

DUE TO RENNOVATIONS
PLAN COMMISSION MEETINGS ARE NOW HELD
AT HINSDALE SOUTH HIGH SCHOOL
LITTLE THEATER (NORTH SIDE OF BUILDING)
7401 CLARENDON HILLS ROAD, DARIEN



Welcome. If you are here for the public hearings scheduled for January 13, 2016, please come to Hinsdale South High School, Little Theater on the north side of the building as shown on the map. Meeting time will be delayed by 15 minutes to provide extra time to those that may have shown up to Village Hall. Park in the north lot (off of Elm Street), enter Door 8 and follow the signs to the Little Theater

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, JANUARY 13, 2016 AT 7:00 P.M. AT HINSDALE SOUTH HIGH SCHOOL, LITTLE THEATER, 7401 CLARENDON HILLS ROAD, CITY OF DARIEN, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Regular Meeting December 2, 2015 (APPROVE)
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-07: (David Froberg - Willowbrook Square Management Co. - 6262 S. Route 83) Amendment to PUD to reduce the "dwell time" on approved digital sign for each message from 20 seconds to 8 seconds.
 - A. PUBLIC HEARING CONTINUED FROM DECEMBER 2, 2015 MEETING
 - B. DISCUSSION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-08: (The Willows PUD - Pete's Fresh Market) Petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building as a multi-tenant building and construction of a new multi-tenant commercial building, including on-site improvements and offsite improvements to both Plainfield Road and Route 83.
 - A. PUBLIC HEARING CONTINUED FROM DECEMBER 2, 2015 MEETING
 - B. DISCUSSION
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

VILLAGE OF WILLOWBROOK
STAFF REPORT TO THE PLAN COMMISSION

2nd Meeting Date: January 13, 2016

1st Meeting Date: December 2, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Title: Zoning Hearing Case Number 15-07
 Willowbrook Square PUD Amendment/Digital Sign
 14-106 W. 63rd Street, Willowbrook, IL

Petitioner: David Froberg for Willowbrook Square Management
 Co.
 6262 S. Rte 83 #302, Willowbrook, IL 60527

**Action Requested
 by Applicant:** Amendment to PUD to reduce the "dwell time" on
 approved digital sign for each message from 20
 seconds to 8 seconds

Location: North side of 63rd, west of Route 83

Purpose: Provide passing motorists with more than one tenant
 display

Existing Zoning: B-2 Community Shopping/PUD

Existing Land Use: Willowbrook Square Shopping Center

Property Size: 1.807 Acres

Shopping Center Size: 29,060 square feet of retail tenant space

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	The Knolls Condos	R-5
<i>South</i>	Bank	B-2 PUD
<i>East</i>	Ruth Lake	Unincorporated
<i>West</i>	Lake	B-2 PUD

**Necessary Action by
 Plan Commission:** Forward a recommendation to the Village Board
 (sample attached) or request additional information.

Background/History:

On May 7, 2014, the Plan Commission held a public hearing and considered this applicant's request to amend the PUD to allow for the construction and operation of a digital sign at the shopping center located on 63rd Street west of Route 83 as shown in the picture below.



Given that the Village did not allow any digital signs at the time of the application, staff did some initial investigation of the regulations and materials available at that time and came up with some guidelines to allow the digital sign, but to provide limitations aimed at limiting possible nuisances and safety concerns. Specifically, controlling the brightness and regulating how messages are displayed and transitioned, and the “dwell time” each message must be displayed before changing to the next were discussed. Staff research at the time suggested that static messages and longer dwell times would minimize the distraction to motorists, which could potentially prevent auto and pedestrian related accidents at the signalized intersection that is proximate to this sign.

Based on the applicant's testimony at the public hearing, the Plan Commission supported the applicant's request to reduce the “dwell time” from a conservative 30 seconds to 20 seconds, which was ultimately approved by the Village Board. Not too long after the sign was installed, code enforcements cited the owner for not complying with the 20 second “dwell time” requirements. The applicant and the “Do It Yourself Dogwash” tenant in the center both contacted the Village that the “dwell time” was too long, and that for it to be effective, more than one message needed to be displayed while motorists were passing by in one trip. The applicant asked whether they could “experiment” with different times, and was informed

that he would need to comply with the ordinance that had been approved on his behalf unless he revised it again or the Village adopted amendments to its sign code to allow and regulate digital signs Village wide.

The applicant submitted the petition for this case requesting the "dwell time" condition in the ordinance that allowed the digital sign be reduced from 20 seconds to 8 seconds. The applicant provided testimony at the public hearing which was opened on December 2, 2015 in support of his request. The Plan Commission was provided with a binder that contained 9 tabs and included data and summaries of various historical reports and/or local codes that regulate digital signs. The applicant's verbal testimony included a review of a memo from the applicant that summarized the information in the binder. The Plan Commission continued the public hearing to January 13, 2016 to provide an opportunity to review the documentation submitted.

Staff has evaluated this information in more detail in Exhibit 1, with a summary provided below. As mentioned in the previous staff report to the Plan Commission, the longer dwell times were initially approved by the Village so that motorists would not divert too much attention to a sign that displayed multiple messages during one trip past the sign. Clearly, the goal of the applicant's request to reduce the dwell time is to provide motorists with more than one message, so it is important to weigh that benefit to the applicant and his tenants against any possible safety risk of drawing the motorists' attention away from the road.

The applicant used information in the first three studies (Tabs 1 through 3) to make a point that there is no causal relationship between electronic signs and automobile crashes. The first two studies, however, went on to acknowledge that while this is true, electronic signs are a distraction to drivers, and that the lack of such a research finding does not preclude a causal relationship between electronic billboards and crashes. Both studies pointed to the need for more research. There are many factors that are distracting besides dwell time, and drivers in "complex" driving environments (on curvy roads, at intersections, in the presence of other signs, etc.) are more at risk. Other relevant data in these reports pointed to suggestions that glances longer than 2 seconds were problematic and that perhaps presenting a driver with more than 2 different messages should be avoided. This latter thought was the basis for the dwell time formula presented in Tab 9. The problem with applying the formula used in Tab 9 might be that the formula appears to be intended for billboards along limited access roads...not for a digital sign on a local street with a traffic signal. Applying the formula to the Willowbrook Square location suggests a dwell time of about 6 seconds...which given the 40 mile per hour speed zone should allow a passing motorist to see 2 messages from about 350 feet away...unless they get stopped by a red light, where they could see several messages based on a 6 second interval. This could be a problem if people spend time waiting to see the next message instead of watching for the green light and moving forward in a timely fashion. Understanding that these reports appear to be geared toward billboards, the data suggests it might be important to be more careful at the subject site given its "complex" surroundings (a stop light, cross walks, turn lanes, other commercial signage, etc.). Staff's opinion is that these reports do little to support the applicant's request.

Although no information is available about why some of the other communities who regulate digital signage use the dwell times provided in their codes, this testimony is more compelling than the information from the studies discussed above. Of the community data provided, Chicago and Countryside allow 10 second dwell times, while Hinsdale and Westmont allow 5 second dwell times. It is important to note that Hinsdale only allows digital signs for government information signs. All communities provided in the analysis have adopted or revised these codes fairly recently. Westmont, for example, recently reduced their dwell time to 5 seconds and according to their Village staff, they have not

experienced any problems with that reduction, although it is not clear what studies if any they have based the reduction on or what kind of police or traffic reports that comment might be based on.

Staff Recommendation:

It is clear that the trend for dwell times is lower since the Village approved the original PUD amendment for Willowbrook Square. While 20 seconds may now be considered a long dwell time given recently approved ordinances shared with the Village, the applicant's original request for 8 seconds and subsequent request to reduce even further to 6 seconds at the first public hearing may be excessive, particularly given the lack of supporting data. Chicago, Countryside and the State of Illinois all utilize 10 second dwell times, so if the Plan Commission wishes to consider something less without a lot of documentation, staff suggests that 10 seconds would be more acceptable than 8 or 6 second dwell times requested by the applicant. The Chicago and Countryside ordinances both relate to local signs on local roads, which is consistent with the sign location under consideration. No data was provided that addresses whether any reduction in dwell time will provide for a safe environment for motorists that drive past the sign. It is unclear whether that data exists. As an amendment to the special use and PUD, the Plan Commission needs to make findings on the standards and given that these standards address public health safety and welfare, etc., staff is interested in the Plan Commission's opinions before drafting these findings. Please review these standards below and be prepared to provide comments and findings for those standards that do not include a finding. If a recommendation is made, staff would incorporate the Plan Commission's comments during the hearing as they relate to the standards that do not yet include a finding.

Special Use Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

FINDING:

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

FINDING:

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

FINDING:

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

FINDING: Not applicable to the requested amendment.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

FINDING: Not applicable to the requested amendment.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

FINDING: Not applicable to the requested amendment.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

FINDING: The Village Board has not denied any request for this property.

PLANNED DEVELOPMENT STANDARDS:

The planned unit development must meet the following standards:

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

FINDING:

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

The planned unit development is under single ownership and not less than 2 acres

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

FINDING: The proposed amendment does not impact permitted or special uses allowed in the center

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

FINDING: Not applicable to the requested amendment.

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.
2. Equal to the height of the taller buildings in the case of freestanding, unattached buildings other than one-, two- or two and one-half story buildings.

FINDING: Not applicable to the requested amendment

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

FINDING: Not applicable to the requested amendment.

(G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

FINDING: Not applicable to the requested amendment.

(H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

FINDING: Not applicable to the requested amendment.

(I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

FINDING: Not applicable to the requested amendment.

(J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

FINDING: Not applicable to the requested amendment.

(K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

FINDING: Not applicable to the requested amendment.

(L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section. (Ord. 06-O-12, 5-8-2006)

FINDING: Not applicable to the requested amendment.

PLANNED UNIT DEVELOPMENT FINDINGS:

The plan commission shall, after the public hearing, set forth to the board of trustees the reason for the recommendation, and said recommendation shall set forth with particularity what respects the proposal would be in the public interest, including, but not limited to, findings of fact on the following: (Ord. 75-O-3, 3-10-1975)

(A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

FINDING:

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

FINDING:

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

FINDING: Other than the relief requested and previous approved, the amendment does not depart from any other zoning or subdivision regulation.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

FINDING: Not applicable to the proposed amendment.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

FINDING:

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

FINDING:

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

FINDING:

Sample Motion:

If the Plan Commission makes the necessary findings and wishes to make a recommendation, the following sample motion is provided:

Based on the submitted petition and testimony presented, I move that the Plan Commission accept and forward the findings of fact reviewed and discussed as part of PC 15-07 to the Village Board and recommend that the Village Board approve an amendment to the previously approved Planned Unit Development for the subject property to allow for a reduction in the dwell time for the digital sign from 20 seconds to ____ seconds.

Exhibit 1

Prior Ordinance approved 20 second dwell time

Application requested 8 second dwell time

Testimony during first public hearing requested 6 seconds dwell time

Public notice referenced "a reduction in time"

Applicant's testimony: Base request on "more thorough survey of the literature and current practice for the operation of signs of this type". Conclude that findings "would safely allow Willowbrook to accept a reduction in dwell time to 6 seconds per panel.

Applicant provided a binder that included documentation in 9 tabs. Applicant's testimony about the information in the tabs is summarized below, along with further staff summary of the resource.

Tab 1. Study prepared for the Village of Minnetonka, Minnesota in 2007 by SRF Consulting Group

Applicant summary: "Study concluded that while driver distraction is a significant factor in car crashes...no causal relationship has been identified between electronic signs and crashes."

2 pages of a 42 page report were provided in Tab 1 of the binder. The full report is attached.

Staff Summary:

- Study conducted as a result of a lawsuit filed by a billboard company when the City turned off the power to an electronic billboard that was in violation of a "stop work order" due to the fact that the City's ordinance prohibited "flashing signs". A moratorium on further signage of this type was established by the City after the court's response to the legal action was to allow limited use of the LED billboard.
- Focus of the study was on billboards (not local digital signs)...and particularly "dynamic signs", which is defined as a change in the sign by means other than manual changes.
- Study did not "conclude" as stated. Rather, it is believed that the statement was part of a comment made by an expert that was interviewed. Please see the comments from Greg Davis on Page A6, which are as follows..."Davis stated that while no research has established a direct cause and effect relationship between electronic outdoor advertising signs and crash rates, the lack of such a research finding does not preclude a causal relationship between electronic billboards and crashes." He advocates for more study.
- Other "experts" provided the following input:
 - A University of Minnesota researcher believes electronic billboards "pose a driver distraction threat"...particularly in areas where there are curves, exits, entrances or similar changes in roadway features.
 - An Engineering Psychologist and highway safety expert, who was a lead author for a 1980 study on electronic billboards. He concluded that "it is neither feasible...nor necessary...to demonstrate a causal relationship between digital billboards and road safety. Rather, he believes that...there is support to develop guidelines and ordinances for the design, placement, and operation of digital billboards so as to lessen their potentially adverse impact on road safety and traffic operations. He noted that "drivers

spend more time looking at the unfamiliar signs than at familiar ones, suggesting digital billboards are more dangerous than traditional fixed billboards because of changing messages

- Studies from the 50's through the 70's concluded that "correlation between crash rates and roadside advertising (static signs during those times) is strongest in 'complex' driving environments." Complex driving environments are those that intersections or other areas where multiple decisions are required.
- The study concluded that "driver distraction plays a significant role in traffic safety. Driver distraction is a factor in one in four crashes. Major findings of the study include (Page A28):
 - Drivers subjected to digital advertising may be distracted enough to cause a crash
 - Dynamic signs hold drivers' attention for longer than static signs
 - There is a high correlation between crashes and the complexity of the driving environment. Intersections, curves, entrances, exits, etc. are all examples of complex driving environments.
 - While many studies may have not established a causal relationship between outdoor advertising signs and crash rates, it is not necessary to establish a relationship to show that they can make the driving task less safe. Some situations will likely contribute to more crashes than others if more studies were undertaken.

Regulatory Recommendations

1. Limit location of dynamic signs to "higher level commercial districts, by zoning overlay or for specific purposes, or to specific roadway types.
2. Regulate sign transitions and movement
3. Sign display time should correspond to the operation roadway speed (not the posted speed), allowing at most one image transition during the time that the sign is visible to a driver. This is the only recommendation in the report related to message length.
4. If possible, distinguish when dynamic signs should be allowed by right, versus when they should be regulated by special use or other special approvals.
5. Consider reasonable separation between dynamic signs.
6. Consider size limitations by zoning district
7. Consider regulations that dictate whether a dynamic sign can stand on its own, or whether it should be incorporated as part of a static sign.
8. Require light dimmers and provide authority to disable or turn off device if it malfunctions in a way that violates the code or is a nuisance.

Tab2. "Effects of Outdoor Advertising Displays on Driver Safety", produced by CTC and Associates for Caltrans Division of Research and Innovation.

Applicant summary: Study concludes there is no definitive research showing increase in car crashes due to the presence of billboard or digital billboards, although there is an increased crash risk based on the effects of billboards on driver attention and driver distraction. While there is significant research on the effects of outdoor advertising on driver distraction, there is little research definitively showing outdoor advertising affects crash rates.

Staff Summary:

- Focus on billboards, not local signs.

