Department of Public Utilities.
  - All relative glands when required to maintain valves, fittings, hydrants and pipe joints shall be mechanical joint wedge action type MEGALUG 1100 Series as manufactured by EBBA Iron, Inc. or UNI-FLANGE BLOCKBUSTER 1400 SERIES as manufactured by Ford Meter Box Co. and shall be for use on ductile iron pipe conforming to ANSI/ANMA G151/A21.51, for nominal pipe sizes 3-inches through 48-inches.
  - Stainless steel nuts, bolts/T-bolts, and washers, type 304 or better, will be required on all water main installations. This would apply to hydrants, tapping, sleeves, valves, fittings, restrainers and other apparatuses buried or in valve vaults. Mechanical joints and restraint glands require 304 stainless steel T-bolts. An anti-seize compound shall be factory applied to nuts or bolts - any damage to this coating shall be repaired with field applied approved anti-seize compound that is molybdenum-base lubricant, Bonk Never-Seez or approved equal.

- Fire hydrants shall be tagged "NOT IN SERVICE" until all testing and disinfection has been completed and new water main section is serviced.
- Water main shall be pressure tested at a pressure of 150 psi for 4 hours. Disinfection of water main shall be performed in accordance with Village of Willowbrook Specifications.
- All valve boxes, vaults, hydrants, and manholes shall not be covered with construction debris and shall remain accessible to the respective utility company.
- Water service line smaller than 3" shall be type K copper. If joints are required due to length of service, then only compression type coupling shall be permitted. No soldered or flared type joints are allowed.

- ### b. Storm Sewer
- Material shall be as indicated on the Engineering Plan. Reinforced Concrete Pipe where indicated shall meet or exceed the performance requirements of ASTM C-76, Class II; Ductile Iron Pipe where indicated shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement-lined; PVC Pipe where indicated shall meet or exceed the performance requirements of ASTM D-2241, SDR-26.
  - Joints for Reinforced Concrete Pipe shall be bell and spigot type with bituminous mastic; for Ductile Iron Pipe shall be the push-on (bell-flange) type; and for PVC Pipe shall be ring-flange type.
  - Bedding shall be constructed with 1/4 inch to 3/4 inch size stone, with a minimum thickness of four (4) inches.
  - Size shall be as indicated on the Engineering Plans.
- ### c. Sanitary Sewer
- Material PVC (Polyvinyl Chloride) plastic pipe. All pipe and fittings shall conform with ASTM D-2241 for sizes six (6) through fifteen (15) inches. The Standard Dimension Ratio (SDR) for pipe shall be 26 as a minimum and shall be dependent upon the depth of cover. For pipe diameters eighteen (18) to twenty-seven (27) inches, pipe and fittings shall have a wall classification of 1245H-8L-76, Class II; Ductile Iron Pipe where indicated shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement-lined.
  - Fittings/Joints Pipe fitting shall conform to ASTM D-2241 and shall meet the requirements of ASTM Standard D-3139. Joints are to be ring-flange type.
  - Bedding shall be constructed with CA-7 or CA-11, with a minimum thickness of four (4) inches.
  - Sanitary sewer and water shall be constructed, tested, and placed into service in accordance with DuPage County Public Works Standard Specification and Specifications for Water and Sewer Main Construction in Illinois, Latest Edition.
  - All sanitary manholes shall be tested for leakage by vacuum testing. The manhole frame and adjusting rings shall be in place when testing. Any leaks shall be repaired from exterior of manhole-patching inside of manhole shall not be acceptable. A vacuum of 10" (254mm) Hg shall be placed on the manhole on three (3) lifts shall be maintained for the vacuum to drop to 8"(203mm) Hg. The vacuum shall not drop below 8"(203mm) Hg for the following time periods for each size of manhole: a) 48 inch dia. - 60 seconds, b) 60 inch dia. - 75 seconds, c) 72 inch dia. - 90 seconds, d) 84 inch dia. - 105 seconds. Any manholes that fail the test shall be sealed and retested until acceptable. Contractor work hours are only allowed from 7 a.m. to 7 p.m., Monday thru Saturday. No work shall be permitted on Sundays.

- ### d. Incidental to Construction
- The Underground CONTRACTOR shall:
- Adhere to the criteria for the separation between water mains and the storm and sanitary sewer lines as described in the "Technical Policy Statement", Division of Public Water Supplies, Illinois Environmental Protection Agency.
  - Be responsible to place on grade, and coordinate with other CONTRACTORS, all underground utility structure frames such as manholes, catch basins, and inlets.
  - Be aware of potential conflicts with existing utilities. The CONTRACTOR shall excavate around the existing utilities to determine their exact location and elevation prior to the construction of the proposed utility improvements.
  - Provide poured concrete fillers conforming to the shape of the pipe in all sanitary and storm manholes, and inlets.
  - Be responsible for maintaining the top of any utility trench at least two (2) feet away from any existing or proposed curb or pavement, in those instances where the trench runs parallel to said curb or pavement.
  - Be responsible for the de-watering of utility trenches during construction and providing the necessary trench bracing that may be required in order to adhere to the current OSHA safety standards.
  - Remove soft materials that may be encountered at the pipe invert elevation to a depth of at least (1) foot below the bottom of the pipe, and backfill with compacted bedding material.
  - Any public sidewalk damaged during construction shall be replaced per the Village of Willowbrook standard.
  - Do not damage the road sub-grade with excessive water saturation from hydrant flushing, or from leaks in the water distribution system. The cost of repair for such damage shall be borne by the CONTRACTOR. Hoses shall be used to direct the water from hydrant flushing into the storm sewer system (if available).
  - Repair any existing drainage lines damaged during construction and properly re-route and/or connect said line to the nearest storm sewer outlet. All locations of encountered drainage lines shall be properly indicated on the CONTRACTOR'S "As-Built" drawing.
  - Maintain proper site drainage as established by the earthwork CONTRACTOR to ensure the integrity of the roadway sub-grade.

### SUPPLEMENTAL SPECIFICATIONS

- #### a. Street Lighting
- Street/Parking Lot lighting shall be moved/constructed in accordance with the current service rules and policies of the Electric Utility Company, and accepted local ordinances.
  - All electric under impervious surfaces will be installed in rigid galvanized steel conduit of size required by the Electric Utility Company to accommodate conductor.
  - Conduit shall extend a minimum of four (4) feet beyond the back of curb on each side of surface.
  - Conduit shall be laid at an absolute minimum of 30 inches below the bottom of the curb.
  - Conduit shall be capped at both ends.
  - Expense to locate inadequately marked crossings and to extend crossings that end up under the street, will be the responsibility of the CONTRACTOR.
  - Yellow standard warning tape shall be installed one (1) foot above the street light conductor wire for the full length of all trenches.
  - Electrical contractor will submit specifications, drawings and cutaway cuts for all materials to the OWNER for approval before ordering.
  - The electrical CONTRACTOR shall furnish one set of record drawings to the OWNER upon completion of the street lighting. The drawings shall show the location of the lights along the street relative to property corners and also the location of all underground wiring.
- #### b. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- All work shall be done in general accordance with the "Illinois Urban Manual"
  - Sediment and erosion control devices shall be functional before land is otherwise disturbed on the site.
  - Vehicle access to the site shall be restricted to a gravel drive after the foundation is backfilled. Solid gravel drive shall be installed within 7 days of the backfilling of the foundation and before any construction begins above the top of foundation.
  - Any soil, mud or debris that is washed, tracked or deposited on to the street shall be removed immediately.
  - The surface of stripped area shall be permanently protected from soil erosion within 15 days after the first grade is reached. Stripped areas not at final grade that will remain undisturbed for more than 15 days after initial disturbance shall be protected from erosion.
  - If a stockpile is to remain in place for more than 3 days, then sediment and erosion control shall be provided for such stockpile.
  - Storm sewer inlets shall be protected with sediment trapping or filter control devices during construction.
  - Water pumped or otherwise discharged from the site during construction de-watering shall be filtered.

- #### c. TRAFFIC CONTROL AND PROTECTION
- All work conducted within public right-of-ways shall be governed by the following specifications for traffic control. Traffic Control shall be in accordance with the applicable articles of section 102 and 901 of the "Standard Specifications for Road and Bridge Construction", the latest edition of the Illinois Manual on Uniform Traffic Control Devices for Streets and Highways" and special details of Illinois Highway Standards listed herein.
  - All traffic control devices used on this project shall conform to the plans, special markings, barricades with sand bags, channelizing devices, warning lights, arrow boards, flagger, or any other device used for the purpose of regulating, warning or guiding traffic through the construction zone.
  - Traffic control devices include: signs and their supports, signals, pavement markings, barricades with sand bags, channelizing devices, warning lights, arrow boards, flagger, or any other device used for the purpose of regulating, warning or guiding traffic through the construction zone.
  - The CONTRACTOR shall be responsible for the proper location, installation, and arrangement of all traffic control devices. Special attention shall be given to advance warning signs during construction operations in order to keep lane assignment consistent with barricade placement at all times. The CONTRACTOR shall cover all traffic control devices which are inconsistent with detour or lane assignment patterns during the transition from one construction stage to another.
  - Construction signs referring to daytime lane closures during working hours shall be removed or covered during non-working hours.
  - The CONTRACTOR shall ensure that all traffic control devices installed by him are operational 24 hours a day, including Sundays and Holidays.

### LEGEND



### BENCHMARKS

BENCH MARK NO.1  
DUPAGE COUNTY GEODETIC SURVEY  
MONUMENT DGN28002, DISK LOCATED IN  
THE PIER ON THE SOUTHEASTLY SIDE  
OF THE BRIDGE FOR INTERSTATE 56 OVER  
MADISON STREET.  
ELEV. = 714.55 (NAVD 88)

BENCH MARK NO.2  
DUPAGE COUNTY GEODETIC SURVEY  
MONUMENT DGN38002, DISK LOCATED AT  
THE NORTHWEST CORNER OF MADISON  
STREET AND 83RD STREET.  
ELEV. = 732.83 (NAVD 88)



I, JAMES E. KOZLOL, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS SITE AND GRADING PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND THE DEVELOPMENT OF THIS SITE MEETS THE MINIMUM CRITERIA FOR STORM WATER MANAGEMENT IN ACCORDANCE WITH THE DUPAGE COUNTY ORDINANCE AND WAIVER COMMUNITY ORDINANCE AND AS SHOWN WILL NOT INCREASE RUN-OFF SO AS TO ADVERSELY AFFECT THE QUALITY OF RUN-OFF OR DAMAGE ADJACENT PROPERTIES.

NO FLOODPLAIN, WETLANDS OR BUFFERS EXIST ON THIS PARCEL.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ A.D.

082-41320  
JAMES E. KOZLOL, P.E. EXP. 11/30/18

**KOZLOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
 1601 Oakdale Avenue  
 F. (847) 625-9899  
 F. (800) 692-0123

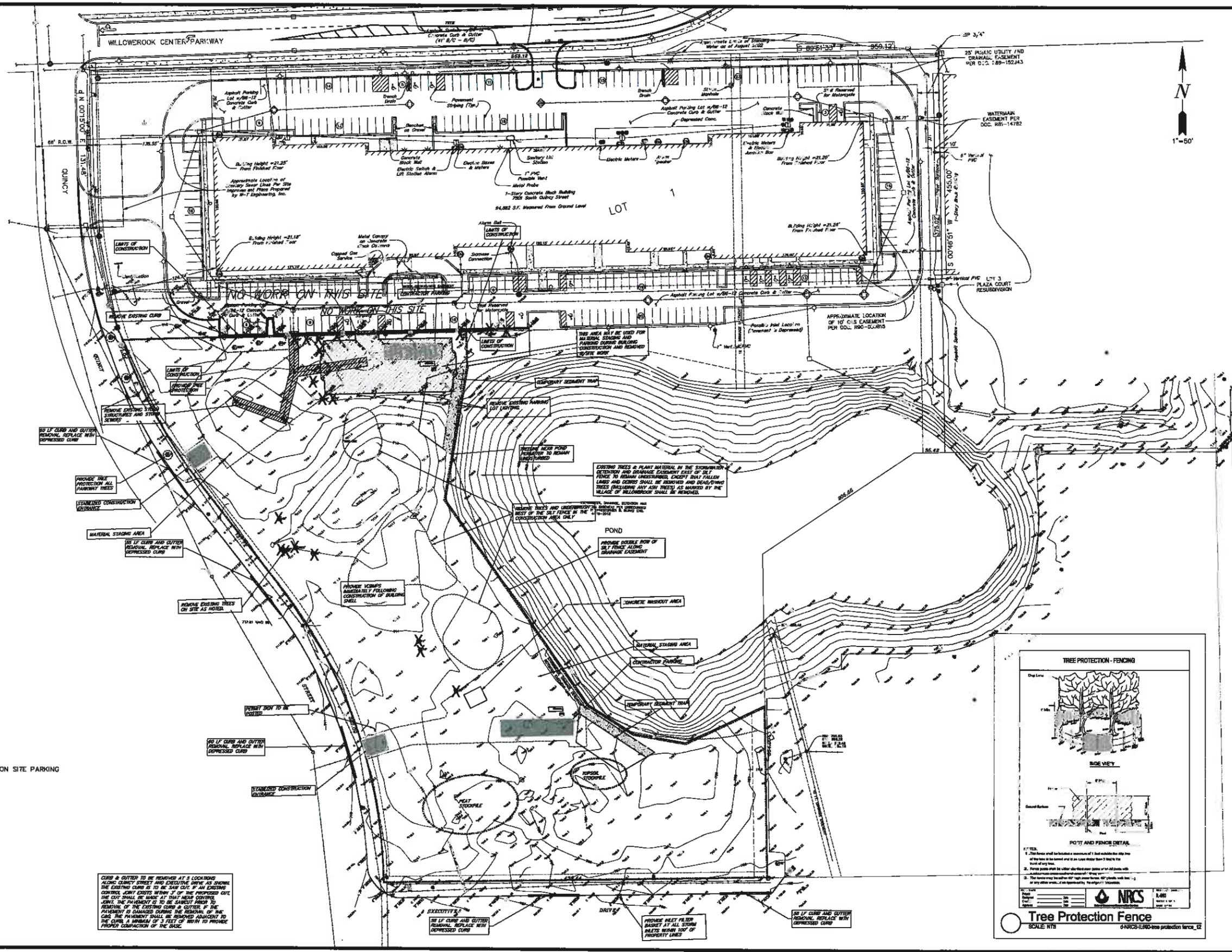


**COVER SHEET**  
 7601 S. QUINCY ST.  
 WILLOWBROOK, IL

REV	DATE	DESCRIPTION
0	08/28/18	CONCEPT PLAN
1	09/27/18	FINAL ENGINEERING
2	09/27/18	FINAL ENGINEERING
3	10/07/18	FINAL ENGINEERING
4	11/07/18	FINAL ENGINEERING

REV	DATE	DESCRIPTION
0	08/28/18	CONCEPT PLAN
1	09/27/18	FINAL ENGINEERING
2	09/27/18	FINAL ENGINEERING
3	10/07/18	FINAL ENGINEERING
4	11/07/18	FINAL ENGINEERING

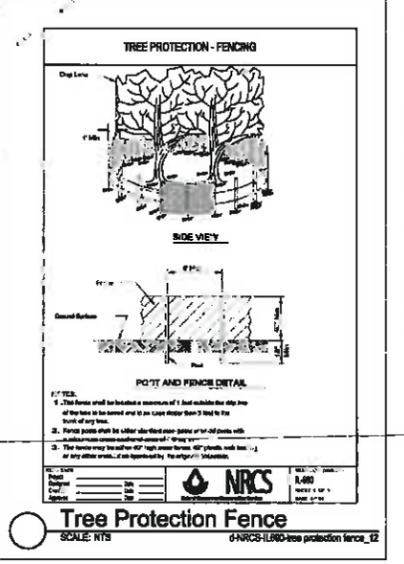
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0	08/28/18	CONCEPT PLAN
1	09/27/18	FINAL ENGINEERING
2	09/27/18	FINAL ENGINEERING
3	10/07/18	FINAL ENGINEERING
4	11/07/18	FINAL ENGINEERING



**X** TREES TO BE REMOVED

PROPOSED CONTRACTOR ON SITE PARKING

CURB & GUTTER TO BE REMOVED AT 5 LOCATIONS ALONG QUINCT STREET AND EXECUTIVE DRIVE, AS SHOWN. THE EXISTING CURB IS TO BE SHOWN OUT IF AN EXISTING CONTROL JOINT EXISTS WITHIN 3' OF THE PROPOSED CUT. THE CUT SHALL BE MADE AT THAT NEAR CONTROL JOINT. THE PAVEMENT IS TO BE SHOWN FROM TO REMOVAL OF THE EXISTING CURB & GUTTER. IF THE PAVEMENT IS DAMAGED DURING THE REMOVAL OF THE CURB, THE PAVEMENT SHALL BE REMOVED ADJACENT TO THE CURB, A MINIMUM OF 3 FEET OF WIDTH TO PROVIDE PROPER COMPACTON OF THE BASE.

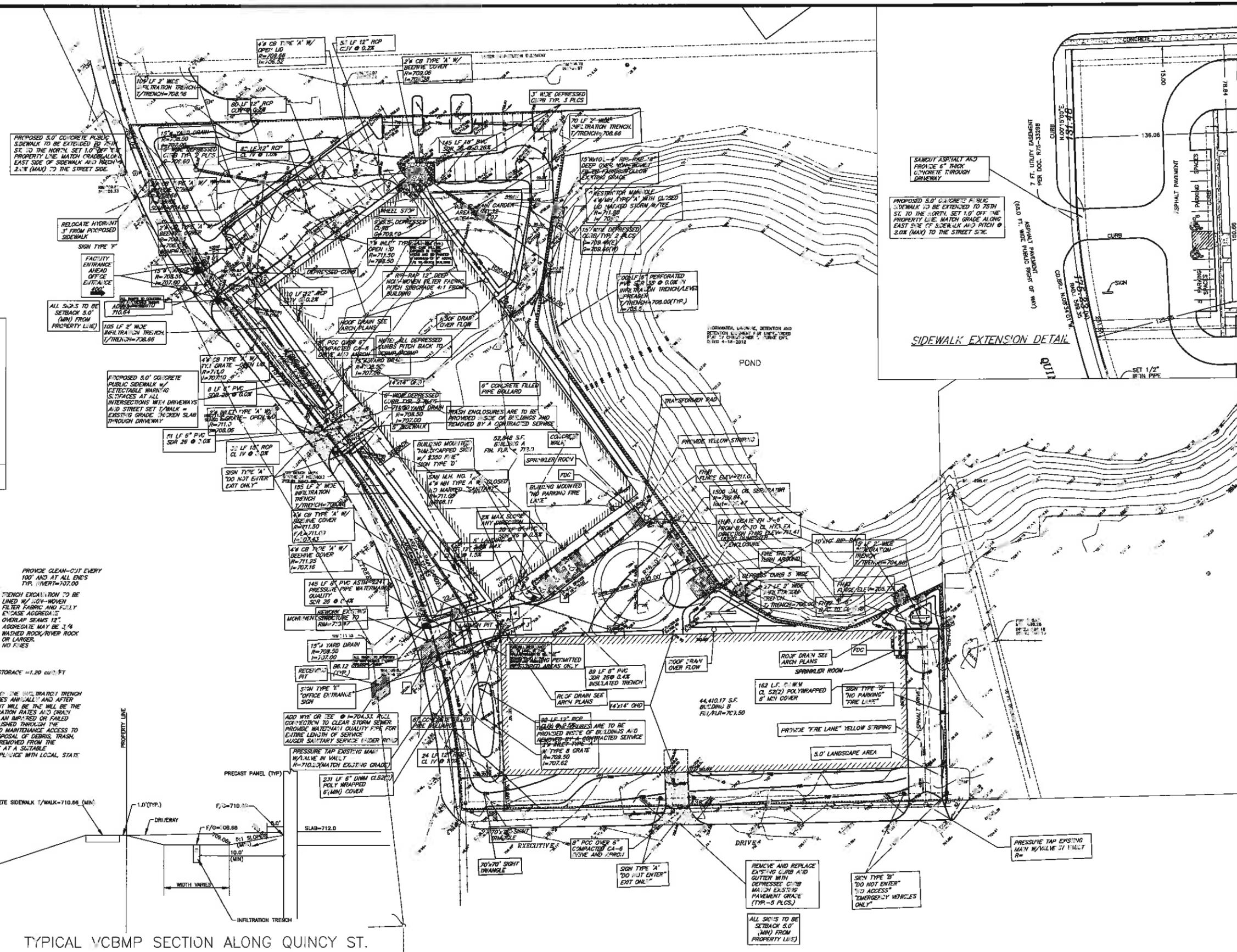


**KOZIOL ENGINEERING SERVICES**  
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 www.koziolengineering.com



REV	DATE	DESCRIPTION
0	08/24/15	CONCEPT PLAN
1	09/25/15	FINAL ENGINEERING
2	08/19/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	10/27/15	FINAL ENGINEERING

EXIST COND./ DEMO / SWPPP PLAN  
 7601 S. QUINCT ST.  
 WILLOWBROOK, IL



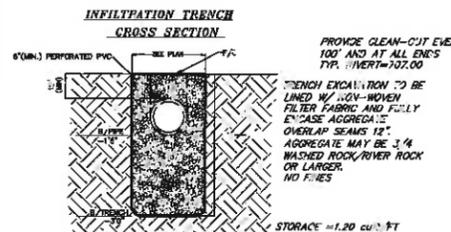
**2.0" VCBMP**  
 A - 52,847.92 SF  
 B - 44,317.5 SF  
 TOTAL SF - 97,165.42 SF

**PARKING**  
 63 TOTAL SPACES  
 (INCL. 20.0 J.H.C. SPACES)

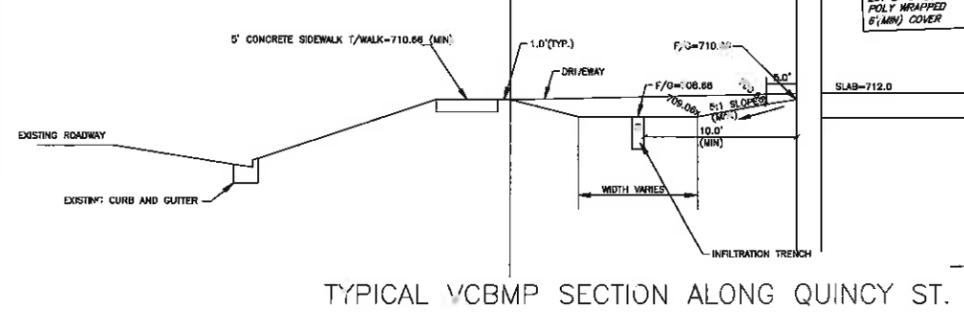
**IMPERVIOUS AREAS**  
 NORTH LOT - 22,697.94  
 DRIVE FROM BLDG A - 545.33  
 SOUTH LOT - 14,843.24  
 DRIVE FROM BLDG B - 630.51  
 FIRE LANE - 4,687.78  
 TOTALS - 41,404.81

**LC AREA**  
 TOTAL DISTURBED AREA - 231,365.25 (4,808.00 AC)  
 IMPERVIOUS - 41,404.81 SF  
 BUILDINGS - 30,084.43 SF  
 TOTAL IMPERVIOUS - 141,471.33 SF  
 PERVIOUS - 67,893.92 SF

141,471.33 x 1.25/12 = 14,738.8  
 CURT STORAGE



GENERAL MAINTENANCE AND MONITORING OF THE INFILTRATION TRENCH SHOULD BE INSPECTED AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1" RAIN EVENT. THE CLEAN-OUT WILL BE THE PRIMARY MEANS OF MEASURING INFILTRATION RATES AND DRAIN TIME. PUMPING STORED RUNOFF FROM AN IMPAIRED OR FAILED INFILTRATION TRENCH CAN BE ACCOMPLISHED THROUGH THE CLEAN-OUT. ADEQUATE INSPECTION AND MAINTENANCE ACCESS TO THE TRENCH MUST BE PROVIDED. DISPOSAL OF DEBRIS, TRASH, SEDIMENT OR OTHER WASTE MATERIAL REMOVED FROM THE INFILTRATION TRENCH SHOULD BE DONE AT A SUSTAINABLE DISPOSAL/RECYCLING SITE AND IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL WASTE REGULATIONS.



**KOZIOL ENGINEERING SERVICES**  
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 WILL OMBROOK, IL 60120  
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 WWW.KOZIOL-ENG.COM



REV	DATE	DESCRIPTION	BY	CHKD
0	08/20/15	CONCEPT PLAN	J.E.K.	J.E.K.
1	09/02/15	FINAL ENGINEERING	J.E.K.	J.E.K.
2	09/02/15	FINAL ENGINEERING	J.E.K.	J.E.K.
3	10/07/15	FINAL ENGINEERING	J.E.K.	J.E.K.
4	11/09/15	FINAL ENGINEERING	J.E.K.	J.E.K.

**OVERALL PLAN**  
**7601 S. QUINCY ST.**  
**WILLOWBROOK, IL**

DESIGNED BY: J.E.K. DRAWN BY: J.E.K. SCALE: 1/40 FILE NAME: 14169  
 DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED



WATER DISTRIBUTION EQUIPMENT

PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK TO BE EXTENDED TO 75TH ST. TO THE NORTH. SET 1.0' OFF THE PROPERTY LINE. MATCH GRADE ALONG EAST SIDE OF SIDEWALK AND PITCH @ 2.0% (MAX) TO THE STREET SIDE.

5' WIDE DEPRESSED CURB TYP. 2 PLCS G=709.60

3' WIDE DEPRESSED CURB TYP. 3 PLCS

15'x10'L-4" RIP-RAP 18" DEEP OVER NON-WOVEN FILTER FABRIC FOLLOW EXISTING GRADE

SIGN TYPE 'F'

FACILITY ENTRANCE AHEAD OFFICE ENTRANCE 400'

ALL SIGNS TO BE SETBACK 5.0' (MIN) FROM PROPERTY LINE

WHEEL STOP  
9'x9.5' DEPRESSED CURB G=709.60

VCBMP-RAIN GARDEN AREA=3,941.32 AREA=5,127.07

15' WIDE DEPRESSED CURB TYP. 2 PLCS G=709.45(E) G=709.66(W)

DEPRESSED CURB

4" RIP-RAP 12" DEEP NON-WOVEN FILTER FABRIC PITCH SUBGRADE 4:1 FROM BUILDING

PCC OVER 6" COMPACTED CA 6 DRIVE AND APRON

NOTE: ALL DEPRESSED CURBS PITCH BACK TO VCBMP/CBMP

PROPOSED 5.0' CONCRETE PUBLIC SIDEWALK W/ DETECTABLE WARNING SURFACES AT ALL INTERSECTIONS WITH DRIVEWAYS AND STREET SET T/WALK = EXISTING GRADE. THICKEN SLAB THROUGH DRIVEWAY

VCBMP-RAIN GARDEN AREA=1,737.34 AREA=3,314.64

14'x14" OHD

6" CONCRETE FILLED PIPE BOLLARD

8' WIDE DEPRESSED CURB TYP. 2 PLCS G=711.50

TRASH ENCLOSURES ARE TO BE PROVIDED INSIDE OF BUILDINGS AND REMOVED BY A CONTRACTED SERVICE

5' SIDEWALK

40' SETBACK

BUILDING MOUNTED "HANDICAPPED SIGN" W/ 350 FINE" SIGN TYPE 'D'

52,848 S.F. BUILDING A FIN. FLR. = 712.0

CONCRETE WALL

SPRINKLER ROOM

FDC

BUILDING MOUNTED "NO PARKING FIRE LANE"

SIGN TYPE 'A' "DO NOT ENTER" EXIT ONLY

SITE BENCH MARK SOUTHEAST HEADSOLT 712.81 NAVD 88

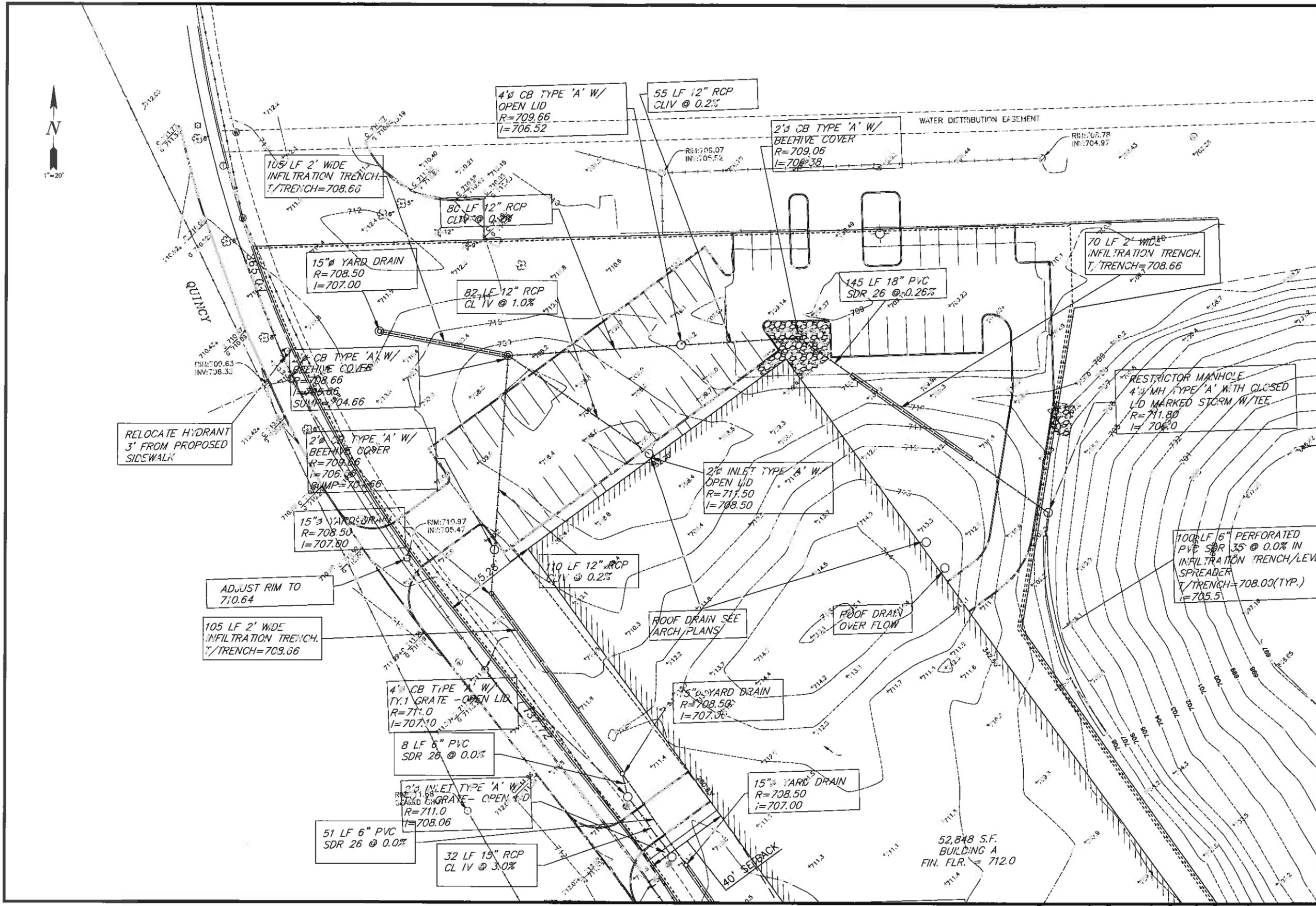
KOZIOI ENGINEERING SERVICES  
PROFESSIONAL ENGINEERS  
1827 S. QUINCY ST. WILLOWBROOK, IL 60120  
PH: (630) 435-8648 FAX: (630) 435-8670