- Report conducted because California was considering generating income with advertisements on changeable message signs and outdoor advertising displays on state-owned rights of way outside the operational highway.
- Notes that a 2007 FHWA memo makes recommendations for 8 second message duration.
- References a 2009 report by Jerry Wachtel, who believes message duration should be based on site distances to the sign and speed limits. Again, these studies are all referencing billboards.
 - Billboards can have a significant effect on driver speed, lateral control, mental workload, ability to follow road signs, and eye movements and fixations, with older drivers affected.
 - Digital billboards attract more attention than regular billboards, with larger number of glances and longer glances.
 - The shorter the message duration, the longer the driver's glance in anticipation of the next message.
 - Glances of more than 2 second can double the crash risk.
 - The use of accident data in evaluating the impacts of billboard is ill-advised.
- Post 2009/Wachtel study summaries.
 - A 2010 study concludes that among distractions external to vehicles, roadside advertisements have the strongest correlation to collision frequency
 - Video billboards draw longer and more frequent glances than static advertisements, with drivers showing greater variation in lateral positing, driving more slowly and braking harder.
 - A 2011 study shows that video billboards also lead to more rear-end collisions when there is a hard-braking lead vehicle
 - A 2010 study showed no impact on driver performance after the installation of a digital billboard, and a 2009 study shows no correlation between hazardous intersection and the presence of digital billboards in Los Angeles
 - Preventing distraction by digital billboards requires controlling lighting at nighttime, lengthening message duration time, simplifying message information and prohibiting message sequencing.
 - Controlling lighting levels is just as important as controlling timing.
 - An undated chart from the Outdoor Advertising Association of America summarizes state regulations on changeable message advertising signs. Message duration ranges from 4 to 10 seconds, with 6 and 8 seconds most common. Again, these regulations reference billboards.

Study concluded that while driver distraction is a significant factor in car crashes...no causal relationship has been identified between electronic signs and crashes.”

2 pages of a 42 page report were provided in Tab 1 of the binder. The full report is attached.

Tab3. California State University student project that evaluated the traffic and safety impact of a new electronic billboard near Sacramento State adjacent to Highway 50.

Applicant summary: The presence of electronic billboards “does not appear to have a significant impact on traffic incidents in this section of highway.” No changes in measurable impact on road safety after the installation of the electronic billboard were observed.

Staff Comments:

- Again references billboards
- Report comments that because many of the road users at this segment are probably commuters, they may be familiar with the electronic billboard, and it does not appear to affect their driving.

Tab 4. City of Chicago.

- 2014 Amendment
- Regulates local digital signs
- No more than one message every 10 seconds
- Prohibits within 125 feet of residential districts
- Size restrictions (lesser of 25% of the face area or 32 square feet) in neighborhood commercial districts) (lesser of 25% of the face area or 64 square feet) in larger commercial areas).
- Prohibits video displays except in sports stadiums and convention centers.
- Set maximum light levels
- Require automatic dimmer
- Must be turned off between midnight and 5AM, except when business open
- Must have automatic shut-off in the event of malfunction.

Tab 5 Hinsdale.

- Only regulates “Public Service Signs” when authorized by special use
- Dwell time for these signs is 5 seconds...although the applicant noted that Hinsdale South cycles with a 3 second dwell time, and that conditions along that road relative to the sign are similar to the Willowbrook Square Shopping Center.

Tab 6 Countryside

- Adopted in 2015
- Dwell time approved at 10 seconds
- Applicant notes government entities in Countryside cycle their signs at 3 second dwell time
- Cannot exceed 50 percent of allowable sign area
- Cannot be closer than 200 feet from residential properties
- Can't flash, dissolve, scroll, or blink.
- Only 1 digital sign per lot
- Brightness controls are utilized (5000 NIT during day, 1000 NIT during night, or 30 foot candles 4 feet from sign)
- Only operate during business hours of operation
- Must sign an affidavit agreeing to abide by the terms of the provisions of the code and stating that applicant understands all requirements and restrictions of the regulations

Tab 7 Westmont

- 5 second dwell time
- Allowed only in certain districts by special use permit

- Can't exceed 40 percent of the sign's total sign surface area, or 75 percent if a ground sign in a monument style
- Electronic board must be located below the primary business sign
- No flashing, animation, movement
- Live video is prohibited
- No transitions
- Light level requirements apply
- Text displays shall appear with a solid black background
- Dimmers are required and proof must be presented at time of permit application.

Tab 8 Undated State Changeable Message Chart

Dwell Time Statistics

4 seconds: 4 states

5 seconds: 2 states

6 seconds: 14 states, including Illinois...although the IDOT website references a 10 second requirement.

8 seconds: 17 states

10 seconds: 4 states

Other: 3 states

Not reported: 6 states

Tab 9 FHWA Guidelines

Formula for minimum "dwell time" according to Wachtel.

Not sure if this is intended for all signs or just billboards, although he indicates that the intent is so that a motorist will not see more than two successive messages.

Dwell time =

Feet to sign divided by speed limit (feet/second)

So If 350' and 40 mph

$$350 \div ((40 \times 5280) / 60) / 60 = \text{dwell time}$$

$$350 \div 58.67 = 5.96$$

So If 1000' and 60 mph...as on

$$1000 \div 88 = 11.36$$

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE PLAN COMMISSION

Second Meeting Date: January 13, 2016, Hearing Continued from December 2, 2015

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Number and Title: PC 15-08: The Willows PUD (Pete's Fresh Market)

Petitioner: Pete's Fresh Market

Action Requested: Conduct public hearing for a petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building on the northeast corner of Plainfield and Route 83 as a multi-tenant building (current plans for Pete's Fresh Market, Steinmart and Ulta), and construction of a new multi-tenant commercial building that parallels Plainfield Road, including both on-site improvements and offsite improvements to both Plainfield Road and Route 83, and approval of a preliminary and final plat of subdivision.

Location: Northeast corner of Plainfield Road and Route 83

Existing Zoning: B-2

Existing Land Use: Vacant building formerly occupied by K-Mart and parking lot

Surrounding Land Use:	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Willowbrook Office and Single Family	LOP and R-1
<i>South</i>	Willowbrook Town Center	B-2 PUD
<i>East</i>	Chase Bank/Office	LOP
<i>West</i>	Binnys, Burger King Radio Shack Center, Shell	B-2 and B-3

Necessary Action by Plan Commission: Conduct continued public hearing (continued from December 2, 2015 meeting), and either continue hearing if necessary to next meeting on February 3, 2016, or complete and close hearing, and forward recommendation if ready.

Documents Attached At End of Report

- Engineering Review comment letter from Dan Lynch, CBBEL dated 1/5/16.
- E-mail from Sequoia Realty (Management company for office property to the north), dated

Numbered Plan Documents

1. Colored Elevations of the larger Principal Building Including Wall Signage Illustration (2 Sheets), prepared by Douglas Design and Associates, Not Dated. Two additional sheets for the outlot building will be provided at the meeting.
2. Site Plan, prepared by Angelo Stamatoukos, latest revision dated 10/5/15
3. Landscape Plan, prepared by Angelo Stamatoukos, latest revision dated 10/5/15
4. Entrance Connection Proposed Easement Exhibit, prepared by Manhard Consulting, Ltd., latest revision dated 10/6/15.
5. Landscape Impact Exhibit, prepared by Manhard Consulting, Ltd, dated 11/23/15.
6. Off-Site Improvement Exhibit, prepared by Manhard Consulting, Ltd, latest revision dated 9/4/15.
7. Preliminary Plat of Subdivision, "The Willows Subdivision", prepared by Geopool, consisting of five sheets and latest revision dated 9/18/15.
8. Planned Unit Development, "The Willows Subdivision", prepared by Geopool, consisting of 7 sheets and latest revision dated 9/18/15.
9. Final Plat of Subdivision, "The Willows Subdivision", prepared by Geopool, consisting of 2 sheets, and latest revision dated 9/18/15.
10. On Site Engineering, prepared by Geopool, consisting of 16 Sheets, and latest revision dated 9/18/15.
11. Engineering Review comment letter from Dan Lynch, CBBEL dated 1/5/16.
12. E-mail from Sequoia Realty (Management company for office property to the north), dated December 28, 2015.

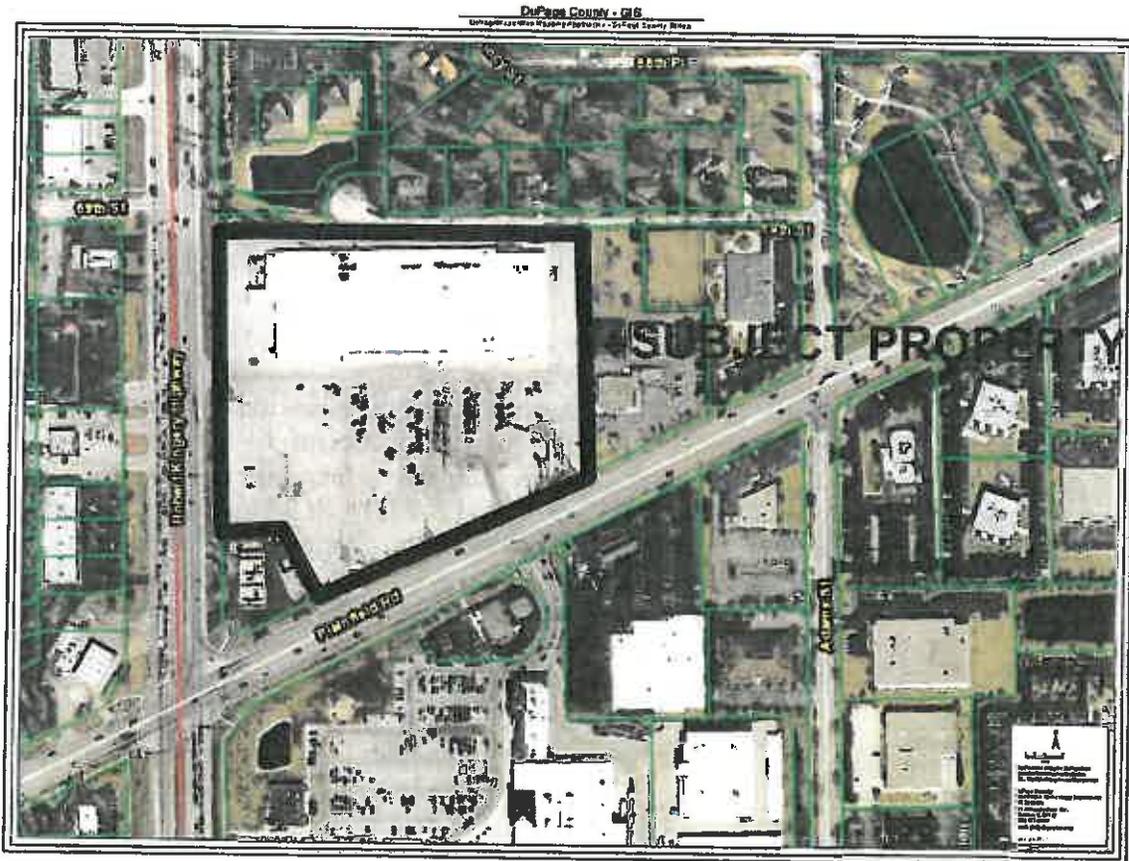
It should be noted that all plan documents are still under review and require modifications, and that final documents forwarded to the Board will need to all be newly revision dated and identified "For Board Approval".

Site Description:

The subject property is located on the northeast corner of Plainfield and Route 83. The site contains about 10.5 acres and is currently improved with one building, formerly occupied by K-Mart. The existing building has a non-conforming setback as it is situated at the far north end of the lot, not far from the north property line. The rear service drive behind the building is also non-conforming as it is located approximately ten feet from the north property line. Immediately north of the north property line is 69th Street, with single family residential lots on the north side of 69th Street. There is no direct access from the property to 69th Street, which has quite a bit higher elevation than the rear service drive at the east end of the Subject Property.

Existing access to the property includes one drive on Route 83 and two drives on Plainfield Road. The only drive that will remain in the same location is the drive on Plainfield that currently aligns with the Plainfield Road access to the Willowbrook Town Center across the street, which will be signalized as part of this project. Nearly all of the balance of the lot is paved with a parking lot.

The gas station property on the immediate northeast corner of the intersection is NOT included with the project.



History and Proposal:

The applicant, Pete's Fresh Market, wishes to subdivide and receive PUD approval so that the existing building can be re-purposed for a multi-tenant commercial building that will accommodate their grocery store business, a Steinmart and an Ulta cosmetic store. An additional 15,000 square foot outlot building is planned on the south side of the property to be aligned parallel with Plainfield Road and west of the Plainfield Road access drive. The second existing driveway on Plainfield Road will be closed. The existing driveway on Route 83 will be shifted to the south, and a new driveway is planned just north of the subject property's property line to align with 69th Street median break, on property owned by the office project to the north. The developer must secure easements from that owner for the use of that property. These proposed easements are shown in the attached documents numbered 4 and 5 above and discussed further below in the "North Access Issues" section of this report.

As mentioned above, the developer will be installing a new traffic signal at the Plainfield Road access that is shared by the Town Center. In addition to this signalization, significant off-site improvements are required by both IDOT and DuPage County as a result of the traffic generated by this project, and will be installed by the developer as part of this project. The traffic study is over 100 pages long and is on-file in the Department for review. The off-site improvements are shown in the attached document numbered 6 above.

Tenants in the new commercial building will include a mix of restaurants, retail and service uses. The entire parking lot will be completely reconstructed and the site will be upgraded with new landscaping and amenities.

Staff Analysis

Use:

The grocery, department, cosmetic, restaurant, retail and personal service store uses are appropriate in a B-2 Zoning District. The grocery and restaurant uses are special uses and can be accommodated as part of the Planned Development process, which must be utilized in order to allow more than one principal building on the lot.

Bulk Regulations and PUD Standards

PUDs may depart from the strict conformance with the required density, dimension, area, height, bulk and other regulations for the underlying zoning district and other provisions of the Zoning Ordinance to the extent specified in the preliminary plat and document authorized the PUD so long as it will not be detrimental to or endanger the public health, safety and general welfare, except that there are no exceptions for complying with 7 of the 12 PUD Standards (discussed later). The departures are identified as “exceptions” and outlined in any approving ordinance. A list of the underlying bulk requirements for which “exceptions” are being requested is provided in the table below.

Proposed Exceptions

Ordinance Section	Description of Requirement	Ordinance Requirement	Proposed and Restrictions
9-3-3	Number of Buildings on 1 lot	1	2, with PUD conditions imposed
9-3-7	Specific Setback from Plainfield Road	100'	82'11" (although it appears some parts of building closer)
9-6-1B	All sales/service indoors	Outdoor seating not allowed	Allow in designated areas with proper enclosure
9-6-1B	All sales/service indoors	Outdoor “market” display not allow	Allow on west side of building in designated area
9-6-1C	Commercial Truck Parking	Required in rear but not within 150' of residential without approval	Accept trucks within 150' of residential with improved screening, operational and timing restrictions.
9-6-1C	Commercial Truck Parking	Not in front of Principal Structure	Identify designated area where commercial vehicles can park as condition of PUD
9-6-B3-E5	Transitional Setback from Residential	100' Required	31'7" to accommodate enclosed truck dock for existing building. Provide appropriate fence and landscaping
9-10-4A	Location of Loading Berths not within 100' of residential property	100'	31' for unenclosed screening and 31'7" for enclosed loading area
9-10-5	Parking	552 for proposed uses	547 for proposed uses
9-10-5L2(d)	Driveway distance to a lot line	Minimum 70'	North driveway is off site/closer

9-10-5G	Parking lot setback from Route 83 and Plainfield	25'	Mostly 10', but as little as 9'3" (Previously 0). Provide improved landscaping
9-10-5G	Parking Lot setback from east "interior" property line	10'	0'
9-10-5G	Parking Lot Setback from residential to north	40'	10'10"
9-10-5G3	Interior Parking Lot Landscaping Islands/Landscaping	1 every 20, each one with 1 tree and shrubs	Mostly complies, but will acknowledge landscaping as part of PUD approval as shown in plan
9-11	Digital Signs	Not Allowed	Allow on both sides of 2 monument signs not to exceed dimensions presented in this report and including operational conditions
9-14-2.23(B)3(d)	Minimum Foundation Landscape Area	7'	Approved Per Plan
9-16-6	Non-Conforming Structures	Discontinued if vacant greater than 1 year	Continue and improve with PUD approval modifications to mitigate impacts.
Various Sections	Landscaping		Per Plan

Site Access

As mentioned earlier, the Plainfield Road access will be signalized. Additionally, significant changes to the grade are proposed at the Plainfield Road entrance that will reduce the severity of the existing grade coming in at that location. This entrance will also be improved with a median separating ingress and egress lanes for greater than the minimum 100' of distance required. This entrance is unobstructed by parking all the way north to the existing building, which will provide ample room for cars to enter the site and make turns before selecting a parking space.

Two access drives are planned along Route 83. The existing Route 83 drive will be removed and a new right-in/right-out drive constructed just south of the existing drive location. This access is also improved with a median separating ingress and egress lanes for greater than the 100' of distance required. This realignment to the south helps minimize backups along the drive aisle lane in front of the principal commercial building that would have occurred if the access would have remained in its current location. The relocation to the south also allowed for the appropriate distance between drives that allowed them to seek approval from the State for a secondary full access in to the property from the north. This drive will allow south bound Route 83 traffic into the site without having to go to the Plainfield Road entrance. Exiting at this northern Route 83 driveway will be right out only.

Delivery trucks for the principal building will access via Route 83 for direct east bound only access to the service drive behind the north building. After unloading, they will continue east to the east side of the building, travel south and exit the property at the Plainfield Road entrance.

Fire truck turning templates have also been requested to show movement to and through the site and are expected to be provided by the applicant at the Plan Commission meeting.

North Access Issues

The northern access on Route 83 is on property not owned by the applicant. They are communicating with Sequoia Realty Group, who manages the office property, in order to secure an easement for that improvement. Engineering for that work is still under way, and the applicant has not yet secured approval from the owner. Staff requested an update from Sequoia, who indicated in the attached e-mail document that they do not object to the concept, but are awaiting engineering, landscaping and other details including how that improvement affects their approved PUD before they will approve the deal. This is still a work in progress, and although the details haven't been worked out, staff agrees with the concept and the proposed design. Final approval, however, cannot be forwarded to the Village Board for a vote until these issues are worked out and the Village has something in writing from the ownership that they have or will agree to the easement. If desired, the Plan Commission could forward a recommendation subject to details being completed that conform to the concept design.

Site Circulation and Parking Design:

Circulation and parking lot design has been carefully planned to accommodate an efficient and safe flow for both cars and pedestrians. Landscape islands and sidewalk connections have been designed to create six smaller "parking fields". For example the parking field on the west side of the Pete's building contains 106 parking spaces. 144 parking spaces are located on the south side of the Pete's store, with some of the spaces likely to be used by Steinmart customers. Ultra customers and center employees will likely park in the east parking field, which contains 154 parking spaces. Customers for the retail outlot building will park in one of two parking fields in that area. There are 98 parking spaces immediately adjacent that building, with another 45 parking spaces west, in a separate area just south of the southern Route 83 entrance. This small area was originally being planned for possible construction of another drive-through restaurant outlot, but overall parking in the center was deficient and effective circulation was a problem. The developer dropped these plans, with the idea to complete this improvements, evaluate actual parking requirements once the project is up and operational, and possibly resurrect another building in that location in the future as part of a later amendment to the PUD.

Pedestrian Access:

Sidewalks in both Route 83 and Plainfield are being added and/or reconstructed. The Route 83 sidewalk is comfortably set back from travel lanes. Due to the addition of travel and turn lanes in the Plainfield Road right-of-way, however, the sidewalks being added in that location are both carriage walks (immediately back of curb east of the entrance), or no more than seven feet from the curb west of the entrance. While this is less than desirable separation, two sidewalk connections into the development from the new Plainfield Road sidewalk provide opportunities for pedestrians to enter the development more quickly. These sidewalk connections align with both sides of the outlot building and continue on a separately designed path all the way to the main building. Some of these sidewalk areas need to be preserved by adding wheel stops to the adjoining parking spaces to prevent overhang into the sidewalk areas.

Parking Requirements

Parking for this use is regulated by the Zoning Ordinance as the sum of the individual uses planned. The following table on the next page summarizes the proposed uses and the associated parking requirements. Note that there appears to be a parking deficiency of five (5) parking spaces, and is noted as an exception as part of the PUD. Overall parking is 3.94 spaces per 1,000 gross square footage, and about 4.9 when not considering the 26,935 square footage of storage at the back of the Pete's store.

Tenant	SqFt	Req	Total Req
Ulta	10,671	1/250	42.68
SteinMart	31,278	1/250	125.11
Pete's Retail	43,500	1/200	217.50
Pete's Storage	26,935	1/1500+4	21.96
Petes Mezzanine	9,528	1/1500+4	10.35
Common	1,864	1/1500+4	5.24
Pizza Restaurant	2,942	1/100	29.42
Pink Nails	1,074	1/250	4.30
Retail	2,470	1/250	9.88
Restaurant	1,662	1/100	16.62
Firehouse Sub	1,812	1/100	18.12
Lumes Restaurant	5,053	1/100	50.53
Total Required			551.71
Total Provided			547
Different			-4.71

Loading Requirements

Sufficient loading areas are being provided for each of the tenants in the main building. Both the loading and the garbage areas for the grocery store will be roofed to minimize visual and noise nuisances to the residential neighbors to the north. Ulta and Steinmart will share a loading area that will be screened with an eight foot (8') tall masonry wall. This loading area will also be screened by a new eight foot tall fence between the north property line and the 69th Street right-of-way. A common loading and garbage area for the retail outlot building is provided on the north side of the building and is screened with an 8' tall masonry screen wall.

Deliveries and Truck Parking

Deliveries to the principal building are planned as a one-way west to east movement. Trucks will access the site from Route 83 and will travel east behind the building to a designated loading or garbage area. Delivery trucks will not be allowed to stop, stage or park in the north delivery drive aisle except in designated loading areas in order to maintain the fire lane, and the area will be signed and regulated as such in the ordinance regulating the PUD. Delivery hours are proposed to exclude any time between 9PM and 7AM as a condition for allowing the continuation of the non-conforming building and parking lot setback between a business and residential properties.

The parking of other commercial vehicles (vans, small box truck, etc.) on the site will also be regulated in the ordinance given that the site's design does not allow for the parking/staging of trucks behind the principal building as required by Ordinance. Staff recommends that commercial vehicles of any kind be allowed to park only in designated areas, and that the best areas for these vehicles would be in the parking field east of the principal building, but no closer than 100' from the north property line. Another area that might make sense is behind (north) of the outlot commercial building. The applicant will be asked to designate sufficient space for such commercial vehicles to be allowed to park. Staff will also be recommending that parking of any commercial vehicle will be expressly prohibited anywhere within 150' of the Route 83 or Plainfield rights-of-way.

North Property Line Setbacks

Some of the most significant exceptions identified as part of this project are those that already exist. Both the building and parking lot setbacks from the north property line do not meet the requirements of being next to residentially zoned property. These locations, however, are fixed. In an effort to address possible concerns and meet the spirit of the ordinance, the applicant located its grocery store operation as far away from residents as possible at the west end of the building, and is proposing to fully enclose its loading and garbage areas. Deliveries and garbage for the department store and the cosmetic store are much less frequent and intense, so the area is not being fully enclosed, but is being screened with new loading area screen walls. In addition, the applicant is proposing to replace the existing slatted 5' tall chain link fence with a new 8' tall screen wall. The existing fence is shown in the two pictures below. Note the higher elevation of the fence at the east end of the property, which is closer to the residents. The fence at the west end of the property gets closer to matching the grade of the property to the north. The effects of these grades on how people view the development is shown in the illustrations on the next page. The top of the building can be seen over the fence at the west end, but not at the east end, which is why loading areas are roofed at the west end and not the east end.

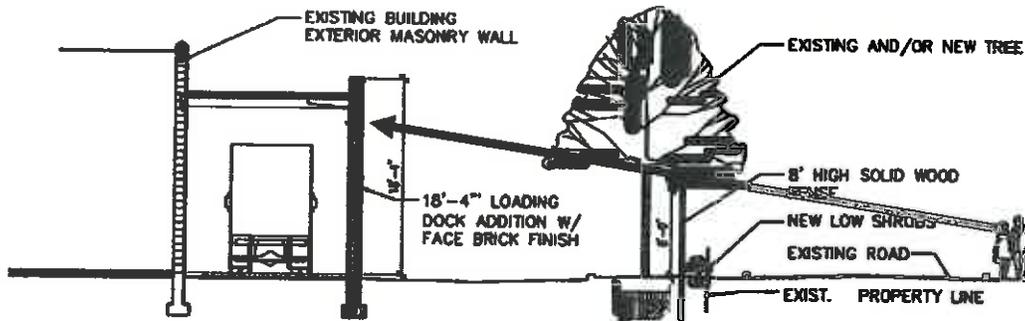


West End of Property

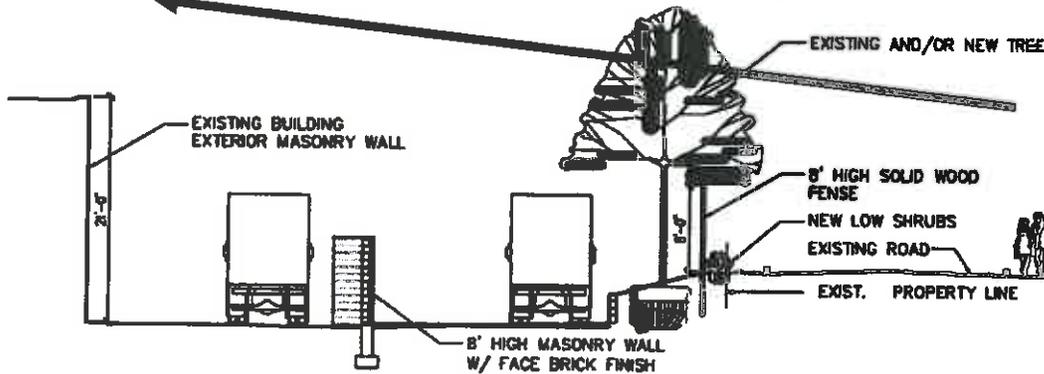


East End of Property

West End of Property
 (Additional screening of loading required to accommodate flatter grades between properties)



East End of Property
 (Views will go over top of building)



The existing fence is on the property line as opposed to being set back ten feet (10') as the Ordinance would now require for new conditions. The applicant has agreed to provide new landscaping on both sides of the fence to provide additional screening and buffer the visual impact of a tall fence. Staff is also recommending that the fence be modified from its current proposed wooden board on board styled fence to something that weathers well. The applicant may select to utilize stained cedar, a "wood-like" solid composite or a simulated stone fence similar to one of the fences in the pictures below. These will not only be more attractive visually, but will also require less maintenance over time.



Parking Lot Setbacks

Parking lot setbacks are also being varied in all four yards, although it is important to note that the existing parking lot extends all the way to property lines. The north, west and south parking lot setback yards provide nearly ten feet of landscaped setback from the right-of-way instead of a 40' setback as required by ordinance. This seems reasonable given existing conditions and assuming they proceed with heavy landscaping in these areas as planned.

Stormwater Management/Engineering

Stormwater control on redevelopment sites is not required if the net new impervious area is less than 25,000 square feet. The threshold for Best Management Practices (BMPs) is 2,500 square feet of net new impervious surface. A stormwater submittal for the on-site improvement has been submitted for the on-site improvements, but not the off-site improvements, which is required before final approval by the Village Board can be granted. A January 5, 2016 review letter by the Village Engineer is attached to this report and indicates that engineering approval is still pending required additions and revisions to both the stormwater reports and engineering plans for both on and off-site improvements.

The engineer has also reviewed the submitted preliminary, PUD and final plats, and finds them acceptable except as noted. These changes are required and should be made. Should the Plan Commission wish to finalize and forward its recommendation prior to engineering being completed, it must include the condition that revised plans and plats documents must be submitted and approved by the Village Engineer before being forwarded to the Village Board on an agenda for their vote.

Summary of required and proposed right-of-way improvements

Negotiating the off-site roadway improvements between a state and county government is not an easy task. Making one entity happy often involves changing a plan that has already been submitted to the other agency, requiring additional reviews. Both the State and the County are requiring roadway improvements in addition to the Plainfield Road signal, which was a given going into the project. A summary of the proposed improvements along each roadway are provided below. As possible, both the applicant and the Village have tried to coordinate with impacted business and property owners. It is important to remember that while the State and County are requiring improvements that will be an "overall" improvement to the roadway network, local impacts to individuals or groups of properties are not always viewed as positive.

Plainfield Road (starting at east end and moving west)

1. Add new sidewalk north side of Plainfield all the way to Route 83.
2. Add west bound to north right turn into new shopping center. Developer is coordinating with bank property on possible relocation/consolidation of their driveway entrances since the taper for this improvement begins in front of their property. The bank property currently has two entrances, neither of which operates without interference from the signal that already exists as Route 83. The proposed new signal will be much close to their entrances.
3. Add traffic and pedestrian signals and crosswalks at Town Center/Willows entrance.
4. West bound Plainfield to north bound Route 83 right turn lane to be expanded so that it begins at new signalized Plainfield Road entrance. This new lane will impact the corner gas station property adjoining the development site.

5. West bound Plainfield to south bound Route 83 turn lane to be increased from one lane to two lanes with roughly the same queue length. Increased pavement width required on north in front of gas station to accommodate new lanes.
6. East bound Plainfield to north bound Route 83 turn lane to be increased from one lane to two lanes with queue length extended west past Crest. The County is requiring a new barrier median which will no longer allow north bound Crest to west bound Plainfield left turning movements. Increased pavement width required on north in front of gas station to accommodate new lane. New taper extends west all the way past first two houses on the north side of Plainfield

Route 83 (starting south and moving north)

1. Developer proposing modification of the existing north bound Route 83 to east bound Plainfield right turn lane to become a through lane only, creating 3 through lanes of north bound Route 83 traffic along the entire project. Although not yet shown, IDOT correspondence is requesting/requiring the installation of a new north bound Route 83 to east bound Plainfield right turn lane. Applicant is working with IDOT to eliminate that requirement.
2. Slight modification to Route 83 median on south side of intersection to better accommodate west bound Plainfield to south bound Route 83 turning movements from new dual left turn lanes.
3. Installation of a new north bound to west bound turn lane to 69th.
4. Installation of a new south bound to east bound turn lane at 69th into the shopping center. This access is planned on property owned by the office condominium property to the north. Approval from that owner as well as an amendment to their PUD is required from the Village in order to implement this proposed improvement.

Landscaping:

A significant amount of new landscaping is being provided site wide. All three entrances will be heavily landscaped, as will all perimeter parking lot setbacks. The perimeter landscaping along Route 83 and Plainfield Road, while not to code, will be as heavily landscaped as the space will allow with 3" caliper shade trees and a thick row of shrubs that are intended to block headlight glare out onto the roadway. These areas historically had no landscaping, as the pavement extended all the way to the property line. The existing landscaping along the northern property line will be removed and replaced in its entirety, as most of what is there has either died or is not been very attractively maintained. Current plans show an alternating combination of deciduous State Street and Marmo Maples, with a continuous line of evergreen mission arborvitae between each tree, all located on the south side of a new 8' tall privacy fence that will be installed all along the north property line. Plans also show some unidentified plant material on the north side of the new privacy fence, although it is not labeled, and needs to be selected for its ease of maintenance, tolerance to salt and limited growing conditions. The exact material planted on the south side of the fence can be flexible if nearby residents prefer an alternative, but the intent is to landscape this area heavily to provide a solid screen that mitigates the impacts of the non-conforming setbacks. The images below show the type of trees currently proposed.