REV.	DATE	DESCRIPTION
0	08/24/15	CONCEPT PLAN
1	08/25/15	FINAL ENGINEERING
2	08/25/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/02/15	FINAL ENGINEERING

GEOMETRIC PLAN-NORTH  
7601 S. QUINCY ST.  
WILLOWBROOK, IL



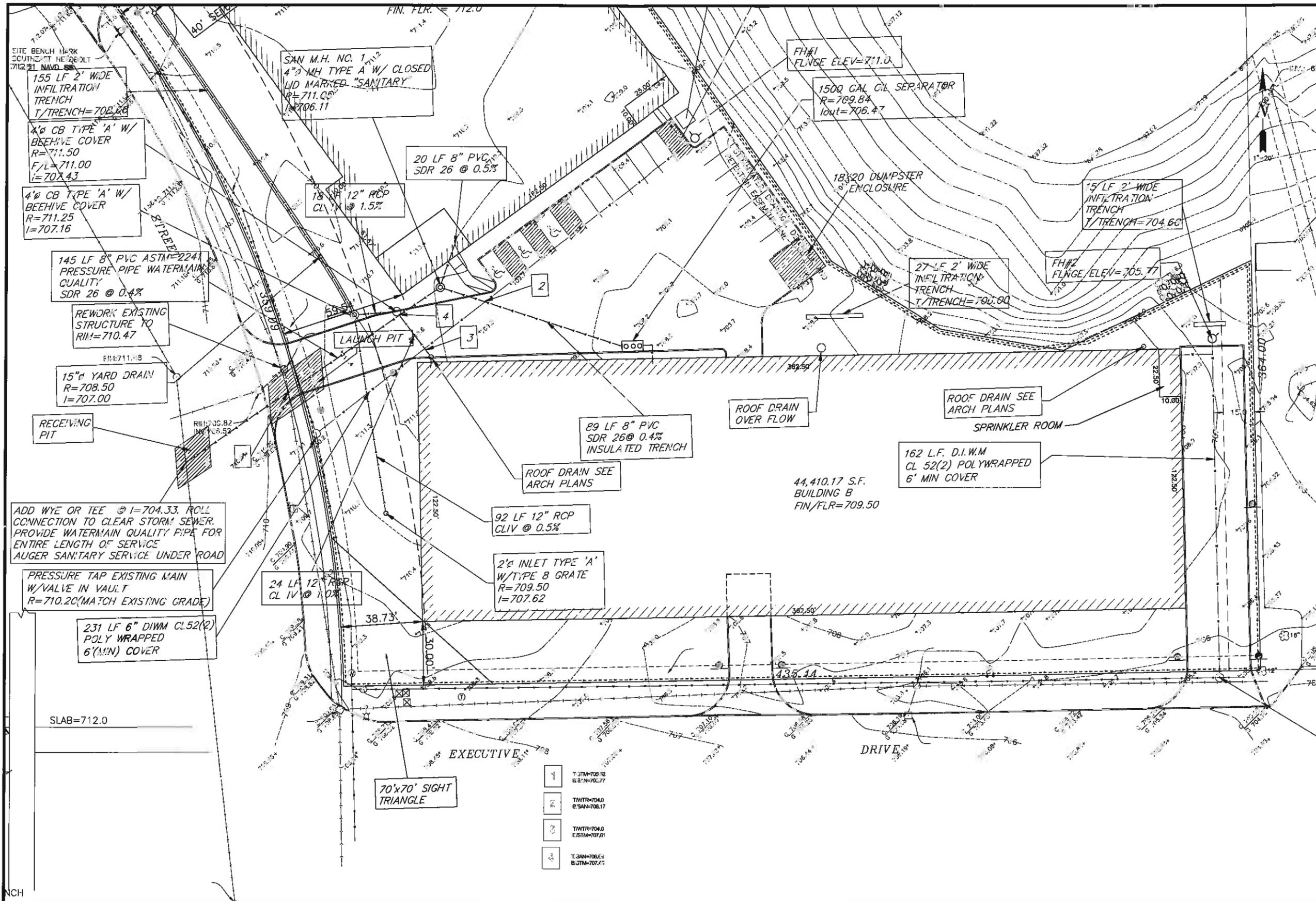


**KOZOL ENGINEERING SERVICES**  
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 FAX: (630) 456-6301  
 WWW: KOZOLENGINEERING.COM



REV	DATE	DESCRIPTION
0	02/26/15	CONCEPT PLAN
1	09/10/15	FINAL ENGINEERING
2	09/10/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

**UTILITY PLAN-NORTH**  
 7601 S. QUINCY ST.  
 WILLOWBROOK, IL

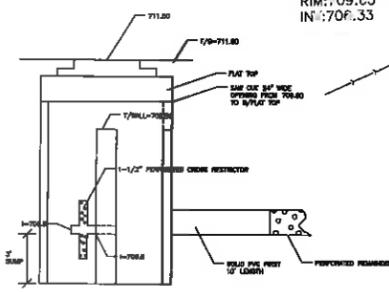
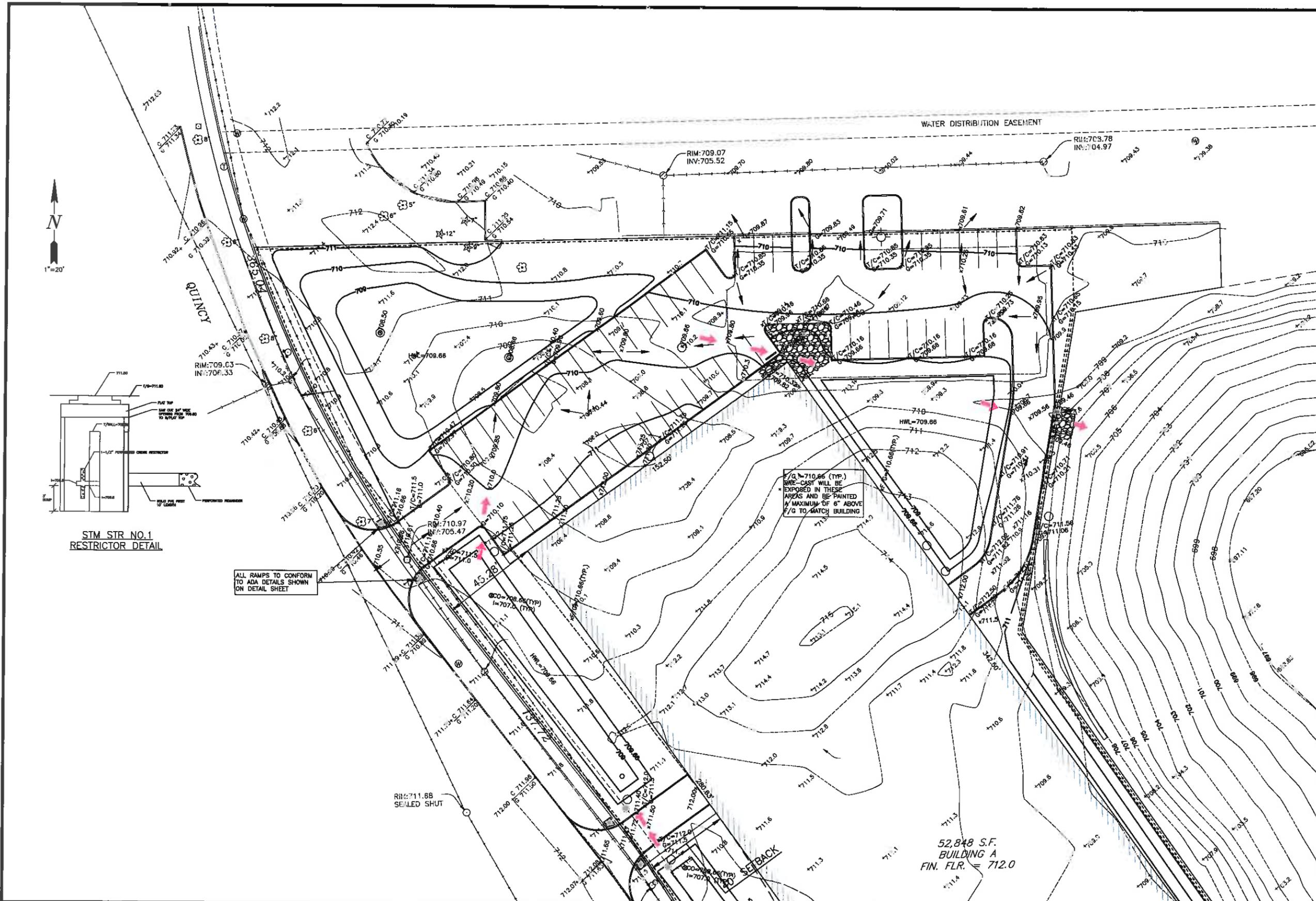


**KOZIOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
 1541 S. QUINCT ST.  
 WILLOWBROOK, IL 60157  
 TEL: (630) 455-8888 FAX: (630) 455-8889  
 WWW.KOZIOL-ENGINEERING.COM



REV	DATE	DESCRIPTION
0	08/24/16	CONCEPT PLAN
1	08/25/16	FINAL ENGINEERING
2	10/07/16	FINAL ENGINEERING
3	11/03/16	FINAL ENGINEERING
4		FINAL ENGINEERING

UTILITY PLAN-SOUTH  
 7601 S. QUINCT ST.  
 WILLOWBROOK, IL



STM STR NO.1  
RESTRICTOR DETAIL

ALL RAMP TO CONFORM  
TO ADA DETAILS SHOWN  
ON DETAIL SHEET

G/G = 710.66 (TYP.)  
BRE-CAST WILL BE  
EXPOSED IN THESE  
AREAS AND BE PAINTED  
A MAXIMUM OF 6\"/>

52,848 S.F.  
BUILDING A  
FIN. FLR. = 712.0

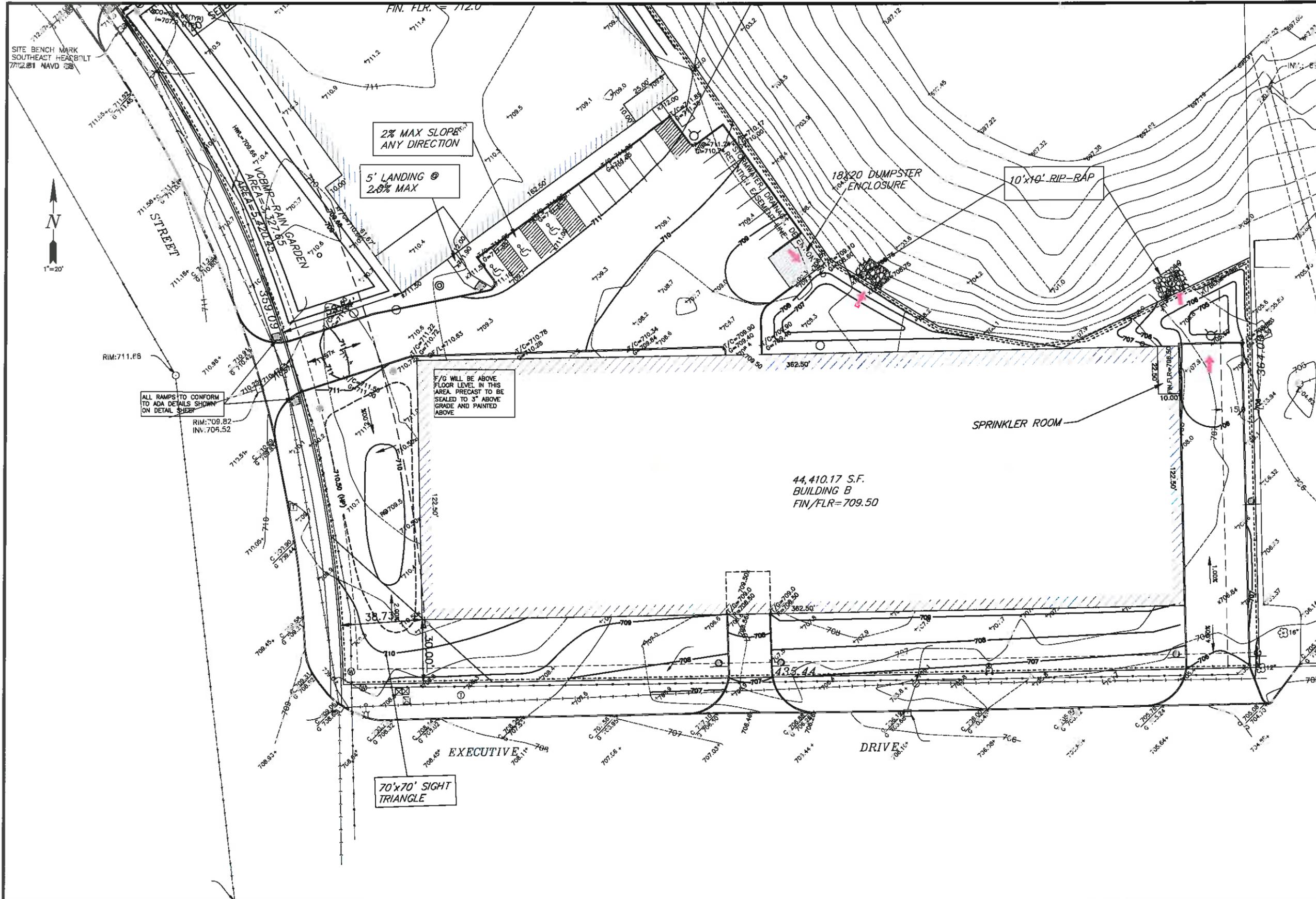
**KOZIOL ENGINEERING SERVICES**  
PROFESSIONAL ENGINEERS  
1827 Ogden Avenue  
PH: (630) 426-6666  
F: (630) 426-6668  
www.koziole.com