Marmo Maple



Mission Arborvitae



State Street Maple

Recent conversations with the resident who lives in the western most home on the north side of 69th Street resulted in his request that trees across from his house and west include a dense row of evergreen trees instead of the alternating evergreen/deciduous combination discussed above. Staff has no objection and the applicant has expressed willingness to install landscape material that is acceptable to the neighbors. A varietal evergreen mix is recommended in case of disease. This resident also expressed concerns about the amount of landscaping that will be removed as a result of the new northern access. He intends to be at the hearing to provide additional information to the Plan Commission on that and possible other issues.

Landscape islands in the parking lot are also to be landscaped with shade trees, shrubs and/or ground cover materials. Shorter ornamental trees instead of normal deciduous trees are proposed closer to the main building to accommodate parking lot lighting standards and to allow for visibility to wall signage. Staff supports this request, but only in the islands that contain light poles and only if the installed size of these ornamental trees is a minimum of 10' in height at the time of installation.

The tables in the landscape plan need to be revised so that all plant material listed in the tables includes each of the following items: 1) symbol, 2) plant name/identification, 3) the number of that variety used, 4) the size at installation, and 5) the size at maturity. Except as noted and/or as may be changed as a result of additional resident feedback, generally staff supports what is shown, but the plans will need to be revised and approved by staff prior to forwarding to the Village Board for a formal vote.

Monument Signage

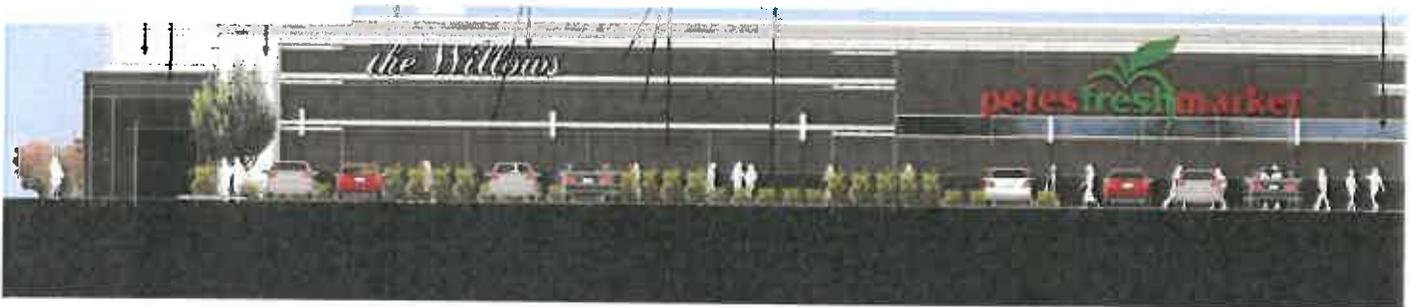
Two monument Signs are proposed. One at the Plainfield Road entrance and one at the southern Route 83 entrance. The sign staff last discussed with the applicant is shown below. It is designed to generally the height (24') and area requirements of the ordinance. The "Pete's Fresh Market, including the digital sign underneath is 8' x 12'8". The overall width of the sign (including cantilever) is 16'. The digital portion of the sign is proportionate to the rest of the sign. It will be important that documentation is added that specifies that no part of the sign from top to bottom (including the portion of the sign that cantilevers out from the rest of the sign) is closer than five feet (5') to any lot line.

Eight sign panels are shown under the sign, and staff has recommended on more than one occasion that they not utilize such small panels to identify so many users, as they are hard to read and ineffective. Staff has instead encouraged the applicant to utilize the digital sign to advertise the smaller tenants in the outlot building. Given, however, that the sign meets size requirements, staff

does not object to the multiple sign panels if that is how the applicant would like to proceed. The only other suggestion on the monument sign is to add a town and/or shopping center identifier. Adding "The Willows of Willowbrook" individual indirectly lit lettering as allowed by the code underneath the tenant panel area would provide motorists with a common identifier for the shopping center. This would be identification in addition to what the applicant has proposed, which is to add "The Willows" on the west elevation facing Route 83 and the north end of the building as shown in the picture below the monument sign below.



West Elevation Shopping Center Identification Signage (Visible from Route 83)



The proposed monument sign incorporates digital technology, which is currently not allowed by the Sign Ordinance. The applicant would like to incorporate this technology as part of their PUD consideration, much like the shopping center recently approved for a digital sign on 63rd Street west of Route 83. Similar to that approval, language will be incorporated into the ordinance that will

restrict brightness, how messages are displayed, and the length of time required between changing messages. These included restrictions that provided only for static messages (no animation of any kind), and dwell time that will be consistent with whatever provision is in place at the time a recommendation is forwarded to the Village Board. It is recommended that all digital technology be treated the same unless and until a comprehensive amendment is made to the code to regulate them village wide, as opposed to regulating them as part of PUD approvals.

Finally, the plans should provide clarification as to how the overhead wires along Plainfield are located or being re-located so as not to interfere with the monument sign at that entrance.

Please note that the latest Engineering Plans (Page C-10) submitted for this review, have proposed a different monument sign than discussed above and that has not been discussed with staff. Staff does not support this revised sign for several reasons. It extends above the base of the sign and the digital portion of the sign is too dominant based on the general parameters discussed as part of the Willowbrook Square sign. Staff recommends something more in line with the sign shown above instead.

Wall Signage:

Wall signs are generally limited by the sum of all gross square foot measurements; meaning the height and width dimensions used are to the farthest edges of the sign, which includes "dead" space. The use of capital letters in signs or graphics (such as the Pete's apple) that extend beyond letters can limit overall signage based on the "gross square footage" calculation. As part of a PUD, however, signage can be evaluated as to the quality of its design and whether it is effectively incorporated into the building's architecture. Staff has evaluated wall signage as can be seen in the elevation drawings and generally finds the appearance to be acceptable, likely because the net square footage of the proposed signs meet the code requirements. Approvals based on gross square footage, however, can be problematic later when considering signs for new tenants. For example the gross square footage generated for Stein Mart, with a big "S" and a big "M" could allow a later tenant to a sign where all the letters were the same size as the "S" and the "M", which would not be appropriate. Therefore, staff will be requiring the provision of both gross and net square footage information on revised plans, with future approvals referencing both numbers.

It should be noted that signage on the "back" of the outbuilding is being utilized to provide identification for those businesses by those who park in the lot north of the building. These are smaller signs than on the frontage, and are approximately equally spaced across the back of the building. The elevation drawings for this building will be provided to the Plan Commission at the hearing as they were not available at the time of this report.

Other Issues and Proposed Operational Conditions:

1. The north service drive must be signed as a fire lane, and must remain clear at all times. Trucks and service vehicles may utilize only for immediate access to designated loading areas.
2. Trucks and trailers may not utilize the north service drive between the hours of 9PM and 7AM and must leave the loading dock areas immediately after loading and unloading is complete.
3. Vehicles with commercial advertising are not allowed anywhere within 150 feet of the Route 83 and Plainfield Road right-of-way.
4. Special uses (restaurants) identified on plans approved, however future requests must be approved by special use process.

5. Outdoor seating areas allowed only in designated areas, and only if screened in a manner that is approved by the Village. Screening details should be added to the plans.
6. The outdoor "Farmers Market" area on the west side of the grocery store allowed only in designated area.
7. The plans must designate sound preventative screens for rooftop mechanicals located on the north 100' of the north building.
8. An easement between the property and the north property line of the gas station shall be provided for possible future use.
9. A written agreement from the owner to the east is required prior to the issuance of construction permits for the work along that common property line.

Special Use and Planned Unit Development Standards:

The Willowbrook Zoning Ordinance requires special uses and PUDs to meet certain standards. These standards are listed below for the Plan Commission's reference for possible discussion at the January 13th meeting. Possible findings are being drafted and will be available for the Plan Commission at the meeting if there is a desire to complete a recommendation.

Special Use Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.
- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.
- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

Planned Unit Development Standards:

The planned unit development must meet the following standards:

- (A) **Comprehensive Plan:** A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.
- (B) **Size And Ownership:** The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.
- (C) **Compatibility:** The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.
- (D) **Storm Water Management:** Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.
- (E) **Space Between Buildings:** The minimum horizontal distance between buildings shall be:
 - 1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.
 - 2. Equal to the height of the taller buildings in the case of freestanding, unattached buildings other than one-, two- or two and one-half story buildings.
- (F) **Yards:** The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.
- (G) **Parking Requirements:** Adequate parking shall be provided as set forth in other sections of this title.
- (H) **Traffic:** That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (I) **Preservation Standards:** Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.
- (J) **Design Standards:** The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.
- (K) **Uses For PUDs Greater Than Five Acres:** Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.
- (L) **Other Standards:** The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and

documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare.

Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section. (Ord. 06-O-12, 5-8-2006)

Planned Unit Development Findings:

The plan commission shall, after the public hearing, set forth to the board of trustees the reason for the recommendation, and said recommendation shall set forth with particularity what respects the proposal would be in the public interest, including, but not limited to, findings of fact on the following: (Ord. 75-O-3, 3-10-1975)

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.
- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)
- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.
- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.
- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)
- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.
- (G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)

Summary

Staff is satisfied that the interior of this site has many positive qualities given the desire of the applicant to re-purpose an existing building. With any rehab of old properties, there comes challenges. The building is situated on the property in a manner that is non-conforming as to its building and parking lot setbacks from the residential neighbors to the north. Many of these people lived with problems when K-Mart was in operation, and have expectations that many of the negative impacts of being that close can only be accepted if they are mitigated by proper screening, landscaping and operational controls that limit deliveries, trucks and other nuisances. While additional comments might be expected as a result of the hearing process, staff is satisfied that the applicant is willing to make significant improvements to provide landscaping and screening of the impacts along the north property line. These physical improvements, along with the operational conditions recommended should mitigate concerns to the greatest degree possible. All other details within the site including parking, circulation and landscaping have been fully vetted and are acceptable to staff

The off-site details of this project and the multiple layers of jurisdictions that control what is required continue cause delays that are out of the Village's control. Village staff considers the

outstanding issues outlined in this report and in the attached engineer's letter as minor. Necessary revisions by the applicant and reviews by staff can be handled by staff if the Plan Commission wishes to complete this process and forward their recommendation. While the interior part of the project that the Village does control works, it would not work if the State, the County or the owner to the north did not provide their approvals. This is why it would be necessary to add conditions to any recommendation the Plan Commission may wish to forward for approval that it be "subject to" the case not being forwarded to the Village Board for final approval until these approvals are granted, or at a minimum, the Village receives some written correspondence from these various entities that the plans will be approved in a matter of time. The only possible down side to finalizing a recommendation prior to these approvals is that in the unlikely event an approval was not granted, a new hearing might be required depending on the changes that might be necessary.

As mentioned above, staff will be preparing a draft of the findings to the standards for presentation and discussion at the hearing. These will be necessary if the Plan Commission wishes to finalize their work and make a recommendation. The following sample motion is provided for the Plan Commission's use.

SAMPLE MOTION:

Based on the submitted petition, the testimony provided by the applicant, and the staff report prepared for PC 15-08 at the January 13, 2016 Plan Commission meeting, I move that the Plan Commission recommend and forward to the Village Board the findings of fact presented and discussed by the Plan Commission and the January 13th meeting, and further recommend that the Village Board approve the following:

- 1. A special use for a planned unit development associated with PC 15-08, including the "proposed exceptions" outlined in the staff report.**
- 2. Special uses for one 70,435 square foot grocery store (26,935 for storage), and four separate restaurant uses not exceeding 11,479 square feet.**
- 3. Approval of the Preliminary and Final Plat of Subdivision and PUD Plats for "The Willows Subdivision", except for revisions required by the Village Engineer to be revised prior to forwarding to the Village Board for consideration.**

Subject to the following conditions:

- 1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the January 13, 2016 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration.**
- 2. Evidence of written authorization from the property owner to the north shall be provided prior to being forwarded to the Village Board for final consideration.**
- 3. Written authorization from IDOT and DuPage County that approvals will be granted pending receipt of plans that conform to certain requirements.**
- 4. Conformance to the statements, requirements and operational conditions listed in the staff report for the January 13, 2016 meeting.**

RE: Pete's Project

Mark Levy [Mlevy@sequoiarg.com]

Sent: Monday, December 28, 2015 2:50 PM

To: Jo Ellen Charlton

Jo Ellen:

I met with the developer at my office on November 12th. Eugene said he was not sure if the city was going to request that the area in question be through an easement or a purchase. I told him that our owners were not opposed to the concept, but wanted to understand how the easement was going to be granted, as well as a need to understand maintenance on the area, and assurances that the detention would not be compromised. As of last week, I have heard nothing further.

Our owners are not opposed to the project, but we need the details before we can fully agree to the plan.

Mark A. Levy

President/Managing Broker

Sequoia Realty Group

1900 S. Highland Avenue | Lombard, IL 60148

P: 630-424-8902 | C: 312-513-2328 | F: 630-424-8916 | E: mlevy@sequoiarg.com

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From: Jo Ellen Charlton [mailto:JCharlton@wbkengineering.com]

Sent: Monday, December 28, 2015 2:15 PM

To: Mark Levy <Mlevy@sequoiarg.com>

Subject: Pete's Project

Hello Mark,

We spoke some time ago when Pete's was first exploring the possibility of adding an access to their project on the south end of your property. I believe that has now progressed, as we have received plans showing this improvement. Would it be possible for you to provide me with a written update as to the status of your discussions with them? A quick e-mail is fine. I just need to confirm they have your permission to include your property in their application. If you need to discuss, feel free to call me at 630-920-2233.

Thanks ,
Jo Ellen

Jo Ellen Charlton, AICP

Senior Planner

WILLS BURKE KELSEY ASSOCIATES

116 West Main Street, Suite 201, St. Charles, Illinois 60174
P: 630.443.7755 C: 630.675.8895 D: 630.338.8526

Mediating the Built and Natural Environments

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CHRISTOPHER B. BURKE ENGINEERING, LTD.

9575 West Higgins Road Suite 600 Rosemont, Illinois 60018 TEL (847) 823-0500 FAX (847) 823-0520

January 5, 2016

Village of Willowbrook
835 Midway Drive
Willowbrook, Illinois 60527

Attention: JoEllen Charlton

Subject: Pete's Fresh Market
(CBBEL Project No. 90-144H146)

Dear JoEllen:

As requested, we have reviewed the submittal of engineering plans and supporting documents for the aforementioned development proposal. The following comments are submitted for your use.

CIVIL ENGINEERING PLANS

The following comments are on the plans prepared by Geopool Engineering, Inc. and dated December 18, 2015.

Cover Sheet (C-1)

1. Benchmarks on which the plans are based must be in compliance with Section 15-33 of the DuPage County Stormwater Ordinance. Only one County benchmark is referenced.

General Notes (C-1A)

No Comments.

Demolition, Erosion and Sediment Control (C4, C4A)

1. Revise Note II to state "All water services shall be abandoned or removed to the satisfaction of the Village of Willowbrook." The water service to the existing building must be shown.
2. Notes call for removal and replacement of the retaining wall per an agreement with the neighboring property owner. A copy of that agreement must be provided to the Village prior to final approval. Also, details for the new wall must be submitted.

3. Notes call for removal and replacement of the existing asphalt parking lot. Based on the proposed grades and typical sections, this will be a full parking lot reconstruction.

Geometric Plan (C-5, C-5A)

1. The proposed retaining wall north of the building is called out as timber. It must be either modular block or poured in place concrete and details are required.