REV	DATE	DESCRIPTION
0	08/20/16	CONCEPT PLAN
1	02/07/16	FINAL ENGINEERING
2	02/07/16	FINAL ENGINEERING
3	10/07/16	FINAL ENGINEERING
4	11/02/16	FINAL ENGINEERING

**GRADING PLAN-NORTH**  
7601 S. QUINCT ST.  
WILLOWBROOK, IL

SHEET NUMBER



SITE BENCH MARK  
SOUTHEAST HEAD BOLT  
7712.81 NAVD 83



ALL RAMP TO CONFORM  
TO ADA DETAILS SHOWN  
ON DETAIL SHEET

2% MAX SLOPE  
ANY DIRECTION

5' LANDING @  
2.0% MAX

F/G WILL BE ABOVE  
FLOOR LEVEL IN THIS  
AREA PRECAST TO BE  
SEALED TO 3" ABOVE  
GRADE AND PAINTED  
ABOVE

44,410.17 S.F.  
BUILDING B  
FIN/FLR=709.50

70'x70' SIGHT  
TRIANGLE

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1821 Ogden Avenue  
P.O. Box 6923  
Lisle, Illinois 60532  
PH: (630) 433-8866 F: (630) 433-9634  
www.KoziolEngineering.com



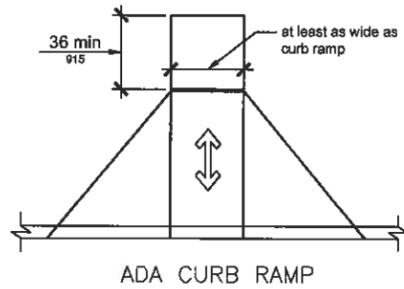
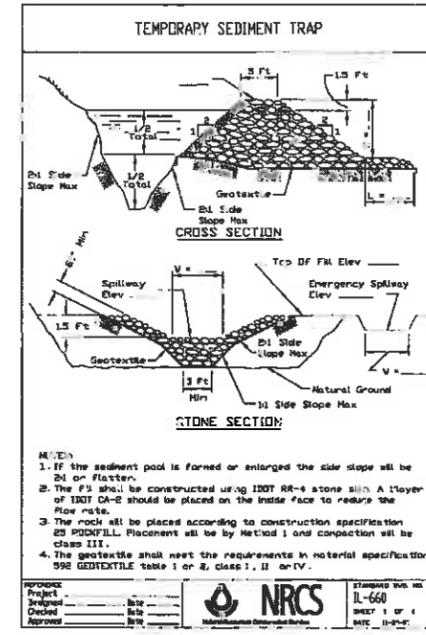
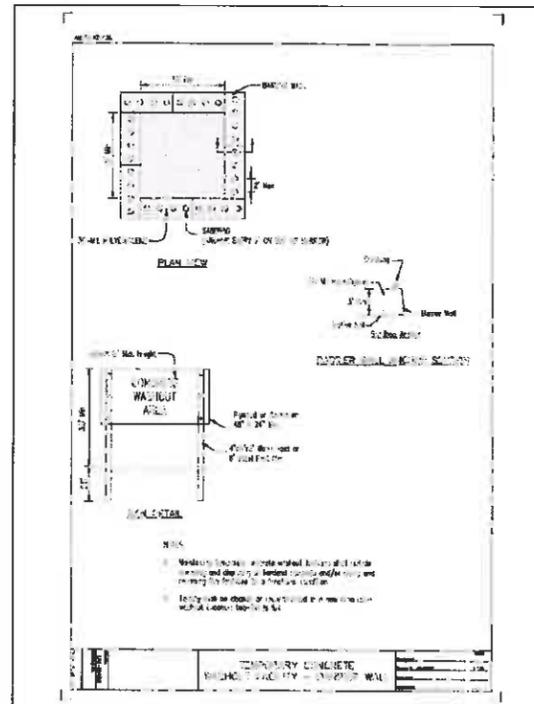
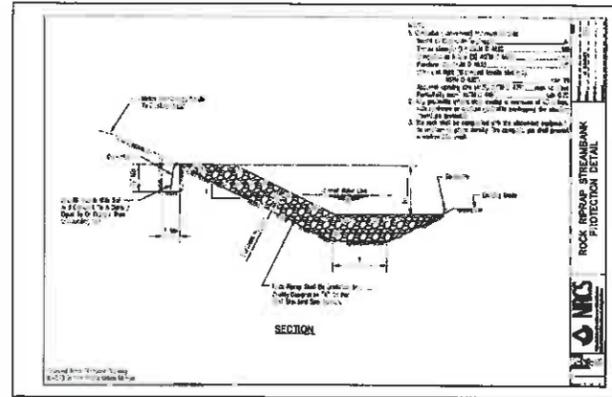
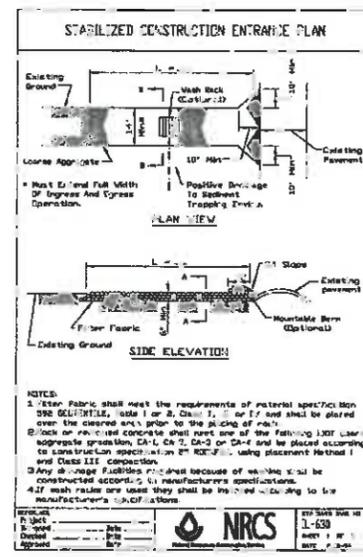
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2	08/05/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/02/15	FINAL ENGINEERING

GRADING PLAN-SOUTH  
7601 S. QUINCT ST.  
WILLOWBROOK, IL

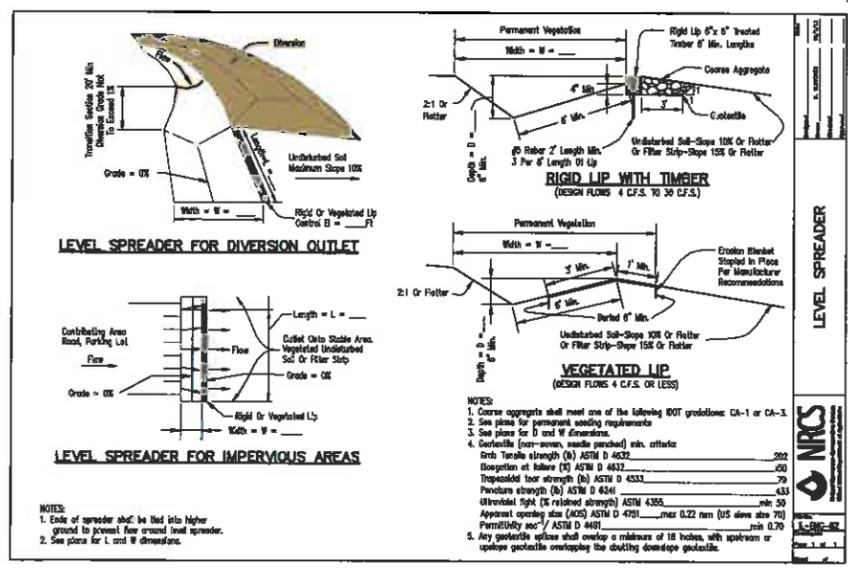
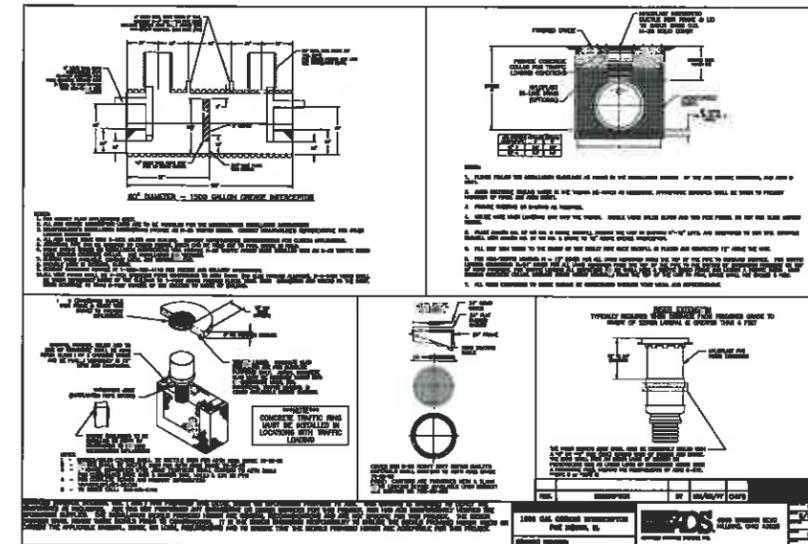




# DETAILS



LAYER	LIGHT DUTY PAVEMENT (PRKG STALLS)	HEAVY DUTY PAVEMENT (AISLES)	PAVEMENT SPECIFICATIONS
SURFACE COURSE	1.5"	2"	N50
BINDER COURSE	1.5"	2.25"	N50
BASE	10"	10"	AGGREGATE TYPE B (CRUSHED IIR-50 (MIM.))
SUB-BASE	4"	4"	GRANULAR TYPE B IIR = 30



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 Fax: (815) 758-9889

**KES**

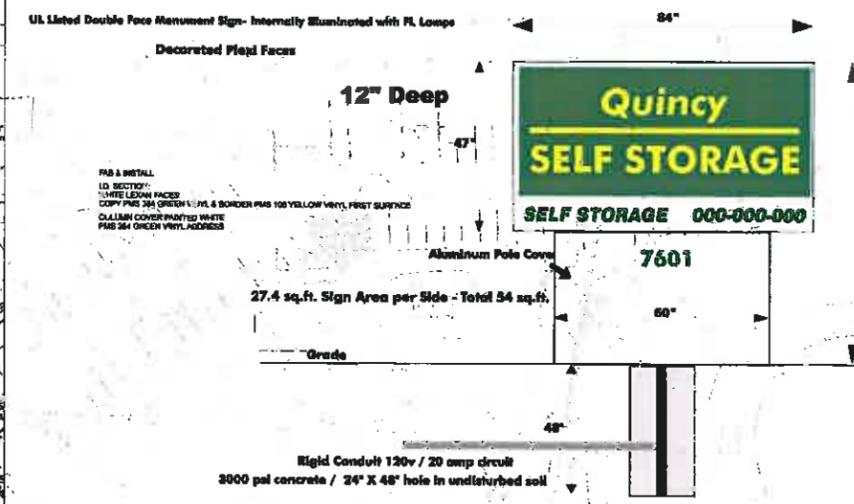
REV	DATE	DESCRIPTION
0	03/04/15	CONCEPT PLAN
1	03/20/15	FINAL ENGINEERING
2	03/20/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

**DETAIL SHEET**  
 7601 S. QUINCT ST.  
 WILLOWBROOK, IL

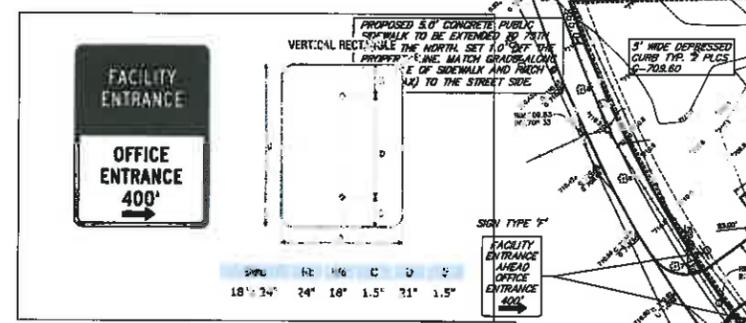
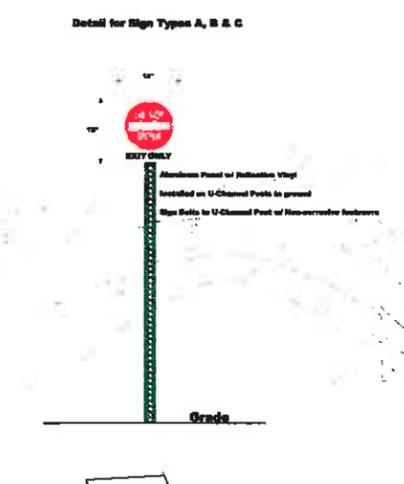
SHEET NUMBER