GRADING PLANS (C-6, C-6A)

1. Existing grades of 69th Street must be shown to demonstrate the effective height of the proposed 8' fence.

UTILITY PLANS (C-7, C-7A)

1. The existing storm sewers on this property are over 40 years old. The sewers must be televised to determine their condition and copies provided to the Village.
2. A new water service is now shown for the water feature. We suggest that the water supply for the water feature come from the existing building either from one of the units or with its own meter.
3. An existing 10" storm sewer is shown going toward Plainfield Road at the southwest corner of the site. Identify where this goes, perhaps through televising.
4. Show the fire department connection location on the new building.
5. One grease trap is shown for the proposed building which will have four restaurants. Typically each restaurant has its own grease trap, but we will defer to plumbing review and County review of the sanitary sewer on this issue.
6. The mechanical room of both buildings will have to be available to the Village for access to individual water services.

Details (C-8, C-9, C-10)

No Comments.

General Comments

1. Detailed signed and seal drawings for each retaining wall area are required.
2. A tabular Stormwater Submittal was received, but it does not follow the format outlined in the DuPage County permit submittal checklist. It must be revised accordingly. We presume a separate submittal will be prepared for on-site and off-site plans.
3. Plans for the roadway improvements including Route 83, Plainfield Road, and 69th Street have not been received.
4. As plans progress, permit applications for outside permit agencies will be required.

5. Evidence of an agreement for improvements on the property to the north must be provided.

PLAT OF SUBDIVISION

The following comments pertain to the Final Plat of Subdivision prepared by Geopool Surveying and dated September 18, 2015 and were included in our November 6, 2015 review. A revised plat was not submitted.

1. Provisions are included for a Sidewalk easement, but this easement is not found on the Plat.

PHOTOMETRIC AND LIGHTING PLAN

The following comments were provided in our November 6, 2015 review. A revised Photometric and Lighting Plan will be required.

1. The individual spot photometrics are not legible. Additional comments may arise once the plan is resubmitted.
2. Photometrics must be shown for the north side of the building.
3. Photometrics must extend out to the property lines.

If you have any questions or would like to further discuss this letter, please do not hesitate to contact me.

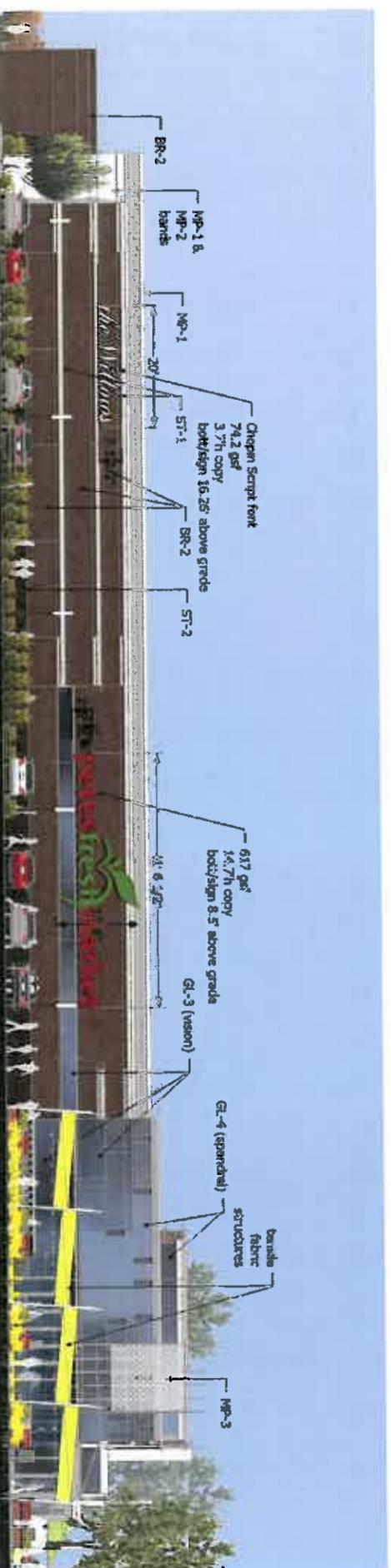
Sincerely,



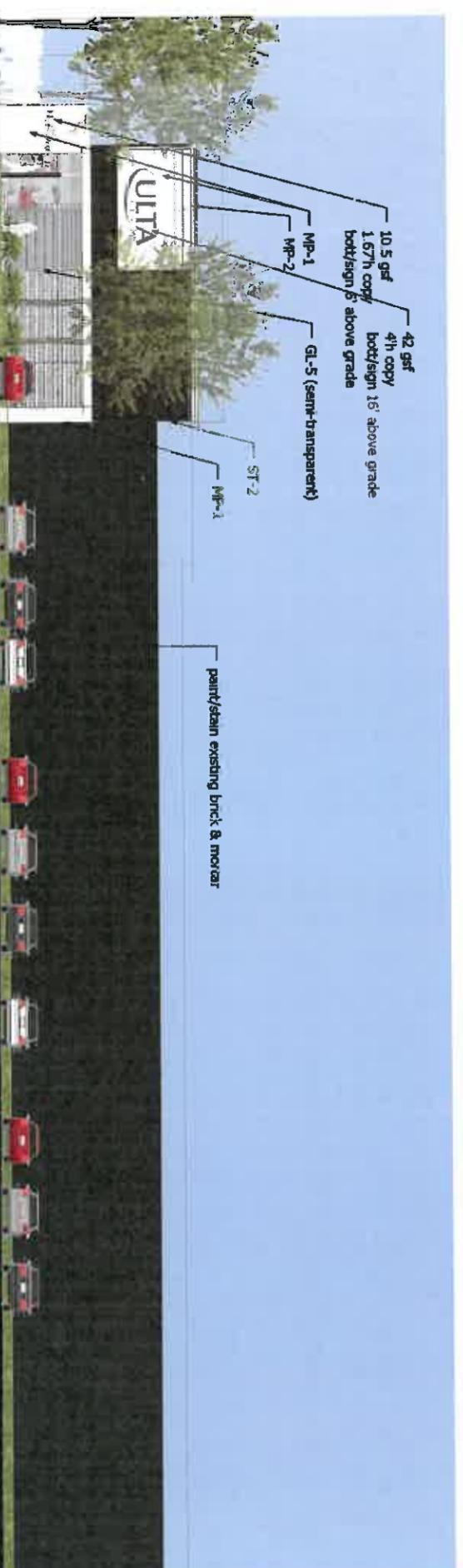
Daniel L. Lynch, PE, CFM
Head, Municipal Engineering Department



viewing easterly - Route 83



west elev Bidg A - Route 83



east elev - Bidg A
Regional Retail Center

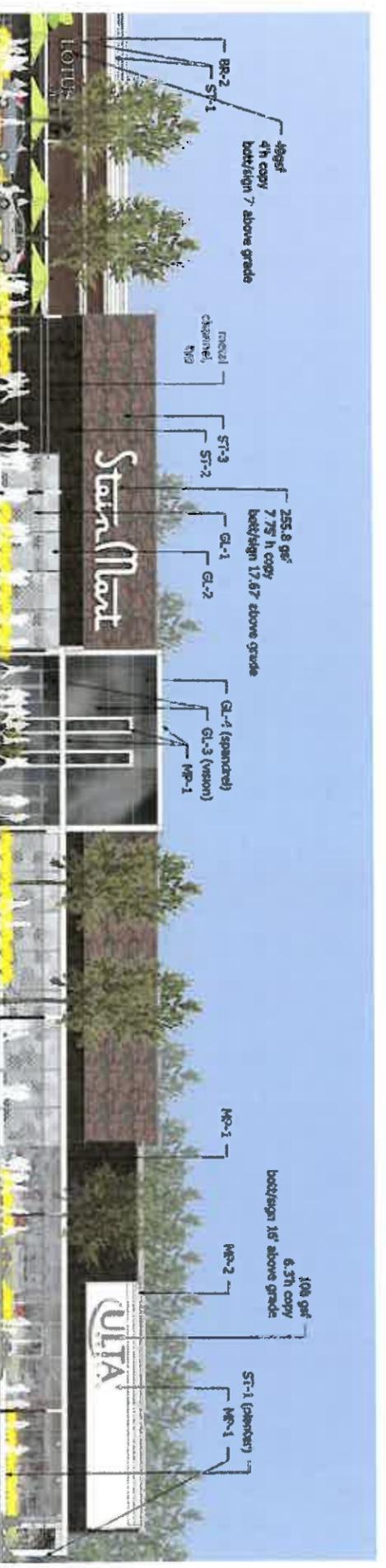
the Willows Willowbrook



www.douglasdesign.com



south elevation - west end

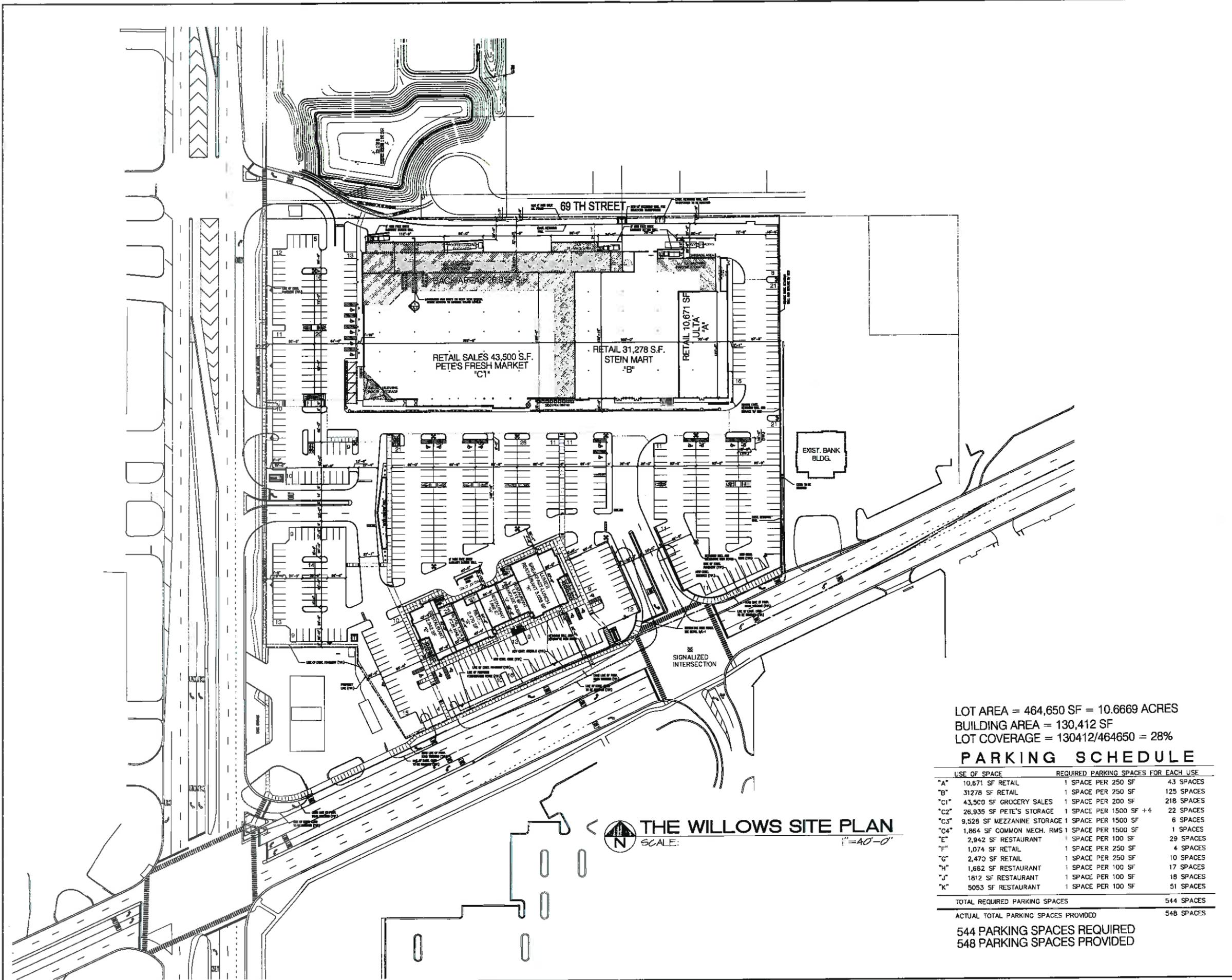


south elevation - east
Regional Retail Center

the Willows *Willowbrook*



www.douglasdesign.com



LOT AREA = 464,650 SF = 10.6669 ACRES
 BUILDING AREA = 130,412 SF
 LOT COVERAGE = 130412/464650 = 28%

PARKING SCHEDULE

USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE	
A 10,671 SF RETAIL	1 SPACE PER 250 SF	43 SPACES
B 31,278 SF RETAIL	1 SPACE PER 250 SF	125 SPACES
C1 43,500 SF GROCERY SALES	1 SPACE PER 200 SF	218 SPACES
C2 26,935 SF PETE'S STORAGE	1 SPACE PER 1500 SF + 4	22 SPACES
C3 9,528 SF MEZZANINE STORAGE	1 SPACE PER 1500 SF	6 SPACES
C4 1,864 SF COMMON MECH. RMS	1 SPACE PER 1500 SF	1 SPACES
E 2,942 SF RESTAURANT	1 SPACE PER 100 SF	29 SPACES
F 1,074 SF RETAIL	1 SPACE PER 250 SF	4 SPACES
G 2,470 SF RETAIL	1 SPACE PER 250 SF	10 SPACES
H 1,662 SF RESTAURANT	1 SPACE PER 100 SF	17 SPACES
J 1812 SF RESTAURANT	1 SPACE PER 100 SF	18 SPACES
K 5053 SF RESTAURANT	1 SPACE PER 100 SF	51 SPACES
TOTAL REQUIRED PARKING SPACES		544 SPACES
ACTUAL TOTAL PARKING SPACES PROVIDED		548 SPACES

544 PARKING SPACES REQUIRED
 548 PARKING SPACES PROVIDED

THE WILLOWS SITE PLAN
 SCALE: 1"=40'-0"

REVISIONS BY

ANGELO STAMATOUKOS - ARCHITECT

113 CENTRAL WILLOWROCK BLVD. SUITE 8002
 WILLOWROCK, IL 60091
 TEL: (708) 261-2514 FAX: (708) 261-2514
 WWW: WWW.ASARCHITECTS.COM

SITE PLAN
 PROPOSED DEVELOPMENT
 THE WILLOWS OF WILLOWROCK
 NORTH-EAST CORNER OF ROUTE 83 AND FURNFIELD ROAD, WILLOWROCK, IL

Date: 10/9/15
 Scale: NOTED
 Job: 100420
 Sheet: A-1

SHRUB LIST:	SIZE:	PERENNIAL LIST:	QUANTITY:
BB - BURNING BUSH	(4')	HRD - HAPPY RETURNS DWYLLY	(364)
GS - GOLD FLAME SPIREA	(18")	DFG - DWARF FOUNTAIN GRASS	(89)
GLS - GRO LOW SUMAC	(5 GAL)	MS - MAIDEN GRASS	(92)
SQJ - SEA GREEN JUNIPER	(5 GAL)	FRG - FEATHER REED GRASS	(212)
CCV - COMPACT CARLESI VIBURNUM	(24")		
DKL - DWARF KOREAN LILAC	(24")		
HY - HICKS YEW	(3')		
DY - SPREADING YEW	(3')		
BM - BLUE MUFFIN VIBURNUM	(3')		
XR - KNOCKOUT ROSE (B4)	(3 GAL)		

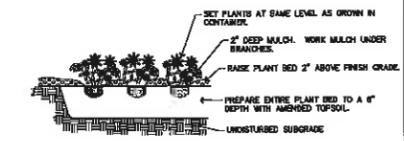
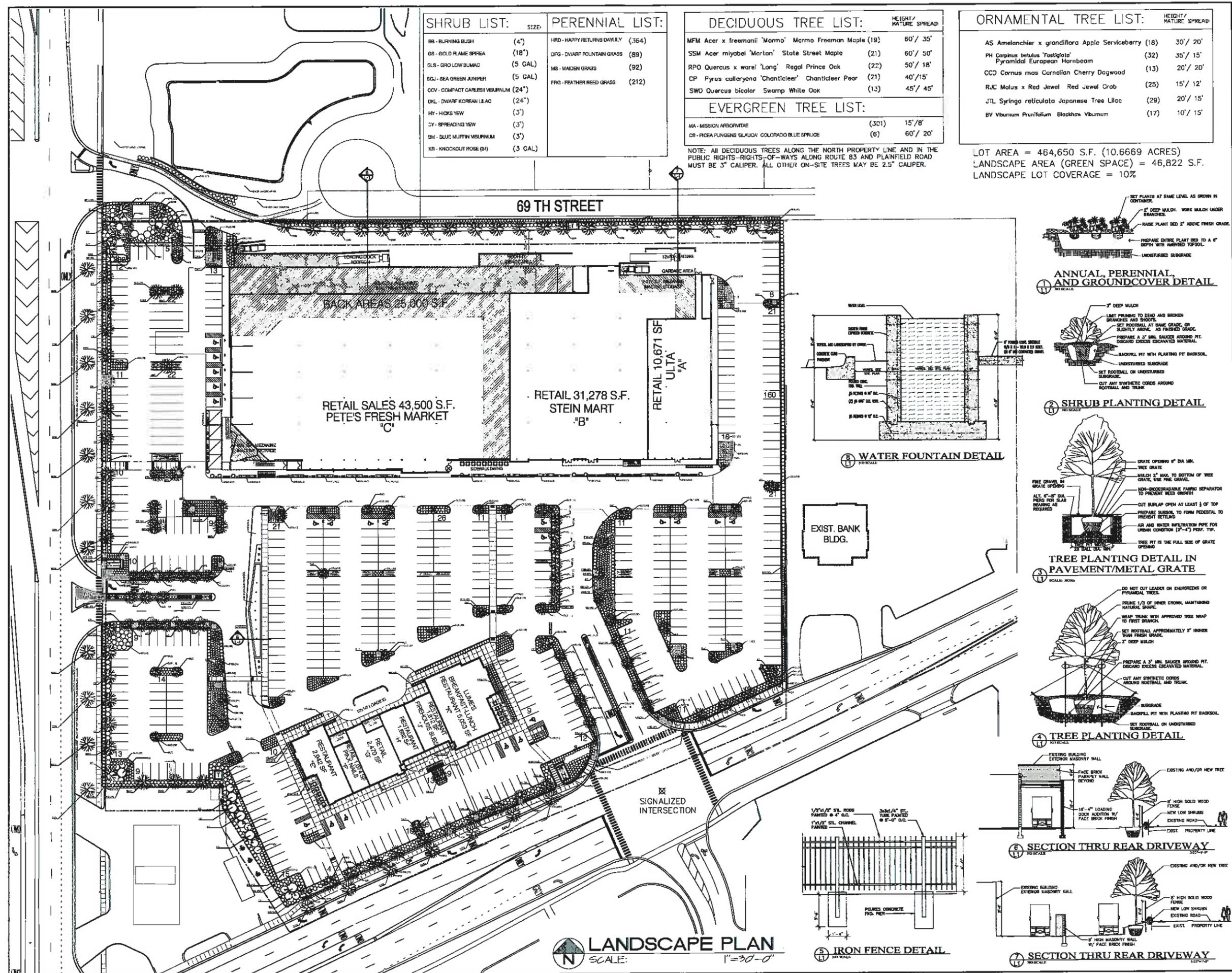
DECIDUOUS TREE LIST:	HEIGHT/MATURE SPREAD:
MFM Acer x freemanii 'Marmo' Marmo Freeman Maple	(18) 60' / 35'
SSM Acer miyabei 'Marlon' State Street Maple	(21) 60' / 50'
RPO Quercus x wari 'Long' Regal Prince Oak	(22) 50' / 18'
CP Pyrus calleryana 'Chanticleer' Chanticleer Pear	(21) 40' / 15'
SWO Quercus bicolor Swamp White Oak	(13) 45' / 45'

EVERGREEN TREE LIST:	HEIGHT/MATURE SPREAD:
MA - MISSION ARBORVITAE	(301) 15' / 8'
CS - COCA PLUNGENS GLAUCO COLORADO BLUE SPRUCE	(6) 60' / 20'

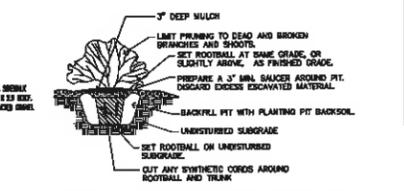
ORNAMENTAL TREE LIST:	HEIGHT/MATURE SPREAD:
AS Amelanchier x grandiflora Apple Serviceberry	(18) 30' / 20'
PH Carpinus betulus 'Fastigiata' Pyramidal European Hornbeam	(32) 35' / 15'
CCD Cornus mas Cornelian Cherry Dogwood	(13) 20' / 20'
RJC Malus x Red Jewel Red Jewel Crab	(25) 15' / 12'
JTL Syringa reticulata Japanese Tree Lilac	(29) 20' / 15'
BY Viburnum Prunifolium Blackhaw Viburnum	(17) 10' / 15'

NOTE: ALL DECIDUOUS TREES ALONG THE NORTH PROPERTY LINE AND IN THE PUBLIC RIGHTS-RIGHTS-OF-WAYS ALONG ROUTE 83 AND PLAINFIELD ROAD MUST BE 3" CALIPER. ALL OTHER ON-SITE TREES MAY BE 2.5" CALIPER.

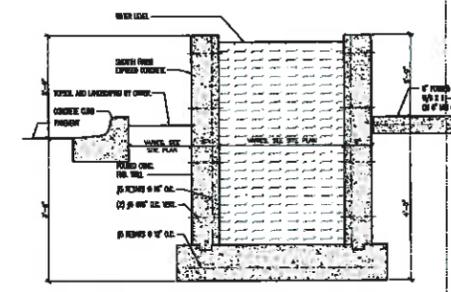
LOT AREA = 464,650 S.F. (10.6669 ACRES)
 LANDSCAPE AREA (GREEN SPACE) = 46,822 S.F.
 LANDSCAPE LOT COVERAGE = 10%



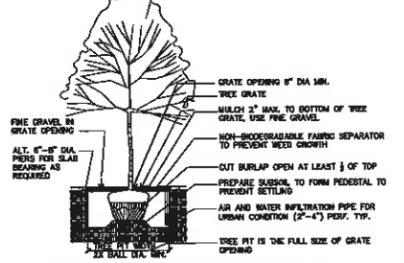
1 ANNUAL, PERENNIAL, AND GROUND COVER DETAIL
 1/8\"/>



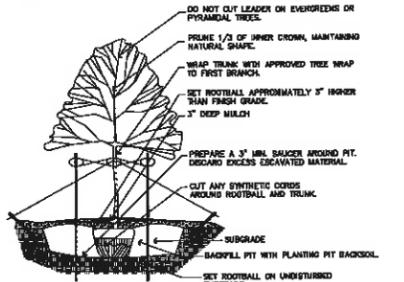
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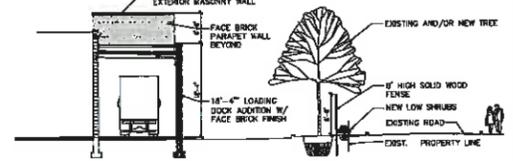
3 WATER FOUNTAIN DETAIL
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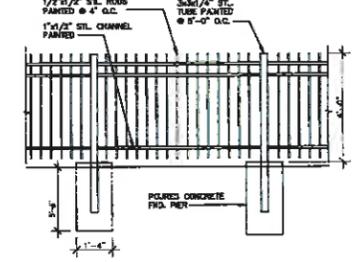
4 TREE PLANTING DETAIL IN PAVEMENT/METAL GRATE
 1/8\"/>



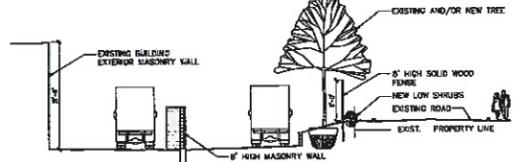
5 TREE PLANTING DETAIL
 1/8\"/>



6 SECTION THRU REAR DRIVEWAY
 1/8\"/>



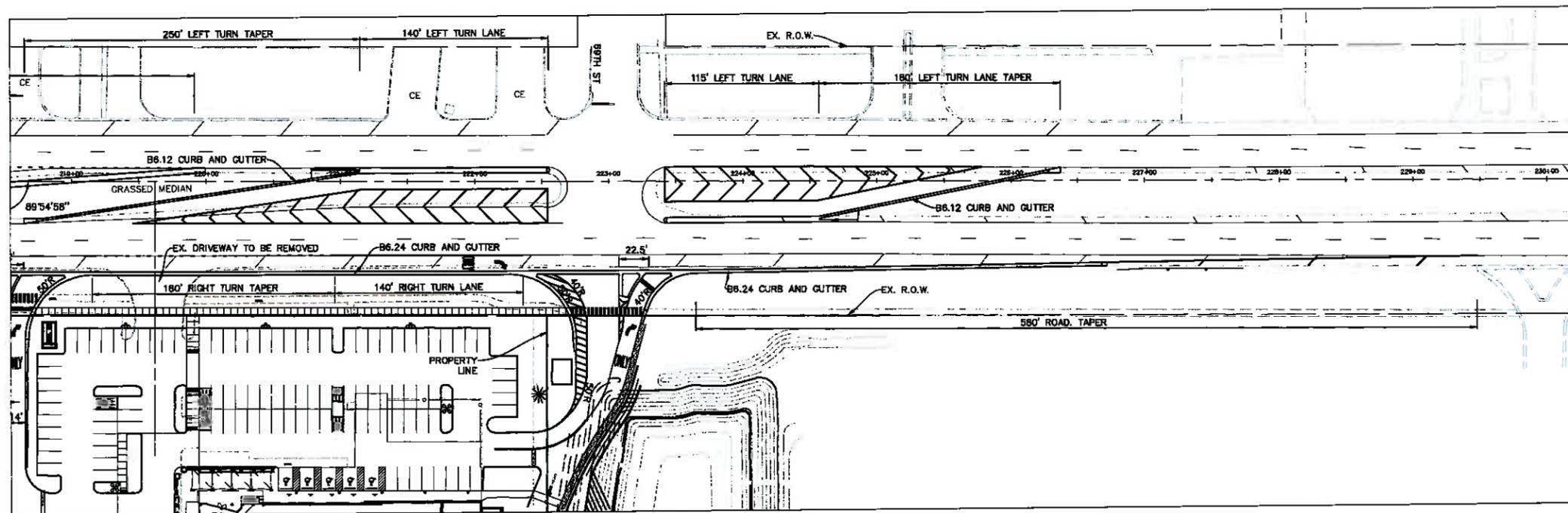
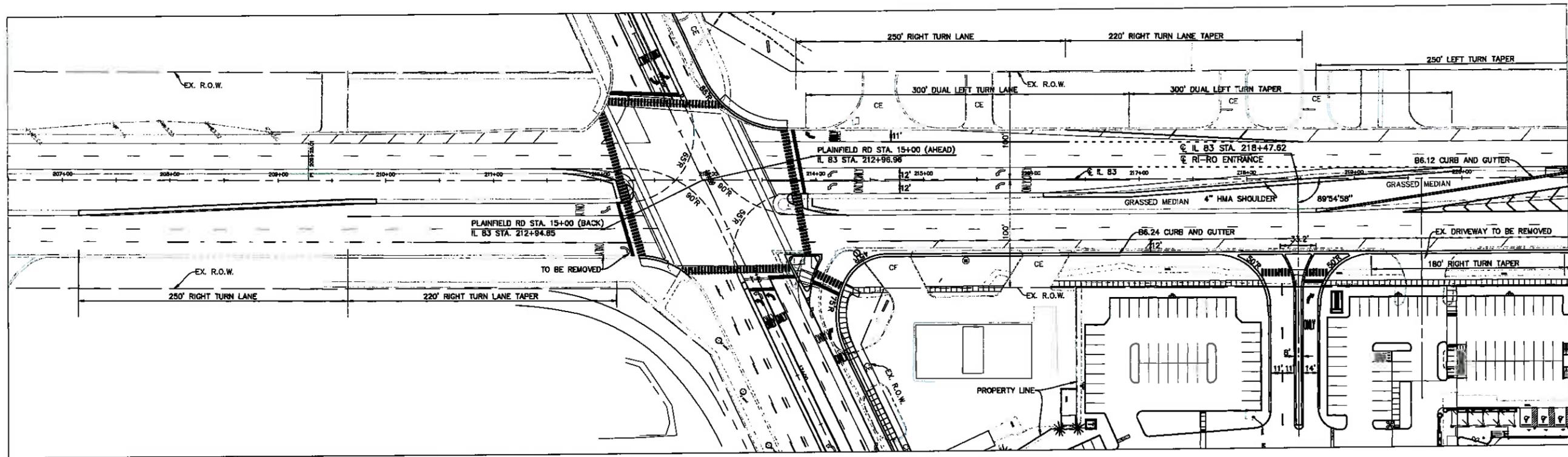
7 IRON FENCE DETAIL
 1/8\"/>



8 SECTION THRU REAR DRIVEWAY
 1/8\"/>

LANDSCAPE PLAN
 SCALE: 1" = 30'-0"

REVISIONS BY
 ANGELO STAMATOPOULOS ARCHITECT
 112 CENTRAL WILLOWBROOK, ILLINOIS 60157
 Telephone: (630) 798-2314 Fax: (630) 451-0860 E-mail: angelo@stamatopoul.com
 LANDSCAPE PLAN AND DETAILS
 PROPOSED DEVELOPMENT
 THE WILLOWS OF WILLOWBROOK
 NORTH-EAST CORNER OF ROUTE 83 AND PLAINFIELD ROAD, WILLOWBROOK, IL
 Date: 10/5/15
 Scale: NOTED
 Sheet: 100420
 Sheet: L-1



IL 83
IDOT



PLAINFIELD ROAD
POSTED SPEED LIMIT 40 MPH
DESIGN SPEED LIMIT 45 MPH

IL 83
POSTED SPEED LIMIT 45 MPH
DESIGN SPEED LIMIT 50 MPH

DATE	REVISION	BY	CHKD
8-2-15	REVISED PER DOT COMMENTS	RA	RA
8-3-15	REVISED PER DOT COMMENTS	RA	RA
8-11-15	REVISED PER DOT COMMENTS	RA	RA
8-15-15	REVISED PER DOT COMMENTS	RA	RA
7-22-14	REVISED FOR NEW ENTRANCE LOCATION ON IL 83	RA	RA