**Detail: Monument Sign**



**Detail for Sign Types A, B & C**



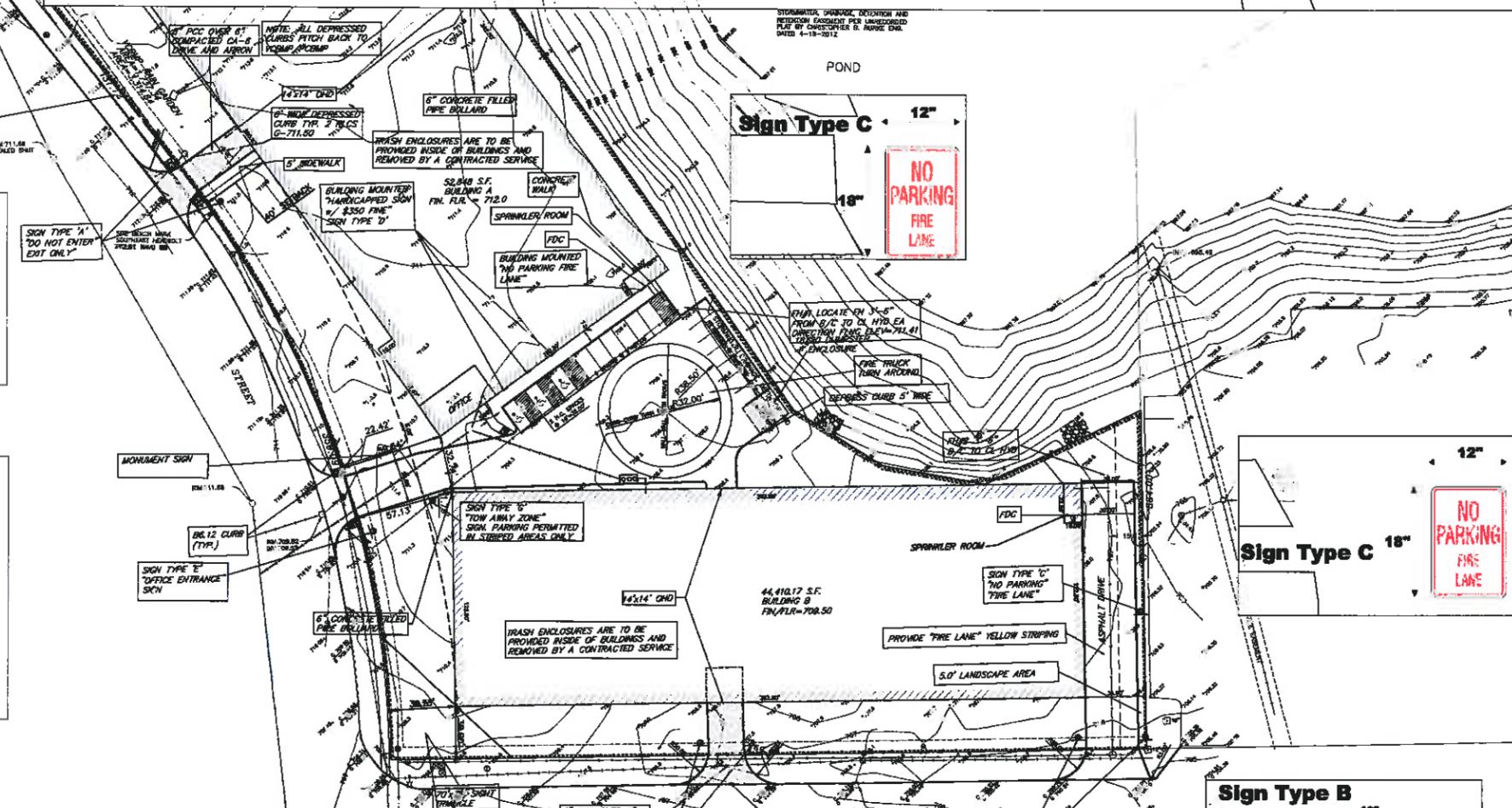
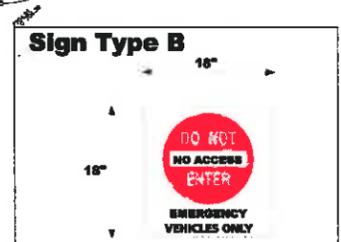
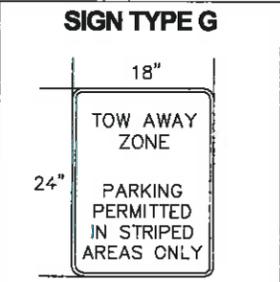
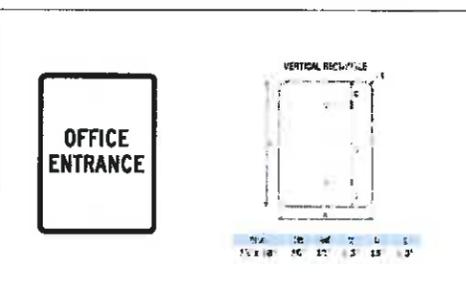
**2 BUILDINGS**  
 A - 32,847.92 SF  
 B - 44,410.17 SF  
 TOTAL SF - 97,258.09 SF

**PARKING**  
 49 TOTAL SPACES  
 (INCLUDING 3 H.C. SPACES)

**IMPERVIOUS AREAS**  
 NORTH LOT - 20,697.94  
 DRIVE FROM BLDG A - 545.33  
 SOUTH LOT - 14,843.24  
 DRIVE FROM BLDG B - 630.91  
 FIRE LANE - 4,697.78  
 TOTALS - 41,804.91

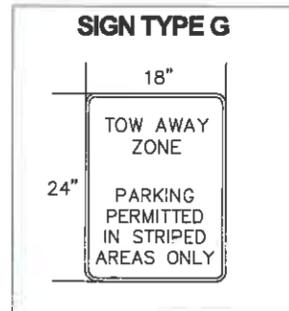
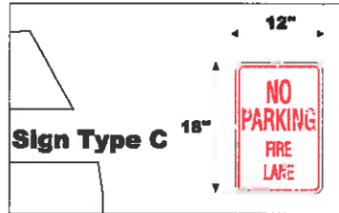
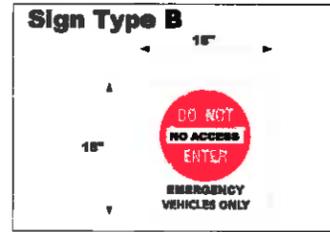
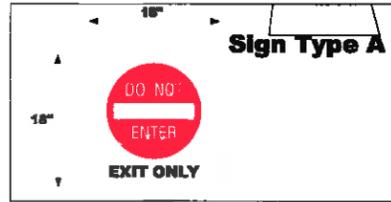
**LOT AREA**  
 TOTAL DISTURBED AREA - 208,365.25 SF (4.806ac)  
 IMPERVIOUS - 41,804.91 SF  
 BUILDINGS - 101,068.42 SF  
 TOTAL IMPERVIOUS - 141,471.33 SF  
 PERVIOUS - 67,893.92 SF

141,471.33 x 1.29/12 = 14,732.6  
 CURT STORAGE

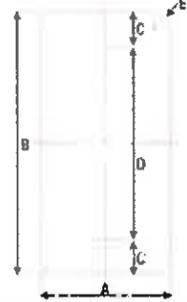


REV	DATE	DESCRIPTION
0	02/04/15	CONCEPT PLAN
1	02/26/15	FINAL ENGINEERING
2	06/10/15	FINAL ENGINEERING
3	06/27/15	FINAL ENGINEERING
4	11/26/15	FINAL ENGINEERING

**SIGN LOCATION PLAN**  
 7601 S. QUINCT ST.  
 WILLOWBROOK, IL



**TYPE D**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
12"x 24"	24"	12"	1.5"	21"	1.5"



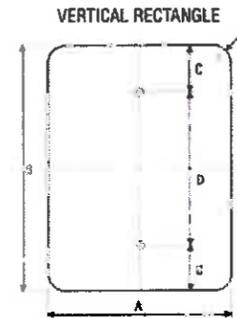
**TYPE E**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
12"x 18"	18"	12"	1.5"	15"	1.5"



**TYPE F**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
18"x 24"	24"	18"	1.5"	21"	1.5"

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PH: (309) 435-9888 F: (309) 435-9839  
www.koziole.com



REV	DATE	DESCRIPTION
0	02/04/15	CONCEPT PLAN
1	02/25/15	FINAL ENGINEERING
2	06/10/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/02/15	FINAL ENGINEERING

**SIGNAGE DETAILS**  
7601 S. QUINCT ST.  
WILLOWBROOK, IL

SHEET NUMBER

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<b>ITEM TITLE:</b> AN ORDINANCE AUTHORIZING AND GRANTING A FRANCHISE TO NORTHERN ILLINOIS GAS COMPANY (d/b/a NICOR GAS COMPANY) ITS SUCCESSORS AND ASSIGNS, TO CONSTRUCT, OPERATE, AND MAINTAIN A NATURAL GAS DISTRIBUTING SYSTEM IN AND THROUGH THE VILLAGE OF WILLOWBROOK, ILLINOIS	<b>AGENDA NO.</b> <b>8</b>  <b>AGENDA DATE:</b> <u>1/11/16</u>
--	---

<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>TEHLER</u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN TH.</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>TEHLER</u>
<b>REVIEWED BY COMMITTEE:</b> YES <input checked="" type="checkbox"/> on <u>January 11, 2016</u> NO <input type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

On August 16, 1960 the Village executed a franchise agreement with the Northern Illinois Gas Company granting the gas utility the right to construct, operate and maintain a gas distribution system throughout the Village for a term of fifty (50) years. The agreement expired on August 16, 2010, which also coincided with the expiration period of the franchise agreements in most other northern Illinois municipalities.

In anticipation of our need to negotiate a renewed franchise agreement with NiCor Gas, on November 23, 2009 the Village joined in the formation of a consortium comprised of sixty-two (62) municipal members. One of the goals of the consortium was to enable sharing in the legal expenses incurred in drafting a new franchise agreement and to negotiate the terms of the new agreement with NiCor. The negotiation process with NiCor officials has continued since 2010.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

On December 14, 2015, the Steering Committee for the consortium approved a new model Natural Gas Franchise Ordinance which was negotiated with NiCor. Attached, please find a memorandum dated December 30, 2015 from the Consortium Counsel providing the details of the final agreement that has been reached. The term of this new agreement would be 25 years. Highlights include:

- New updated provisions designed to protect our rights-of-ways, including construction, restoration, and maintenance.
- New provisions designed to better protect the public health and safety, including emergency notice and response standards.
- Provisions for annual meetings with NiCor, information sharing including capital improvement plans.
- Compensation: Available options include annual cash payments, as the Village has received in the past, or free gas for Village owned buildings. The desired option must be selected by March 1, 2016. (2016 annual cash payment = \$17,471.82)
- One-Time Renewal Payment: In consideration of the duration of the negotiating process, NiCor has also agreed to provide a one-time cash renewal payment equal to 75% of this year's annual payment (i.e., \$13,103.86)

**ACTION PROPOSED:**

Pass the Ordinance. After local adoption of the Ordinance, NiCor is required to execute the Consent Agreement attached to the Model Ordinance as Exhibit "A." This will contractually bind NiCor to comply with the Model Ordinance.



Peter M. Friedman  
312.578.6566  
[peter.friedman@hklaw.com](mailto:peter.friedman@hklaw.com)

## MEMORANDUM

**Date:** December 30, 2015  
**To:** Northern Illinois Municipal Natural Gas Franchise Consortium Members  
**From:** Peter M. Friedman, Consortium Counsel  
**Re:** Executive Summary -- Model Franchise Ordinance

---

On December 14, 2015, the Steering Committee of the Northern Illinois Municipal Natural Gas Franchise Consortium ("**Consortium**") unanimously approved a new model Natural Gas Franchise Ordinance ("**Model Ordinance**"). The Model Ordinance was negotiated on behalf of the Consortium with the Northern Illinois Gas Company (d/b/a Nicor Gas Company) ("**Nicor**").

This memorandum provides (i) important information regarding the required timing and approval of the Model Ordinance by Consortium members and (ii) a summary of the key financial and operational provisions of the Model Ordinance.

If you have any questions about any of these matters, please contact Mark Baloga (630-571-0480, ext. 223 or [mbaloga@dmmc-cog.org](mailto:mbaloga@dmmc-cog.org)) or Kate Buggy (630-571-0480, ext. 225 or [kbuggy@dmmc-cog.org](mailto:kbuggy@dmmc-cog.org)).

### Adoption

- For each Model Ordinance to take effect, the Ordinance must be adopted by the Consortium member and Nicor must sign a Consent Agreement that is attached to the Ordinance as Exhibit A. As described further below, the important compensation provisions of the Model Ordinance are triggered by the Ordinance taking effect. Further, it is important for Nicor to see that the Model Ordinance is being adopted by the Consortium members. Accordingly, the Steering Committee requests that Consortium members adopt the Model Ordinance in January 2016.
- Each Consortium member has been provided a word version of the Model Ordinance, tailored to the extent possible for each specific member.
- One addition that will have to be made by each member prior to adoption is to insert in Section 12 of the Ordinance the appropriate contact information for purposes of notices under the Ordinance.
- Each Consortium member must adopt the Model Ordinance pursuant to the member's standard procedures for adoption of ordinances.

- After the Ordinance is adopted, the certification (the second to last page of the document) should be completed and fully executed.
- As soon as the Model Ordinance has been adopted and certified, each Consortium member should notify and provide a copy of the adopted Ordinance to their respective Nicor representative.
- Also, please email Kate Buggy at [kbuggy@dmmc-cog.org](mailto:kbuggy@dmmc-cog.org) to confirm adoption of the Ordinance.

### Background

- Most gas franchises either have expired recently or are expiring soon.
- Almost all of these franchises are very old, with writing styles often unclear, incomplete, and difficult to understand.
- These franchises include only basic, and now outdated, provisions. They do not adequately address many of the issues that arise with modern utility facilities located in crowded public rights-of-way.
- These franchises do not adequately protect the public health and safety. Nor do they adequately protect the public rights-of-way.

### Key Points Regarding Model Ordinance

- A municipality's rights-of-way are among its most important resources and most valuable assets. The Model Ordinance includes new provisions designed to protect the municipality's rights-of-way, including requirements on construction, restoration, and maintenance.
- One of a municipality's foremost responsibilities is to protect the public's safety and welfare. The Model Ordinance includes new provisions designed to better protect the public health and safety, including emergency notice and response standards.
- The compensation provisions in the Model Ordinance better reflect the value of the municipality's right-of-way. The municipality may choose among free gas for municipal facilities or annual cash payments.
- The Model Ordinance includes modern provisions relating to annual meetings with Nicor, capital improvement plans, information sharing, triggers for future amendments based on Model Ordinance terms subsequently agreed to by Nicor.
- By working together as the Consortium, the member municipalities have been able to negotiate with Nicor a new, standard franchise document that is clear, comprehensive, and protective of the interests of both the municipalities and the gas companies.

### Summary of Key Provisions of Model Ordinance

- **Term (Section 3).** The new franchise is for a term of 25 years (until January 1, 2041).
- **Effective Date and Consent Agreement (Section 15).** The effective date of the Model Ordinance will be as of January 1, 2016, even though the Ordinance will not be adopted

until after that date. The Ordinance must be adopted no later than March 1, 2016. However, as explained above, the Steering Committee urges each member to adopt the Ordinance in January 2016.

Within 90 days of the Effective Date (March 31, 2016), Nicor is required to execute the Consent Agreement attached to the Model Ordinance as Exhibit A. The purpose of this Consent Agreement is to ensure that Nicor is contractually bound to comply with the Model Ordinance.

- **Compensation for Use of Rights-of-Way (Section 5).** There are two options for compensation for Nicor's use of the public rights-of-way under the Model Ordinance.

The first option ("**Annual Payments**") is an annual lump sum payment that Nicor will make in cash to the municipality. The amount of the Annual Payment is based on the following formula – generally described as the municipality's "**therm allocation**" times the "**gas cost per therm.**" A municipality's therm allocation is determined by the following parameters:

- 3.6 therms per person up to 10,000 of population
- 2.4 therms per person for the next 10,000 of population
- 1.2 therms per person for the next 80,000 of population
- 1.45 therms per person for the next 20,000 of population
- 1.8 therms per person for the population over 120,000

The gas cost per therm is the sum of (i) the actual three year average of the per therm cost of gas plus (ii) the then-current general gas service cost. Each member has been provided with the Annual Payment calculations based on the current population and gas cost per therm.

The second compensation option ("**Unbilled Gas**") is for the municipality to receive free gas for buildings, or parts thereof, used for municipal purposes. The maximum amount of free gas to be provided cannot exceed the municipality's therm allocation. Upon request, Nicor representatives will provide each municipality with historical usage information to assist in determining which compensation option is best.