Manhard CONSULTING

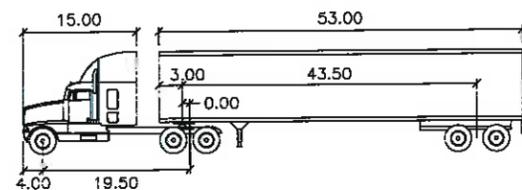
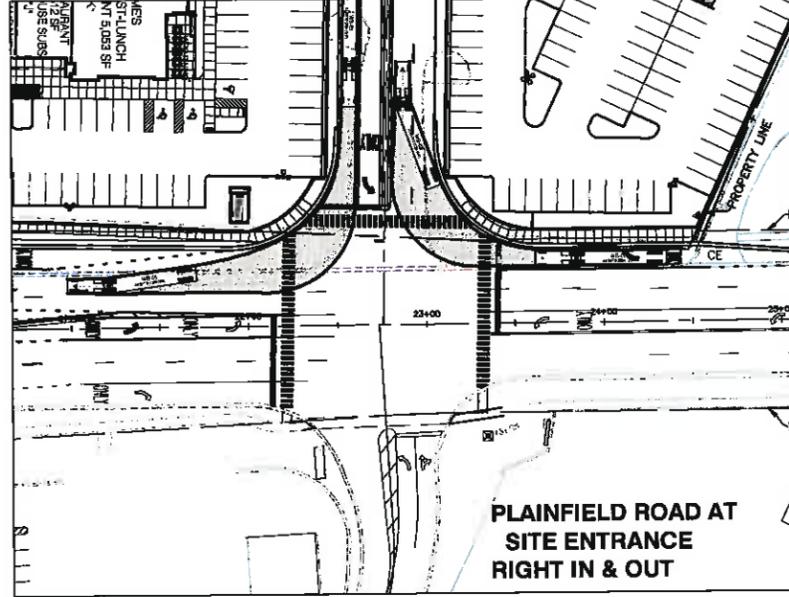
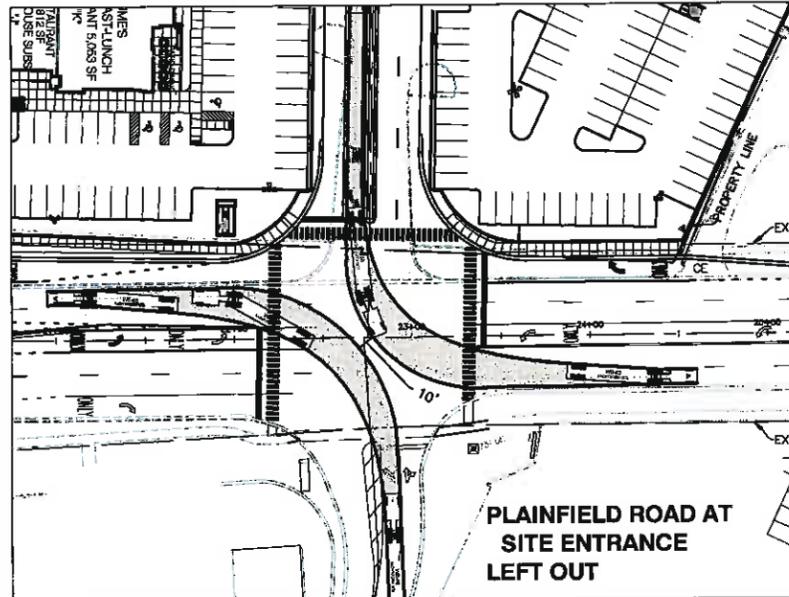
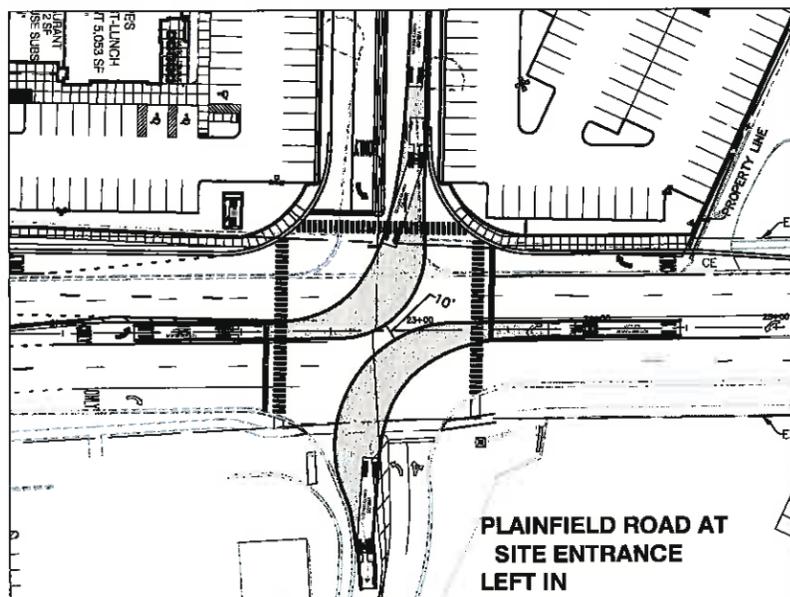
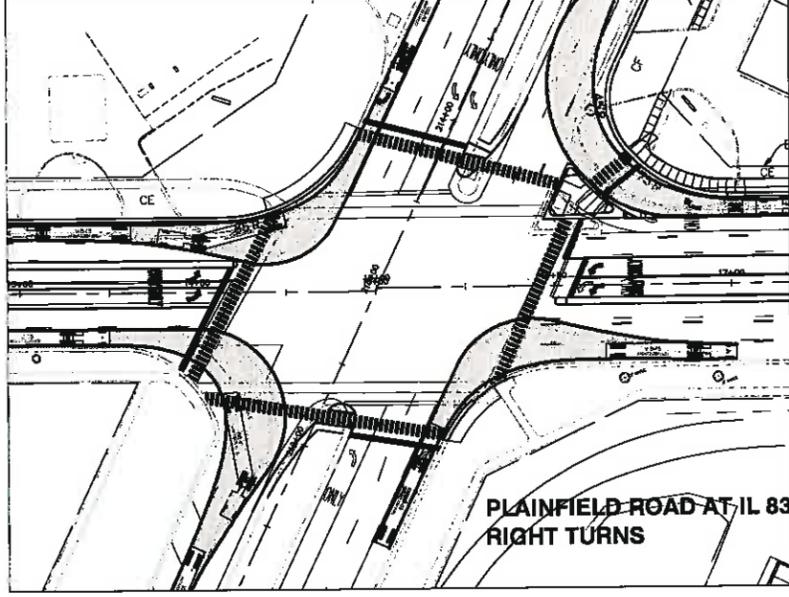
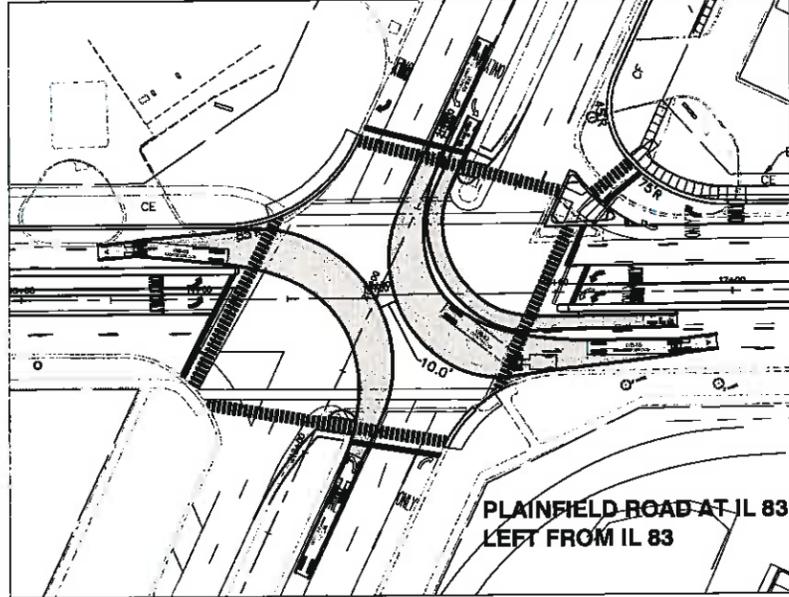
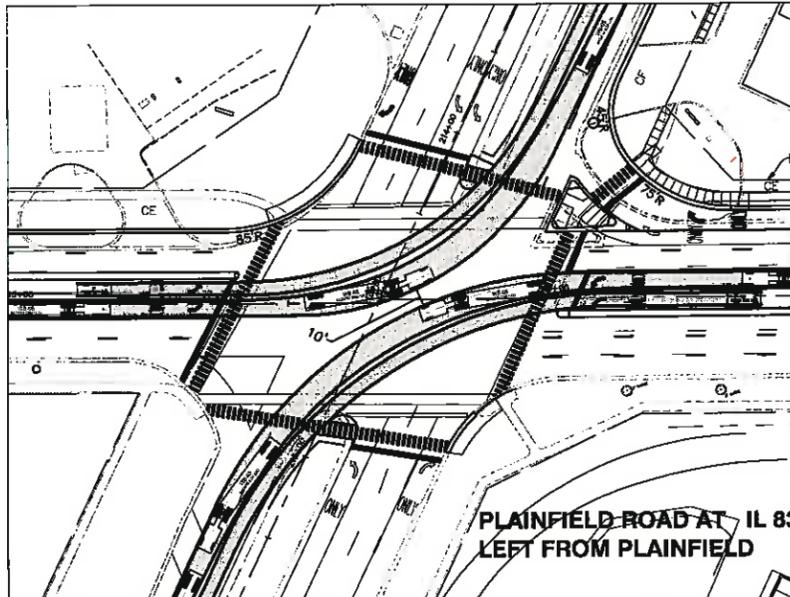
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 Construction Managers

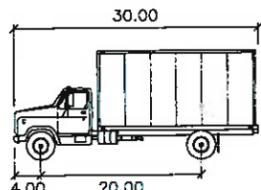
PETE'S FRESH MARKET
WILLOWBROOK, ILLINOIS
PRELIMINARY GEOMETRICS - IL 83 AND PLAINFIELD ROAD

PROJ. NO.	DA
PROJ. ASSOC.	RW
DRAWN BY	AS
DATE	8-22-14
SCALE	1"=50'
SHEET	
2 OF 4	
PMRWB	130106

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WB-65	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Track	: 8.50	Steering Angle	: 28.4
Tractor Wheelbase	: 19.50	Articulating Angle	: 70.0
Trailer Track	: 8.50		



SU	feet
Width	: 30.00
Tractor Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

DESIGN VEHICLES

DATE	REVISIONS	DRAWN BY
9-1-15	REVISED PER DOT COMMENTS	NBA
8-23-15	REVISED PER DOT COMMENTS	NBA
8-11-15	REVISED PER DOT COMMENTS	NBA
7-22-15	REVISED FOR NEW ENTRANCE LOCATION ON IL 83	RF

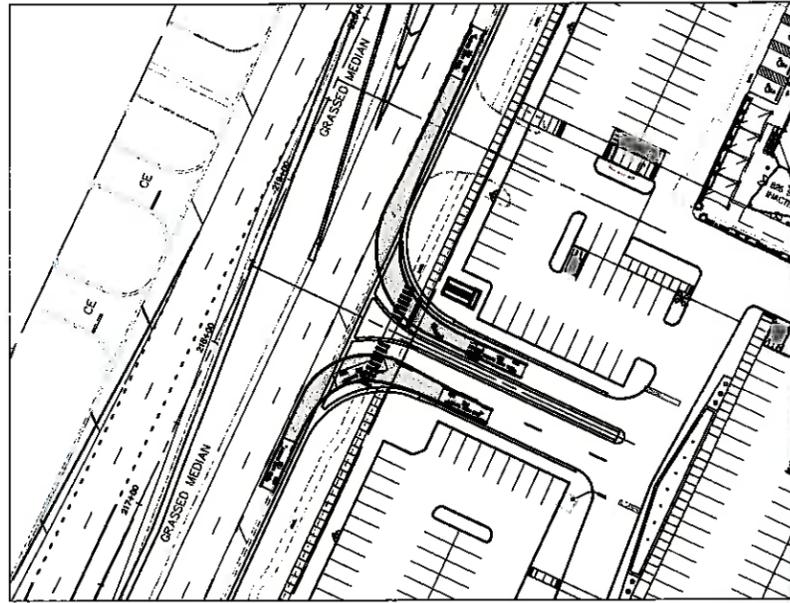
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 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

PETE'S FRESH MARKET
WILLOWBROOK, ILLINOIS
DESIGN VEHICLE TURNING MOVEMENTS

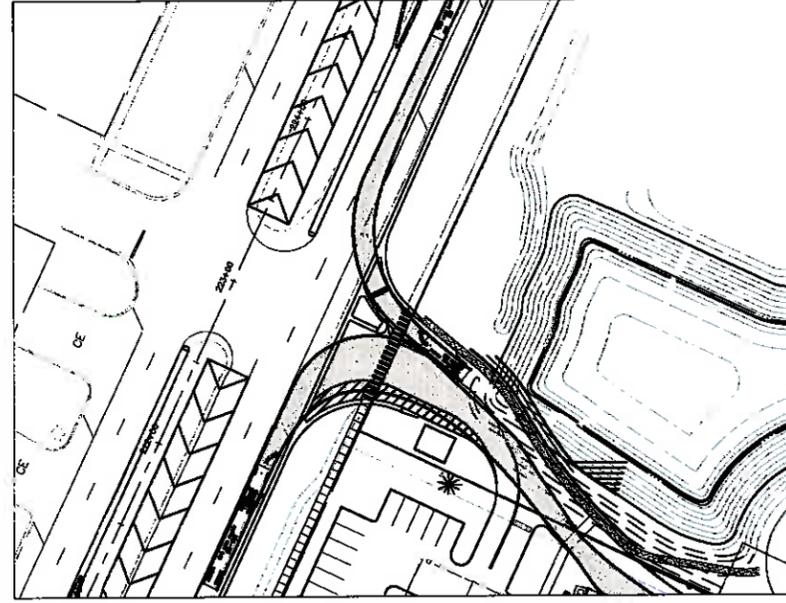
PROJECT NO.	DA
PROJ. ASSOC.	RW
DRAWN BY	AS
DATE	8-22-14
SCALE	1"=50'

SHEET
3 OF 4
 PWR/WS 130108

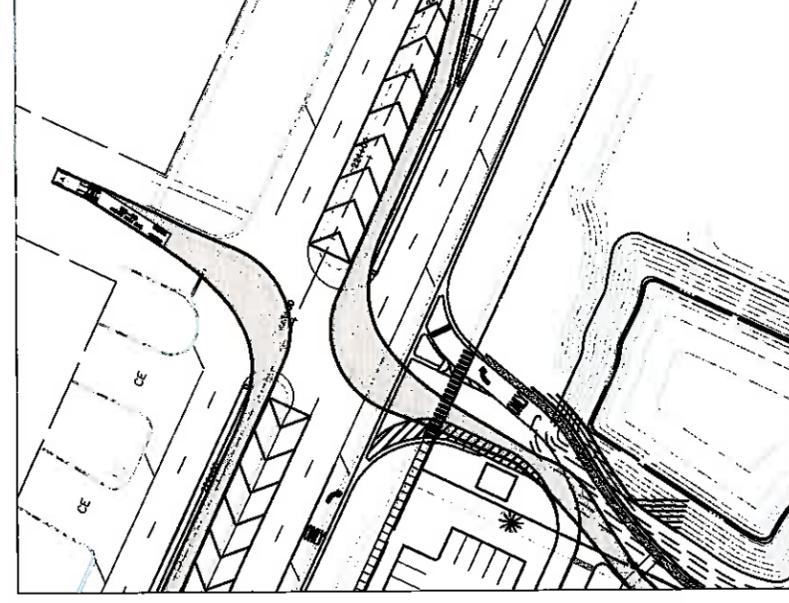
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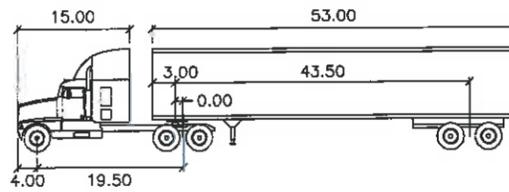
IL 83 AT SITE ENTRANCE
RIGHT IN & OUT



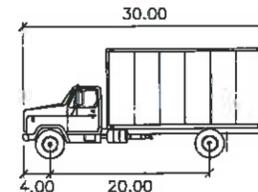
IL 83 AT TRUCK ENTRANCE
RIGHT IN & OUT



IL 83 AT TRUCK ENTRANCE
LEFT IN

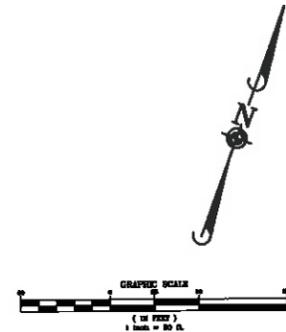


WB-65	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



SU	feet		
Width	: 8.00		
Tractor	: 8.00		
Lock to Lock Time	: 6.0		
Steering Angle	: 31.8		

DESIGN VEHICLES



DATE	REVISIONS
8-25-14	REVISED PER DOT COMMENTS
8-25-14	REVISED PER DOT COMMENTS
8-25-14	REVISED PER DOT COMMENTS
7-29-14	REVISED FOR NEW ENTRANCE LOCATION OR 33

Manhard CONSULTING
 1000 North 1st Street, Suite 1000, Willowbrook, IL 60187
 (708) 401-1000
 www.manhardconsulting.com
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

PETE'S FRESH MARKET
WILLOWBROOK, ILLINOIS
DESIGN VEHICLE TURNING MOVEMENTS

PROJ. NO.	DA
PROJ. ASSOC.	RW
DRAWN BY	AS
DATE	8-25-14
SCALE	1"=50'
SHEET	
4	OF 4
PMR/RWB	130106

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PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

BEING A SUBDIVISION IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER
OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN
DUPAGE COUNTY, ILLINOIS.