Significantly, no later than March 1, 2016, each municipality must notify Nicor in writing whether it wants to receive Annual Payments or Unbilled Gas. If a municipality does not provide this required notice, it will receive Annual Payments. Thereafter, a municipality can change from Annual Payments to Unbilled Gas, or vice versa, every three years with notice to Nicor. If no notice of a change is provided to Nicor, the compensation option will remain unchanged for the subsequent three year period.

Annual Payments will be paid by Nicor during January of each year during the Term of the franchise, except for 2016 when the Annual Payments will be paid in March.

- **One-Time Renewal Payment (Section 5A1).** Each Consortium member adopting the Model Ordinance will receive a one-time cash renewal payment equal to 75 percent of the municipality's therm allocation multiplied by the gas cost per therm. These one-time renewal payments will be made by Nicor on or before March 31, 2016.

- **Municipal Regulations (Section 4B, 4C).** The Model Ordinance requires Nicor to utilize the public right-of-way in compliance with the Model Ordinance and with “Requirements of Law” – a term defined in the Model Ordinance (Section 1) as “any and all reasonable regulations which may now or hereafter be prescribed by general ordinance of the Municipality with respect to the use of the Public Right-of-Way or the conduct of Gas System Work”). This means that the Model Ordinance requires Nicor to comply with local, generally applicable right-of-way, building, and tree regulations.
- **Emergency Response (Section 4D).** The Model Ordinance requires Nicor to provide notice of emergencies to the municipality within 24 hours unless that is somehow not practicable. Nicor and the municipality will provide to each other emergency 24-hour contacts. Nicor is required to keep the municipality apprised of the status of the emergency and when the emergency has been resolved.
- **“Most Favored Nations” Clause (Section 7).** If Nicor enters into an agreement with another franchisor that includes compensation terms the municipality believes are more advantageous or protective than the provisions of the Model Ordinance, then the municipality can choose to incorporate those provisions into Model Ordinance.
- **Accounts and Records (Section 6).** The Model Ordinance requires Nicor to provide the municipality, upon request, with annual information on Nicor’s gross operating revenues within the municipality, broken down among various categories of users.
- **Insurance (Section 9).** The Model Ordinance requires Nicor to obtain and maintain various types of standard insurance against liabilities assumed under the Model Ordinance in the event that Nicor’s financial condition would significantly worsen to the extent that its stockholder equity falls below \$50 million.
- **Annual Meeting (Section 13).** The Model Ordinance requires Nicor to participate in an annual meeting upon the request of the municipality. The matters to be addressed at annual meetings include gas system work, current issues regarding Nicor’s use of the public right-of-way, efforts to promote energy efficiency and cost savings related to the use of gas supplied by Nicor, and anticipated capital improvement projects and coordination with the municipality related to those projects. Nicor and municipal representatives at annual meetings must have knowledge, experience, and authority to address and resolve issues discussed at the meeting. The Model Ordinance obligates the parties to work in good faith to resolve issues raised at the annual meetings.
- **Capital Improvement Plans and Information Sharing (Section 4E2).** The Model Ordinance requires Nicor to establish and maintain (and provide the municipality with access to) an information sharing platform for, among other things, capital improvement plans, gas system work, gas facility location information and maps, and work and maintenance status information.
- **Indemnification (Section 8).** The Model Ordinance contains mutual indemnification provisions. With regard to Nicor, these provisions require the gas company to protect the municipality against claims arising out of the gas company’s failure to comply with the Model Ordinance or any negligent, unlawful, or intentional wrongful acts related to work in and use of the public right-of-way.

ORDINANCE NO. 16-O-\_\_\_\_\_

**NATURAL GAS FRANCHISE ORDINANCE**

AN ORDINANCE AUTHORIZING AND GRANTING A FRANCHISE  
TO NORTHERN ILLINOIS GAS COMPANY  
(d/b/a NICOR GAS COMPANY) ITS SUCCESSORS AND ASSIGNS,  
TO CONSTRUCT, OPERATE AND MAINTAIN A NATURAL GAS DISTRIBUTING SYSTEM  
IN AND THROUGH THE VILLAGE OF WILLOWBROOK, ILLINOIS

---

**WHEREAS**, Northern Illinois Gas Company (d/b/a Nicor Gas Company), an Illinois corporation ("**NICOR GAS**") and the Municipality of Willowbrook ("**Municipality**") entered into franchise agreement effective August 16, 1960 that generally authorized NICOR GAS to construct, operate, and maintain a gas distribution system within the Municipality, and NICOR GAS provided the Municipality a letter dated December 21, 2011 that specifies the compensation to be paid to the Municipality by NICOR GAS in connection with such franchise agreement (such franchise agreement and letter are referred to collectively herein as the "**Previous Agreement**"); and

**WHEREAS**, NICOR GAS, along with its successors and permitted assigns (collectively, "**Grantee**"), and the Municipality desire to have this Ordinance adopted and to have it represent a new agreement between the Grantee and the Municipality to supersede the Previous Agreement ("**Franchise**"); and

**WHEREAS**, the Municipality has determined that it is in the best interests of the Municipality and its residents to adopt this Ordinance establishing a new Franchise with the Grantee;

**WHEREAS**, the Grantee has approved this Ordinance and authorized execution by its duly authorized representatives of the Consent Agreement provided pursuant to Section 15 of this Ordinance; and

**NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE MUNICIPALITY OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS, AS FOLLOWS:**

**SECTION 1. DEFINITIONS.**

The following terms have the meaning ascribed to them in this Section:

**Annual Meeting.** The meeting provided under Subsection 13.A. of this Ordinance.

**Assignee.** The entity that accepts an assignment under this Ordinance from the Grantee with the authorization of the Municipality, as provided in Subsection 13.B of this Ordinance.

**Corporate Authorities.** The corporate authorities of the Municipality.

**Effective Date.** The effective date of this Ordinance, being January 1, 2016.

**Emergency.** An event involving the Gas System that (i) poses an imminent threat to the public health or safety within the Municipality or (ii) is likely to result in a prolonged and unplanned interruption of gas service to a significant number of customers within the Municipality.

**Gas.** Natural gas or manufactured gas, or a mixture of gases, that is distributed to the Grantee's customers in the Municipality through the Gas System.

**Gas System.** The Grantee's system of pipes, tubes, mains, conductors, and other devices, apparatus, appliances, and equipment for the production, distribution, and sale of gas for fuel, heating, power, processing, and other purposes within and outside the corporate limits of the Municipality.

**Gas System Work.** Any construction, operation, maintenance, repair, removal or replacement of the Gas System conducted by the Grantee within the Public Right-of-Way or conducted by the Grantee immediately adjacent to the Public Right-of-Way if such activity physically disturbs the Public Right-of-Way.

**ICC.** The Illinois Commerce Commission.

**Public Right-of-Way.** The Municipality's streets, alleys, sidewalks, parkways, easements, and other property of the Municipality used as right-of-way.

**Requirements of Law.** Any and all reasonable regulations which may now or hereafter be prescribed by general ordinance of the Municipality with respect to the use of the Public Right-of-Way or the conduct of Gas System Work.

**Term.** The term of the Franchise under Section 3 of this Ordinance.

## **SECTION 2. GRANT OF FRANCHISE.**

The Municipality grants the right, permission and authority to the Grantee to construct, operate, maintain, repair, remove, and replace its Gas System within the corporate limits of the Municipality, subject to the conditions and regulations of this Ordinance. The right, permission and authority granted by the Municipality to the Grantee by this Franchise may not be exclusive to the Grantee, provided that any other such rights or authority granted by the Municipality may not interfere with the right, permission and authority granted to the Grantee pursuant to this Ordinance.

## **SECTION 3. TERM.**

The Franchise authorized and granted pursuant to this Ordinance shall be for a term of 25 years, commencing on the Effective Date, and expiring on January 1, 2041 ("**Term**").

## **SECTION 4. USE OF PUBLIC RIGHT-OF-WAY.**

The Grantee shall be authorized to use the Public Right-of-Way for the Gas System and Gas System Work subject to the provisions of this Ordinance, including without limitation the following provisions:

**A. General Coordination, Location And Repair.** Those portions of the Gas System in the Public Right-of-Way shall be installed and maintained under the general supervision of the Director of Public Works of the Municipality, or other duly authorized agent of the Municipality. The portions of the Gas System within the Public Right-of-Way shall be located as not to injure any drains, sewers, catch basins, water pipes, pavements or other like public improvements. If any drain, sewer, catch basin, water pipe, pavement or other like public improvement is injured by the location of the portions of the Gas System within the Public Right-of-Way, the Grantee shall forthwith repair the damage to the satisfaction of the Municipality and in default thereof the Municipality may repair such damage and charge the cost thereof to, and collect the same from, the Grantee.

**B. Compliance with Requirements of Law.** The Grantee shall be subject to the specific standards provided in this Ordinance for work in the Public Right-of-Way and with all other Requirements of Law.

**C. Conduct of Gas System Work; Restoration.** The Grantee will conduct Gas System Work in accordance with the Requirements of Law. The Grantee will undertake to minimize the disturbance or obstruction of the Public Right-of-Way caused by Gas System Work, including, without limitation, having Gas System Work, once started, undertaken and completed without unreasonable delay. The Grantee will promptly restore Public Right-of-Way, as well as any fences, roads, pavements and other improvements in the Public Right-of-Way, disturbed by Gas System Work as nearly as reasonably practicable to its condition immediately before the Gas System Work.

**D. Emergencies.** In the case of an Emergency, the Grantee will notify the Municipality by the most practical, timely, and available means under the circumstances of the Emergency and the conditions that are affecting the Gas System and its customers. Notwithstanding Section 10, the notice will be no more than 24 hours after the Grantee learns of the Emergency, except if notice within 24 hours is not practicable under the circumstances of the Emergency, in which case the Grantee will provide the notice required under this Subsection as soon as is practicable under the circumstances. Each Party will provide the other Party with an Emergency contacts list, including 24-hour contact information for at least two representatives. The Grantee will keep the Municipality apprised of the status of the Emergency to the extent reasonably practicable and will advise the Municipality when the Emergency has been resolved.

**E. Coordination Regarding Capital Improvements; System Information.** The Grantee and the Municipality believe that it is in their mutual interests to be informed of their respective capital improvement programs, so that whenever practicable those programs can be undertaken to minimize the cost of construction and public inconvenience. To that end, the following provisions apply:

1. **Meeting.** At Annual Meetings (see Subsection 13.A of this Ordinance), representatives of the Grantee and the Municipality will be prepared to discuss significant known Gas System Work and Municipal projects that could impact the Gas System and that will or may be undertaken within the Municipality.

2. **Capital Improvement Plans and General System Information.** The Grantee will establish and maintain an information medium ("***Information Sharing System***"), at no cost to the Municipality, that will provide the Municipality access, on reasonable terms, to information identifying (a) anticipated Gas System Work, (b) Grantee's planned capital

improvement plans and major maintenance work related to the Gas System within the Municipality, (c) maps or other documents showing the locations of gas distribution mains in or under Public Right-of-Way within the Municipality; and (d) the status of ongoing Gas System Work and capital improvement plans and major maintenance work related to the Gas System within the Municipality (collectively, "**General System Information**"). The Grantee reserves the right to modify or replace the Information Sharing System from time to time at its discretion. Absent gross negligence or intentional misconduct by the Grantee, the Grantee shall have no monetary liability to the Municipality due to defects in the design or performance of the Information Sharing System or errors or omissions in the information disclosed through the Information Sharing System; provided, however, that this sentence does not change the Grantee's obligation under Paragraph 1 of this Subsection and Subsection 13.A of this Ordinance with respect to General System Information. As part of the Annual Meeting, the Parties may discuss the performance of the Information Sharing System and any adjustments and refinements to the Information Sharing System and, if requested by the Municipality, the Grantee will provide information regarding any updates or other operational changes or improvements to the Information Sharing System.

## **SECTION 5. CONSIDERATION FOR USE OF PUBLIC RIGHT-OF-WAY.**

**A. Payments; Provision of Gas.** The Grantee shall make the Renewal Payment provided in Paragraph 1 of this Subsection and, commencing with calendar year 2016, either (but never both) (i) make the Annual Payments as provided and calculated in Paragraph 2 of this Subsection, or (ii) provide for Unbilled Gas as provided and calculated in Paragraphs 3 of this Subsection. The Municipality shall notify the Grantee in writing within sixty days after the Effective Date whether it has chosen to receive Annual Payments or Unbilled Gas. In the event the Municipality has not notified the Grantee in writing within sixty days after the Effective Date, the Municipality shall be deemed to have chosen to receive Annual Payments as provided and calculated in Paragraph 2 of this Subsection. Upon written notice to Grantee given on or before June 30 of the calendar year preceding the date of change, the Municipality may change the method of compensation from Annual Payments to Unbilled Gas, or vice versa, effective as of January 1 of any or all of the third, sixth, ninth, twelfth, fifteenth, eighteenth, twenty-first, or twenty-fourth calendar year following the Effective Date. In the event the Municipality has not so notified the Grantee of a change in the method of compensation by the applicable June 30, the method of compensation then in effect shall continue and may not be changed by the Municipality during the ensuing three calendar year period.

1. **Renewal Payment.** Within ninety days after the Effective Date, the Grantee will pay the Municipality, solely as consideration for renewal of the franchise granted under the Previous Agreement, a one-time franchise renewal payment ("**Renewal Payment**") of \$13,103, being equal to 75 percent of the value of (a) the "**Therm Allocation**" (as calculated under Paragraph 4 of this Subsection) as of the Effective Date multiplied by (b) the "**Gas Cost per Therm**" (as calculated under Paragraph 2 of this Subsection).

2. **Annual Payment.** In January of each year except 2016 and in March of 2016, the Grantee will pay the Municipality an annual payment ("**Annual Payment**") if the Municipality has chosen or has been deemed to have chosen to receive Annual Payments rather than Unbilled Gas for such calendar year. The amount of each Annual Payment will be calculated by the Grantee by multiplying (a) the "**Therm Allocation**" (as calculated under Paragraph 4 of this Subsection) times (b) the applicable Gas Cost per Therm. As used herein, the term "**Gas Cost per Therm**" means, with respect to a calendar year, the sum of (i) the average per therm gas cost for the preceding three calendar years, based on the Grantee's

prudently incurred purchased gas cost and (ii) the per therm rate for general gas service under the Grantee's rate structure in effect as of the last day of the preceding calendar year.

3. Unbilled Gas. If the Municipality has chosen to receive Unbilled Gas, the Grantee shall supply, during each billing year (start and finish of each year shall begin and end with regular meter reading date nearest to January 1) that the Municipality's choice to receive Unbilled Gas remains in effect, without charge to the Municipality, an amount of gas ("**Unbilled Gas**") not to exceed the Therm Allocation (as calculated under Paragraph 4 of this Subsection), to be used in buildings which may be occupied from time to time by the Municipality solely for municipal purposes, or such part of these buildings as may from time to time be occupied for ongoing municipal purposes, and not for purposes of revenue.

4. Therm Allocation. For purposes of determining the Annual Payment or the amount of Unbilled Gas under Paragraphs 2 and 3, respectively, of this Subsection, the Therm Allocation will be based on the following formula: 3.6 therms per person up to 10,000 of population; 2.4 therms per person for the next 10,000 of population; 1.2 therm per person for the next 80,000 of population; 1.45 therms per person for the next 20,000 of population; and 1.8 therms per person for the population over 120,000. For purposes of the Therm Allocation, the population of the Municipality as of the Effective Date shall be deemed to be the same as the population of the Municipality at the 2010 decennial census, which was 8,540. This population number will be adjusted by the Grantee based on each decennial census count. Between decennial census counts, the Therm Allocation may be increased prospectively on the basis of changes in population of the Municipality as shown by revised or special census. Upon the submission of a written request by the Municipality accompanied by the official State notification of census change, the Therm Allocation will be adjusted by the Grantee.

**B. Limitations on Gas Use.** None of Unbilled Gas to be supplied to the Municipality under Paragraph A3 of this Section, shall be resold by the Municipality for any purpose whatsoever. In the event the Municipality uses less than the amount of Unbilled Gas calculated and authorized under Paragraph A3 of this Section, there shall be no payment due to the Municipality from the Grantee for gas not used during that billing year, nor shall any such unused therms be carried over for the following billing year's use.

**C. Offset.** If the Municipality has chosen or has been deemed to have chosen to receive Annual Payments, the Grantee shall have the right to reduce the Annual Payment for a calendar year by the amount of any fees that the Municipality has been paid by the Grantee during the preceding calendar year for permits, street or parkway openings, or inspections related to the Gas System or Gas System Works. If the Municipality has chosen to receive Unbilled Gas, the Grantee shall have the right to reduce the Therm Allocation for a billing year by an amount of therms equal to (a) the amount of any fees that the Municipality has been paid by the Grantee during the preceding billing year divided by (b) the Gas Cost per Therm determined for the calendar year that begins with the January 1 nearest to the end of such billing year.

## **SECTION 6. ACCOUNTS AND RECORDS.**

Within 90 days following a written request by the Municipality made no more frequently than once during each calendar year of the Term, the Grantee will provide the Municipality with a written statement showing the gross operating revenue generated during the immediately preceding calendar year by the Grantee from the distribution of gas to customers identified in the Grantee's billing records as located within the corporate limits of the Municipality, which

statement will, if requested as part of the Municipality's request, show the distribution of such gross operating revenue among the following categories of users: Residential, Commercial, and Industrial, or by such other categories as may be agreed to by the Grantee and the Municipality.

## **SECTION 7. SUBSTITUTION OF MORE FAVORABLE PROVISIONS.**

**A. Amended Ordinance.** If during the Term of this Franchise, the Municipality learns of a Grantee franchise ("**Grantee Franchise**") from any other municipality in Illinois ("**Other Franchisor**") adopted or otherwise provided by the Other Franchisor after the Effective Date and containing "**More Favorable Provisions**" (as defined in Subsection C of this Section), then the Municipality may adopt, no sooner than 30 days from the date of providing the notice to the Grantee required pursuant to Subsection B of this Section, an ordinance amending this Ordinance solely to substitute for the provisions of Section 5 of this Ordinance replacement provisions that are substantially identical to the More Favorable Provisions ("**Amended Ordinance**"). If the Municipality adopts an Amended Ordinance in conformity with this Section 7, the Grantee will accept the Amended Ordinance and execute a Consent Agreement consistent with Section 15 of this Ordinance.

**B. Notice.** At least 30 days before adopting an Amended Ordinance pursuant to this Section 7, the Municipality shall provide the Grantee with written notice that explicitly (i) states that the Municipality intends to invoke its right under this Section 7 to adopt an Amended Ordinance; (ii) identifies the Other Franchisor; (iii) states the date, time, and place of the meeting at which adoption of the Amended Ordinance will be considered; and (iv) includes the Amended Ordinance.

**C. More Favorable Provisions.** "**More Favorable Provisions**" means the provisions in a Grantee Franchise (i) establishing the compensation to be paid by the Grantee to the Other Franchisor, including, without limitation, the formulas and procedures utilized to determine the form and amount of such compensation ("**Compensation Formulas and Procedures**"); and (ii) that the Municipality has reasonably concluded are more advantageous to or protective of the public interest of the Other Franchisor than the existing provisions of Section 5 of this Ordinance are to the Municipality. "More Favorable Provisions" shall not include provisions providing consideration to the Other Franchisor for franchise renewal (it being understood that the exercise by the Municipality of its right under this Section 7 shall not be deemed a franchise renewal). Replacement provisions in a proposed Amended Ordinance shall not be deemed to be substantially identical to More Favorable Provisions if those replacement provisions do not utilize the Compensation Formulas and Procedures as applied to the Municipality to determine the form and amount of compensation to be paid by the Grantee to the Municipality. The Municipality shall not have the right to invoke this Section solely to effect a change in the form of compensation (between payments or unbilled gas) if that form of compensation had been available to the Municipality to select under Section 5 of this Ordinance, and neither the procedures for changing the form of compensation in Section 5 of this Ordinance nor those in the Compensation Formulas and Procedures would then have permitted the Municipality to make a change in the form of compensation.

**D. No Notification Required.** Nothing in this Section shall require the Grantee to notify the Municipality of new franchises that the Grantee obtains with other municipalities in Illinois or new provisions within any existing franchise agreements.

## **SECTION 8. INDEMNIFICATION.**

**A. Grantee.** The Grantee must, and will, fully indemnify the Municipality (but not any other third party) against and from any and all claims, liabilities, actions, damages, judgments, and costs, including without limitation injury or death to any person and damage to any property or Public Right-of-Way and including without limitation attorneys' fees (collectively, "**Claims**") that the Municipality may incur or suffer, or that may be obtained against the Municipality, as a result of or related to the Grantee's failure to perform any of its obligations under this Ordinance, or the Grantee's negligent, unlawful, or intentional wrongful acts or omissions that relate to (i) the use or occupation by Grantee of the Public Right-of-Way under this Ordinance, or (ii) the construction, operation, maintenance, or repair of the Gas System located within the Public Right-of-Way. The Municipality must give the Grantee written notice within 30 calendar days after the Municipality has received written notice of a Claim. The Municipality may tender to the Grantee the defense of a Claim, in which case the Grantee must defend the Municipality against that Claim, or the Municipality may defend itself against that Claim at the Grantee's expense. The Grantee shall not be required to indemnify, defend, or hold harmless the Municipality for any Claims to the extent the Municipality, its officers, agents, or employees are liable under the laws of the State of Illinois (including for conduct that constitutes gross negligence, malicious or intentional wrongful acts, or the willful misconduct of the Municipality, its officers, agents, or employees while acting on behalf of the Municipality).

### **B. Municipality.**

1. The Municipality must, and will, fully indemnify the Grantee (but not any other third party) against any and all Claims arising as a result of damages to the Grantee's Gas System caused by the conduct of the Municipality, its officers, employees, or agents for which the Municipality is liable under the laws of the State of Illinois (including for conduct that constitutes gross negligence, malicious or intentional wrongful acts, or the willful misconduct of the Municipality, its officers, agents, or employees while acting on behalf of the Municipality). The Municipality shall not be required to indemnify, defend, or hold harmless the Grantee for any damages to the extent the Grantee, its officers, agents, or employees are liable under the laws of the State of Illinois (including for conduct that constitutes gross negligence, malicious or intentional wrongful acts, or the willful misconduct of the Grantee, its officers, agents, or employees while acting on behalf of the Grantee).

2. The Grantee recognizes the Municipality's right to exercise its police powers over the Public Right-of-Way in case of fire, disaster, or other emergency as reasonably determined by the Municipality. Notwithstanding Paragraph 1 of this Subsection, the Municipality shall not be liable to the Grantee for any damages to the Grantee's Gas System when the damage results from the exercise by the Municipality of its police powers in order to protect the public in case of fire, disaster or other emergency. When practicable, as reasonably determined by the Municipality, the Municipality shall consult with the Grantee prior to the exercise by the Municipality of these police powers, where the exercise may affect the Grantee's Gas System, and to permit the Grantee to take necessary action to protect the public and the Gas System.

## **SECTION 9. INSURANCE.**

If the Grantee's total stockholder equity as determined in accordance with generally accepted accounting principles ("**Stockholder Equity**") as of the end of its most recently completed fiscal year is less than **fifty million dollars (\$50,000,000)**, the Grantee shall be

obligated under this ordinance to maintain during its current fiscal year, at its sole cost and expense, insurance against the liabilities assumed under this ordinance consisting of the following coverages at the following minimum limits:

**A. Comprehensive General Liability.** Comprehensive general liability insurance with coverage written on an "occurrence" or "claims made" basis and with limits no less than: (1) General Aggregate: \$2,000,000; (2) Bodily Injury: \$2,000,000 per person, \$2,000,000 per occurrence; and (3) Property Damage: \$2,000,000 per occurrence. Coverage must include: Premises Operations, Independent Contractors, Personal Injury (with Employment Exclusion deleted), Broad Form Property Damage Endorsement, Blanket Contractual Liability, and bodily injury and property damage. Exclusions "X," "C," and "U" must be deleted. Railroad exclusions must be deleted if any portion of the Gas System Work is within 50 feet of any railroad track. Every employee of the Grantee engaged in Gas System Work within the Municipality must be included as an insured.

**B. Comprehensive Motor Vehicle Liability.** Comprehensive motor vehicle liability insurance with a combined single limit of liability for bodily injury and property damage of not less than \$2,000,000 for vehicles owned, non-owned, or rented. The coverage required by this subsection shall include bodily injury and property damage for all motor vehicles engaged in Gas System Work within the Municipality that are operated by any employee, subcontractor, or agent of the Grantee.

**C. Workers' Compensation.** Workers' compensation coverage in accordance with applicable law.

**D. General Standards for All Insurance.** If obligated under this Section to maintain the foregoing insurance coverages, (i) the Grantee may satisfy that obligation, in whole or in part, through insurance provided by a captive insurance company affiliated with the Grantee to the extent permitted under applicable law if such captive insurance company and the Grantee are both controlled by a company with Stockholder Equity as of the end of its most recently completed fiscal year of at least **fifty million dollars (\$50,000,000)**, or through commercial insurance; (ii) all commercial insurance policies obtained by the Grantee to satisfy such obligation must be written by companies customarily used by public utilities for those purposes, including, if permitted by this Subsection, policies issued by a captive insurance company affiliated with the Grantee; (iii) the Grantee must provide the Municipality, upon request, with reasonable evidence of insurance and with certificates of insurance for commercial coverage designating the Municipality and its officers, boards, commissions, elected officials, agents, and employees as additional insured and demonstrating that the Grantee is maintaining the insurance required in this Section; and (iv) each policy shall provide that no change, modification, or cancellation of any insurance coverage required by this Section shall be effective until the expiration of 30 calendar days after written notice to the Municipality of any such change, modification, or cancellation and providing that there is no limitation of liability of the insurance if the Grantee fails to notify the Municipality of a policy cancellation.

**SECTION 10. CURE.**

In addition to every other right or remedy provided to the Municipality under this Ordinance, if the Grantee fails to comply in a material respect with any of its material obligations under this Ordinance (for reason other than force majeure), then the Municipality may give written notice to the Grantee specifying that failure. The Grantee will have 30 calendar days after the date of its receipt of that written notice to take all necessary steps to cure such material

non-compliance, unless the cure cannot reasonably be achieved within 30 calendar days but the Grantee promptly commences the cure and diligently pursues the cure to completion.

**SECTION 11. FORCE MAJEURE.**

Neither the Grantee nor the Municipality will be held in violation or breach of this Ordinance when a violation or breach occurred or was caused by (a) riot, war, earthquake, flood, terrorism, or other catastrophic act beyond the respective Party's reasonable control or (b) governmental, administrative, or judicial order or regulation other than, in the case of the Municipality, an order or regulation issued by the Municipality not in the exercise of its police powers in order to protect the public in the case of fire, disaster or other emergency.

**SECTION 12. NOTICE.**

With respect to an Emergency, Grantee shall provide notice to the Municipality in accordance with Subsection 4.D. of this Ordinance. Any other notice that (a) requires a response or action from the Municipality or the Grantee within a specific time frame or (b) would trigger a timeline that would affect one or both of the parties' rights under this Ordinance must be made in writing and must be sufficiently given and served on the other party by hand delivery, first class mail, registered or certified, return receipt requested, postage prepaid, or by reputable overnight courier service and addressed as follows:

**If to Municipality:**

**Timothy J. Halik, Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527**

**If to Grantee:**

**Northern Illinois Gas Company d/b/a Nicor Gas Company  
1844 Ferry Road  
Naperville, Illinois 60563  
Attention: President**

**with a copy to:**

**Northern Illinois Gas Company d/b/a Nicor Gas Company  
1844 Ferry Road  
Naperville, Illinois 60563  
Attention: Community Relations and Economic Development Department**

For other notices regarding the general business between the parties, e-mail messages and facsimiles will be acceptable when addressed to the persons of record specified above.

## **SECTION 13. GENERAL PROVISIONS.**

### **A. Communications and Annual Meeting.**

1. **General Communications.** The Grantee and the Municipality believe that it is in their mutual interests to maintain consistent and reliable means of communications regarding all matters under this Franchise. Nothing in this Section precludes the parties in any way from conducting meetings and communications not specifically provided in this Section on any other dates and times during the Term as necessary, required, or otherwise desired.

2. **Annual Meeting.** Except as the Grantee and the Municipality may otherwise agree, upon 45 days prior written notice from the Municipality to the Grantee given no more frequently than once during each calendar year of the Term, the representatives of the Grantee and the Municipality will meet at the offices of the Municipality or another mutually acceptable location ("***Annual Meeting***").

3. **Annual Meeting Matters.** At the Annual Meetings the Parties will review, as necessary, any matters related to this Ordinance and the Franchise as generally identified by the Municipality in its written notice provided pursuant to Paragraph 2 of this Subsection related to (i) the Gas System and Gas System Work; (ii) issues that have arisen since the prior Annual Meeting regarding the Grantee's activities conducted under the authority granted by this Ordinance, (iii) efforts and initiatives by the Grantee or the Municipality, or both, to promote energy efficiency and cost savings related to the use of gas supplied by the Grantee; and (iv) identification of anticipated future capital improvement programs by the Municipality and the Grantee in an effort to coordinate those programs whenever practical in an effort to minimize costs for both the Municipality and the Grantee and to reduce public inconvenience (collectively, "***Annual Meeting Matters***"). The Grantee's and the Municipality's representatives at Annual Meetings shall include individuals with the knowledge, experience and authority required to address competently and to seek to resolve the Annual Meeting Matters identified from discussion at the Annual Meeting.

4. **Good Faith Efforts to Resolve Annual Meeting Matters.** The Municipality and the Grantee will constructively discuss the Annual Meeting Matters at the Annual Meetings. The goal of these discussions is to ensure that the Grantee and the Municipality have sufficient information to address and, if possible, resolve the Annual Meeting Matters and the Parties will share information reasonably necessary for those purposes; provided, however that neither the Grantee nor the Municipality will be required to respond to unduly burdensome information requests or to provide confidential or privileged information to the other party. The parties will work in good faith to resolve Annual Meeting Matters on mutually acceptable terms and to do so within a reasonable period of time. To the extent that resolution of an Annual Meeting Matter is not otherwise provided by the terms of this Franchise, the parties may memorialize their understandings related to resolution of Annual Meeting Matters through memoranda of understanding, supplemental agreements, or other arrangements mutually agreed to.

**B. Assignments of Rights by Grantee.** All provisions of this Ordinance that are obligatory upon, or which inure to the benefit of, NICOR GAS shall also be obligatory upon and shall inure to the benefit of any and all successors and permitted assigns of NICOR GAS, and the word "Grantee" wherever appearing in this Ordinance shall include and be taken to mean not only NICOR GAS, but also each and all of such successors and permitted assigns. The Grantee may not assign any right it has under this Ordinance without the prior express written authorization of the Municipality by ordinance or resolution of the Corporate Authorities. The

Municipality will not withhold that authorization if (a) the Assignee is technically and financially capable of operating and maintaining the Gas System in the reasonable judgment of the Municipality and (b) the Assignee assumes all of the obligations of the Grantee under this Ordinance except as they may be amended in writing and approved by the Municipality.

**C. Entire Agreement; Interpretation.** This Ordinance embodies the entire understanding and agreement of the Municipality and the Grantee with respect to the subject matter of this Ordinance and the Franchise. This Ordinance supersedes, cancels, repeals, and shall be in lieu of the Previous Agreement.

**D. Governing Law; Venue.** This Ordinance has been approved executed in the State of Illinois and will be governed in all respects, including validity, interpretation, and effect, and construed in accordance with, the laws of the State of Illinois. Any court action against the Municipality may be filed only in DuPage County, Illinois, in which the Municipality's principal office is located.

**E. Amendments.** Except as otherwise provided pursuant to Section 7 of this Ordinance, no provision of this Ordinance may be amended or otherwise modified, in whole or in part, to be contractually binding on Grantee, except by an instrument in writing duly approved and executed by the Municipality and accepted by the Grantee by execution of a Consent Agreement consistent with Section 15 of this Ordinance.

**F. No Third-Party Beneficiaries.** Nothing in this Ordinance is intended to confer third-party beneficiary status on any person, individual, corporation, or member of the public to enforce the terms of this Ordinance.

**G. No Waiver of Rights.** Nothing in this Ordinance may be construed as a waiver of any rights, substantive or procedural, the Grantee or the Municipality may have under federal or State of Illinois law unless such waiver is expressly stated in this Ordinance.

#### **SECTION 14. MUNICIPALITY AUTHORITY RESERVATION.**

The Municipality reserves, subject to the limitations of applicable federal and State of Illinois laws, (i) its powers necessary or convenient for the conduct of the Municipality's municipal affairs and for the public health, safety and general welfare; and (ii) its right to own and operate a gas utility in competition with the Grantee. Notwithstanding the foregoing, the Municipality will not take any such action that would have the effect of depriving Grantee of the rights, permissions and authorities granted to Grantee under this Ordinance.

#### **SECTION 15. CONSENT AGREEMENT.**

Within ninety days after the Effective Date, the Grantee will file with the Municipality a written agreement to accept and comply with the terms of this Ordinance as attached to this Ordinance as Exhibit A ("**Consent Agreement**"), duly executed by authorized representatives of the Grantee. The Grantee's failure to provide the Consent Agreement within ninety days after the Effective Date shall be deemed a rejection of this Ordinance by the Grantee, and the rights and privileges herein granted shall absolutely cease and terminate, unless, within ninety days after the Effective Date, the time period for the Grantee to file the Consent Agreement is extended by the Municipality by ordinance duly passed for that purpose and the Grantee has agreed in writing to such extension.

PASSED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK,  
ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_.

\_\_\_\_\_  
Village Clerk

APPROVED BY THE MAYOR OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, THIS  
\_\_\_\_\_ DAY OF \_\_\_\_\_, 201\_.

\_\_\_\_\_  
Mayor

(Seal)

ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:    AYES: \_\_\_\_\_  
                             NAYS: \_\_\_\_\_  
                             ABSTENTIONS: \_\_\_\_\_  
                             ABSENT: \_\_\_\_\_

Village Clerk )  
STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS.  
VILLAGE OF WILLOWBROOK )

I, \_\_\_\_\_, Village Clerk of the Village of Willowbrook, Illinois, do hereby certify that the foregoing is a true and correct copy of an Ordinance duly passed by the Board of Trustees of said Village on the \_\_\_\_ day of \_\_\_\_\_, 201\_, and duly approved by the President of said Village on the \_\_\_\_ day of \_\_\_\_\_, 201\_, the original of which Ordinance is now on file in my office.

I do further certify that I am the legal custodian of all papers, contracts, documents and records of said Village.

WITNESS my hand and the official seal of said Village this \_\_\_\_ day of \_\_\_\_\_, 201\_.

---

Village Clerk  
Willowbrook, Illinois

(SEAL)

**CONSENT AGREEMENT**

Pursuant to Section 15 of that certain Natural Gas Franchise Ordinance duly passed by the City Council/Board of Trustees of \_\_\_\_\_ (the "Municipality") on \_\_\_\_\_ and duly approved by the Mayor/President of the Municipality on \_\_\_\_\_ (the "Ordinance"), a copy of which is attached hereto, Northern Illinois Gas Company d/b/a Nicor Gas Company, an Illinois corporation hereby accepts and agrees to comply with the Ordinance.

NORTHERN ILLINOIS GAS COMPANY D/B/A NICOR GAS COMPANY

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<p style="text-align: center;"><b>ITEM TITLE:</b></p> <p style="text-align: center;">A RESOLUTION EXPRESSING OFFICIAL INTENT REGARDING CERTAIN EXPENDITURES TO BE REIMBURSED FROM THE BUSINESS DISTRICT FUND FOR AND/OR FROM PROCEEDS OF AN OBLIGATION ISSUED, IF ANY, IN CONNECTION WITH A PROPOSED BUSINESS DISTRICT COMMONLY DESCRIBED AS ROUTE 83/PLAINFIELD ROAD</p>	<p><b>AGENDA NO.</b>                    <b>9</b></p> <p><b>AGENDA DATE:</b> <u>1/11/16</u></p>
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<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	SIGNATURE: <u>TE Halik</u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	SIGNATURE: <u>THOMAS BASTIAN TH.</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	SIGNATURE: <u>TE Halik</u>
<b>REVIEWED BY COMMITTEE:</b> YES <input checked="" type="checkbox"/> <u>on January 11, 2016</u> NO <input type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The Village has been working with two (2) developers regarding potential commercial re-development projects located near Kingery Highway (Illinois Route 83) and Plainfield Road. Each developer has requested the Village's consideration of providing a public subsidy towards each project due to a gap that exists in the financial proforma for each project. The Village has hired the financial consultant Ehlers Associates to review the submitted project proformas and gap analysis reports for each project to determine whether the amount of financial assistance requested for each project is warranted. After the financial review is completed, the resulting information along with a staff recommendation will be forwarded to the Village Board for consideration.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

Staff has recommended to each developer that if a public subsidy is ultimately supported by the Village Board, the primary method to raise that revenue should be through the imposition of a slightly higher sales tax rate within a newly formed Business District. Imposing a slightly higher sales tax on all businesses located within the new Business District would generate additional revenues which the Village would receive and could be applied to these projects. If this approach is used, the Village would need to hire a financial consultant to assist in properly setting up the new Business District. Expenses related to the review of these developments are currently being paid from the Village General Fund. However, these expenses could be reimbursed to the Village with proceeds that will later be generated through the new Business District. In order for our already incurred expenses, in addition to future expenses, associated with these projects to be reimbursed, a resolution expressing our intent to do so must be adopted now.

The attached resolution was drafted by Village Attorney Brian Baugh.

**ACTION PROPOSED:**

Adopt Resolution.

**RESOLUTION NO. 16-R-\_\_\_\_\_**

**A RESOLUTION EXPRESSING OFFICIAL INTENT REGARDING  
CERTAIN EXPENDITURES TO BE REIMBURSED FROM THE BUSINESS  
DISTRICT FUND FOR AND/OR FROM PROCEEDS OF AN OBLIGATION ISSUED,  
IF ANY, IN CONNECTION WITH A PROPOSED BUSINESS DISTRICT  
COMMONLY DESCRIBED AS ROUTE 83/PLAINFIELD ROAD**

WHEREAS, the Village of Willowbrook (the “Village”) is contemplating the formation of a business district commonly described as the Route 83/Plainfield Road (the “District”) for certain real property depicted in Exhibit A, attached hereto and made a part hereof; and

WHEREAS, certain expenditures relating to projects to be undertaken in the District (“Projects”) have been paid within sixty (60) days prior to or after the passage of this Resolution, but prior to the establishment of the District, including, but not limited to, eligible project costs (the “Expenditures”) defined by the Business District Development and Redevelopment Law, 65 ILCS 5/11-74.3-1 *et seq.*, as amended (the “Act”), and such Expenditures may be initially paid from the general fund of the Village or by others; and

WHEREAS, the Village reasonably expects to reimburse itself or by others for the Expenditures from the Business District Tax Allocation Fund for the District and/or with proceeds of an obligation to be issued by the Village, if any.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois as follows:

**Section 1.** That the foregoing recitals are incorporated herein by this express reference.

**Section 2.** That the Village reasonably expects to reimburse the Expenditures from the Business District Tax Allocation Fund for the District and/or with proceeds of an obligation to be issued by the Village, if any.

**Section 3.** That the maximum principal amount of such reimbursement or obligation expected to be issued, if any, for reimbursement of the Expenditures in connection with the

Project is \$10,000,000.00.

Section 4. That the officials, officers and employees of the Village are hereby authorized to take further actions as are necessary to carry out the intent and purpose of this Resolution.

Section 5. That this Resolution shall be in full force and effect immediately upon its passage in the manner provided by law.

PASSED and APPROVED this 11th day of January, 2016.

APPROVED:

\_\_\_\_\_  
Frank A. Trilla, Mayor

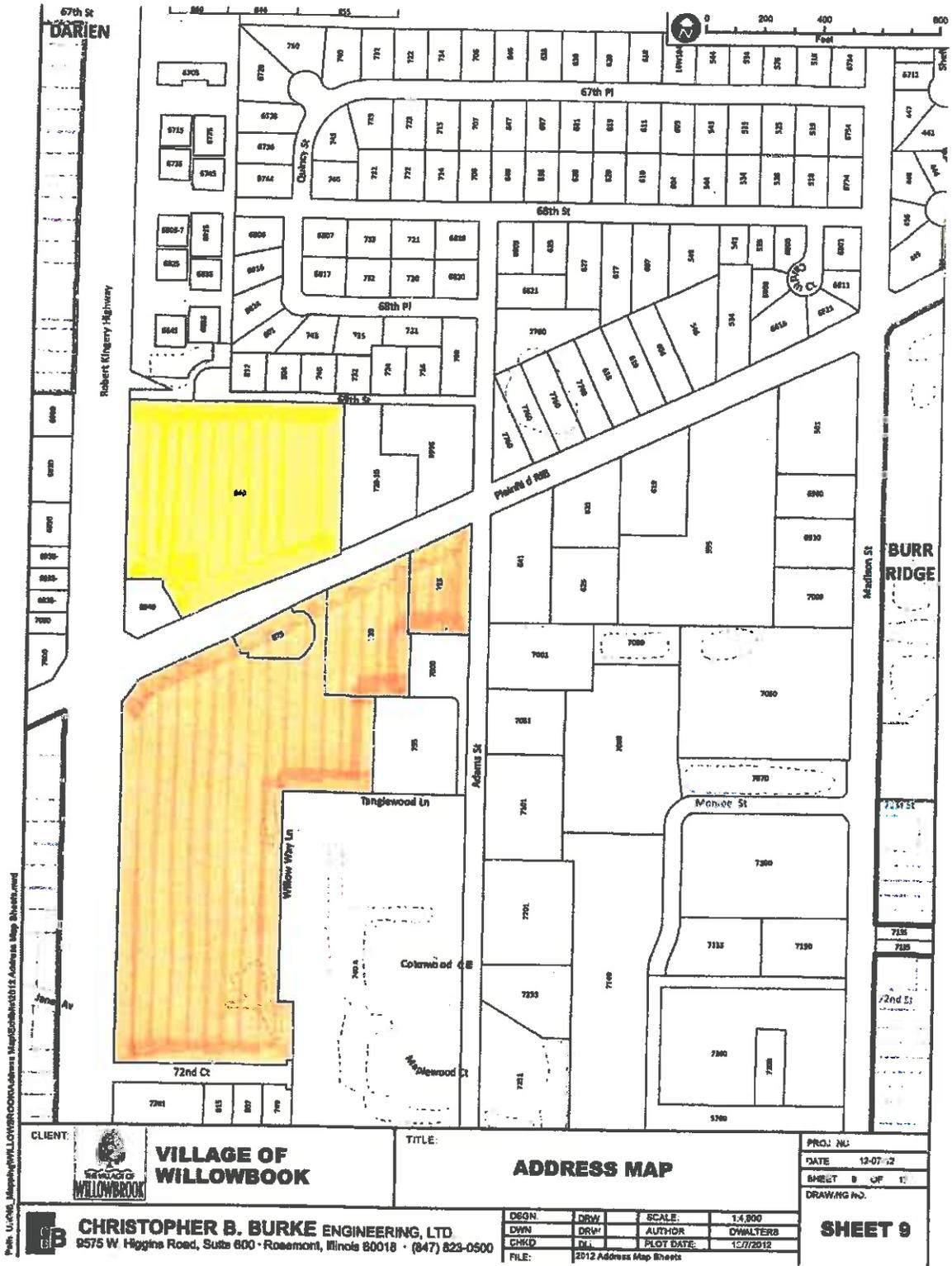
ATTEST:

\_\_\_\_\_  
Leroy Hansen, Village Clerk

ROLL CALL VOTE:    AYES: \_\_\_\_\_  
                              NAYS: \_\_\_\_\_  
                              ABSTENTIONS: \_\_\_\_\_  
                              ABSENT: \_\_\_\_\_

# EXHIBIT A

## PROPOSED ROUTE 83/PLAINFIELD ROAD BUSINESS DISTRICT



CLIENT:  **VILLAGE OF WILLOWBROOK**

TITLE: **ADDRESS MAP**

PROJ. NO.:  
DATE: 12-07-12  
SHEET 8 OF 11  
DRAWING NO.:

 **CHRISTOPHER B. BURKE ENGINEERING, LTD.**  
9575 W Higgins Road, Suite 600 · Rosemont, Illinois 60018 · (847) 823-0500

DESN:	DRW:	SCALE:	1:1,800
DWN:	DRW:	AUTHOR:	DWALTERS
CHKD:	DL:	PLOT DATE:	12/7/2012
FILE:	2012 Address Map Sheets		

**SHEET 9**