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
I, _____ COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT
THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX
SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED
PLAT, GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK.

DATED THIS _____ DAY OF _____ AD 2014.
(SEAL)
COUNTY CLERK

COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS, ON THE
_____ DAY OF _____ AD, 2014, AT _____ O'CLOCK _____ M. AS DOCUMENT NUMBER _____

COUNTY RECORDER

VILLAGE COLLECTOR CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
I HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR STREETS, ALLEYS, AND OTHER
THOROUGHFARES; AND HEREBY ALSO RESERVE FOR THE SBC, NCCOR GAS COMPANY, AND THE PUBLIC
SERVICE COMPANY DIVISION OF COMMONWEALTH EDISON COMPANY THE EASEMENT PROVISIONS, WHICH
ARE STATED ON THEIR STANDARD FORM.

I, VILLAGE CLERK FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO
DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED
INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND
INCLUDED IN THE ANNEXED PLAT.

DATED THIS _____ DAY OF _____ AD 2014

VILLAGE CLERK VILLAGE OF WILLOWBROOK (SEAL)

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DU PAGE COUNTY,
ILLINOIS AT A MEETING HELD THIS _____ DAY OF _____ AD 2014

VILLAGE PRESIDENT

VILLAGE CLERK

VILLAGE ENGINEER PLAT/OFFICER CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
I, _____ VILLAGE PLAT OFFICER/ENGINEER
OF THE VILLAGE OF WILLOWBROOK DO HEREBY CERTIFY THAT ALL PROVISIONS PERTAINING TO
THE _____ SUBDIVISION ORDINANCE, INsofar AS THEY PERTAIN TO THE ACCOMPANYING PLAT,
HAVE BEEN SATISFACTORILY COMPLIED WITH.

ATTESTED TO THIS _____ DAY OF _____ AD 20 _____

VILLAGE PLAT OFFICER/ENGINEER VILLAGE OF WILLOWBROOK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DU PAGE COUNTY,
ILLINOIS AT A MEETING HELD THIS _____ DAY OF _____ AD 20 _____

REGION SANITARY DISTRICT CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ DISTRICT ENGINEER OF THE _____ REGION SANITARY DISTRICT, DO
HEREBY CERTIFY THAT THE PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE
ENGINEERING REQUIREMENTS AS SET FORTH IN THE DISTRICT ORDINANCES.

APPROVED THIS _____ DAY OF _____ AD 20 _____

FLOOD ZONE CERTIFICATE

UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C 0309H AND 17043C 0309H, REVISION DATE
DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "C"; NO PORTION OF THE PARCEL IS LOCATED IN
ZONE "X"; AREA OF 1-00-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT _____ ILLINOIS THIS _____ DAY OF _____ AD, 20 _____
ILLINOIS REGISTERED LAND SURVEYOR
NO. 038-003460

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
I HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE PLAT ACT, 765 ICS ACT 205, AS NOW
OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION OF DU PAGE
COUNTY, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED THIS _____ DAY OF _____ AD, 20 _____

REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. _____

OWNER CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ACCOMPANYING
PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR
THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER
THE STYLE AND TITLE THEREON INDICATED.

I HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR STREETS, ALLEYS, AND OTHER
THOROUGHFARES; AND HEREBY ALSO RESERVE FOR THE SBC, NCCOR GAS COMPANY, AND THE PUBLIC
SERVICE COMPANY DIVISION OF COMMONWEALTH EDISON COMPANY THE EASEMENT PROVISIONS, WHICH
ARE STATED ON THEIR STANDARD FORM.

DATED THIS _____ DAY OF _____ AD 20 _____

BY: _____
TITLE: _____
ADDRESS: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE
NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME
THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND
VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
THIS PLAT HAS BEEN APPROVED BY THE DU PAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO
COUNTY HIGHWAY # _____ PURSUANT TO 755 ILCS 2002; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS
REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHT-OF-WAY.
DATED THIS _____ DATE OF _____, 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

NOTARY CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) ss
COUNTY OF DU PAGE)
THIS IS TO CERTIFY I, KENNETH KENNEDY, REGISTERED ILLINOIS LAND SURVEYOR, HAVE SURVEYED AND
SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY.

RECORD LEGAL DESCRIPTION:
THAT PART OF LOTS 2, 3, AND 4 IN OWNERS SUBDIVISION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF
SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE WEST ALONG THE NORTH LINE OF SAID LOTS 738.650
FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF ILLINOIS ROUTE NO. 83 AS MONUMENTED; THENCE SOUTH 0
DEGREES 05 MINUTES 34 SECONDS WEST ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83; 810.833 FEET TO A POINT
WHICH IS 2084.0 FEET (AS MEASURED ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83) NORTH OF THE
SOUTHEASTERLY LINE OF SAID LOT 4; THENCE SOUTH 86 DEGREES 54 MINUTES 28 SECONDS EAST 131.769 FEET TO THE
POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREES 00 MINUTES 24 SECONDS EAST
ALONG SAID EAST LINE 24.724 FEET TO A POINT WHICH IS 128.94 FEET (AS MEASURED ALONG THE EAST LINE OF SAID LOT 4)
NORTH OF THE NORTHWESTERLY LINE OF PLAINFIELD ROAD PER PLAT OF DEDICATION RECORDED APRIL 25, 1981 AS
DOCUMENT NUMBER 861-4362, SAID POINT BEING 75.0 FEET NORTHEASTERLY OF THE WEST LINE OF SAID LOT 3
(MEASURED ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD); THENCE NORTH 65 DEGREES
37 MINUTES 21 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 284.817 FEET
TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 3; THENCE NORTH 87 DEGREES 00 MINUTES 29
SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 361.280 FEET TO THE POINT
OF INTERSECTION WITH THE EAST LINE OF SAID LOT 2; THENCE NORTH 0 DEGREES 01 MINUTES 19 SECONDS WEST ALONG
THE EAST LINE OF SAID LOT 2, 814.488 FEET TO THE HEREBY DESIGNATED PLACE OF BEGINNING, ALL IN DU PAGE COUNTY,
ILLINOIS.

NEW MEASURED LEGAL DESCRIPTION:
Part of Lots 2, 3, and 4, Owner's Subdivision, Village of Willowbrook, Du Page County, Illinois being more particularly described as follows:

Beginning at the Northeast corner of said Lot 2; thence S00 degrees 01'19"E, 514.49 feet; thence S87 degrees 02'25"W, 361.28 feet;
thence S85 degrees 37'51"W, 224.81 feet; thence N22 degrees 12'18"W, 127.76 feet; thence N00 degrees 02'06"W, 24.72 feet; thence
N89 degrees 04'29"W, 131.76 feet; thence N00 degrees 05'04"E, 809.58 feet; thence N89 degrees 02'04"E, 755.27 feet to the point of
beginning.

Containing said lands 464,851 square feet or 10,699 acres.

This description describes all the land described in the site commitment identified as First American Title Insurance Company Commitment
Number
NCS-98778-CH11 having an effective date of June 14, 2004.

I ALSO CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY, THAT THIS PLAT
REPRESENTS A SURVEY MADE BY US OR UNDER OUR DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND
GEODETIC DETAILS ARE CORRECT, AND THAT WE HAVE COMPLIED WITH ALL OF THE REQUIREMENTS OF THE
VILLAGE OF WILLOWBROOK'S SUBDIVISION REGULATIONS REGARDING PLATS. I FURTHER CERTIFY THAT THIS
SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK, OR WITHIN ONE AND A
HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING
THE SPECIAL POWERS AUTHORIZED BY ARTICLE 11, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR
HEREAFTER AMENDED. I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND
CONCRETE MONUMENTS SHALL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF
WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 18th DAY OF SEPTEMBER, 2015.

Kenneth Kennedy
KENNETH KENNEDY, P.L.B. # 038-003403
PROFESSIONAL
LAND SURVEYOR
MORRIS, IL.
LICENSE EXPIRES 11/30/2018

MORTGAGE CERTIFICATE
CERTAIN MORTGAGE DATED _____ AS MORTGAGEE, UNDER THE PROVISIONS OF A
_____ AND RECORDED IN THE
RECORDER'S OFFICE OF _____ COUNTY, ILLINOIS IN BOOK _____ AT PAGE _____
AS DOCUMENT _____ DOES HEREBY CONSENT TO THE
RESUBDIVISION AND PLAT HEREON DRAWN.

DATED _____, 20 _____
BY: _____ PRESIDENT
ATTEST: _____ SECRETARY

NOTARY CERTIFICATE
STATE OF ILLINOIS) ss
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO
HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS
WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY
IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES
AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL.
DATED THIS _____ DAY OF _____ AD 20 _____

(SEAL)
NOTARY

EASEMENT PROVISIONS

AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO
COMMONWEALTH EDISON COMPANY AND SBC ILLINOIS, s.k.a. ILLINOIS BELL TELEPHONE COMPANY, GRANTEEES.

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE
SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT
CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS
IN, UNDER ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND
MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "PLU.E." (OR SIMILAR DESIGNATION). THE PROPERTY DESIGNATED ON THIS PLAT AS "COMMON
ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS,
WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS
TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS
AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER
UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED IN GRANTEEES' FACILITIES OR UPON THE PROPERTY WITHIN THE DASHED
OR DOTTED LINES (OR SIMILAR DESIGNATION MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "PLU.E." (OR SIMILAR DESIGNATION) WITHOUT THE
PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO
AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ICS 605/2(E), AS AMENDED
FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE
AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH MAY BE OTHERWISE DESIGNATED
ON THE PLAT BY TERMS SUCH AS, "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING AND COMMON AREA". THE TERMS
"COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY
PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS,
ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT; SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF
GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO.
NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOR
SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, INCLUDING REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND
WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS PARCELS OR AREAS WITHIN
THE PROPERTY, EVEN THOUGH SUCH AREAS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

UTILITY EASEMENT PROVISIONS
PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND
GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF
WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICES TO THE PROPERTY, INCLUDING, BUT NOT LIMITED TO, AMERITECH, NORTHERN ILLINOIS GAS
COMPANY, COMMONWEALTH EDISON COMPANY, THE HINSDALE SANITARY DISTRICT, THE COUNTY OF DU PAGE DEPARTMENT OF ENVIRONMENT CONCERNS, AND THEIR
SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES ON
THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES
SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR,
REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND
TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DETERMINED
NECESSARY BY SAID VILLAGE, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS
AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN
ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS
HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER
GRANTEEES' FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER
INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND
MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEEES' OTHER RIGHTS PROVIDED HEREBY. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND/OR RETENTION
PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES, AND APPURTENANCES THERETO, SHALL BE CONTROLLED BY SAID
PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS
FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING
EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNER OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS,
EXECUTORS, ADMINISTRATORS AND ASSIGNS:
1. A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE
PUBLIC GENERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND
INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. SAID DRAINAGE EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE
OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE,
REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERETO IN, OVER, UNDER, THROUGH AND UPON SUCH
EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THESE PURPOSES.
2. NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS,
ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERETO, LOCATED IN, OVER,
UNDER, THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROFILING,
STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER GRATES;
NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPEDE OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN,
OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. AS A MATTER OF RIGHTS, BUT NOT OBLIGATION, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE
RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS
ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH
MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

SIDEWALK EASEMENT PROVISIONS:
AN EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK OVER, UPON AND ACROSS THOSE PORTIONS OF THE LOT WITHIN THE DASHED LINES MARKED
"SIDEWALK EASEMENT" FOR INSTALLATION AND MAINTENANCE OF SIDEWALKS THEREON AND FOR PEDESTRIAN INGRESS AND EGRESS BY THE GENERAL PUBLIC.
THE EXERCISE OF THE EASEMENT CREATED HEREBY SHALL BE SUBJECT TO ALL APPLICABLE ORDINANCES OF THE VILLAGE.

BLANKET EASEMENT
A BLANKET EASEMENT IS FURTHER HEREBY GRANTED FOR UTILITIES COMPANIES LICENSED BY THE VILLAGE OF WILLOWBROOK OVER LOT 1 IN THE WILLOWS SUBDIVISION
THAT DO NOT CONTAIN AREAS AS EXCEPTED ON THIS PLAT.

GENERAL NOTES:
1. PERMANENT IDENTIFICATION NUMBER: 05-23-065-018
2. LOTS AREA 464,850 SQ. FT. OR 10,699 ACRES.
3. BASIS OF BEARINGS: EAST LINE OF INDIANY HIGHWAY AT N 01°36'45"W.
4. SET 3/4" IP AT CORNERS AS SHOWN ON THIS PLAT.
5. BOUNDARY TAKEN FROM PLAT OF ALTA LAND TITLE SURVEY PERFORMED BY RONALD F. SARKO,
DATED JULY 26, 2004 AND REVISED SEPTEMBER 26, 2004, PROJECT NUMBER 20040403-04

PRELIMINARY PLAT OF SUBDIVISION
THE WILLOWS SUBDIVISION
SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS
PREPARED FOR: PETER'S FRESH MARKET
4343 SOUTH PULASKI ROAD
CHICAGO, ILLINOIS 60638
DATE: 08-16-15
NO. DESCRIPTION: 1. PER VILLAGE RESERV EASEMENT 02-12-15
2. PER OTHER RESERV
DRAWN: K.B.
PROJ # 14-04
DATE: 08-16-14
FILE: 14025
CHECKED: K

EOPOOL
SURVEYORS
125335 LEMONT RD, LEMONT, ILLINOIS 60439
PHONE: (630) 735-0707 FAX: (630) 735-8080
CHICAGO METRO AREA: (773) 381-4477 PHONE
PROFESSIONAL DESIGN FIRM NO. 184.002273
EMAIL: GEOPOOL@COMCAST.NET

ZONING: LOP LIMITED OFFICE PROFESSIONAL
(WILLOWBROOK OFFICE PARK LOT 12
ASSESSMENT PLAT
RECORDED AS DOC. NO. R2005-197485)

ZONING: R 1 SINGLE FAMILY

PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

KINGERY HIGHWAY (AKA ILLINOIS ROUTE 89)

EAST LINE OF THE SW 1/4 SEC 23 T38N R11E
CONTINUED BY 30'

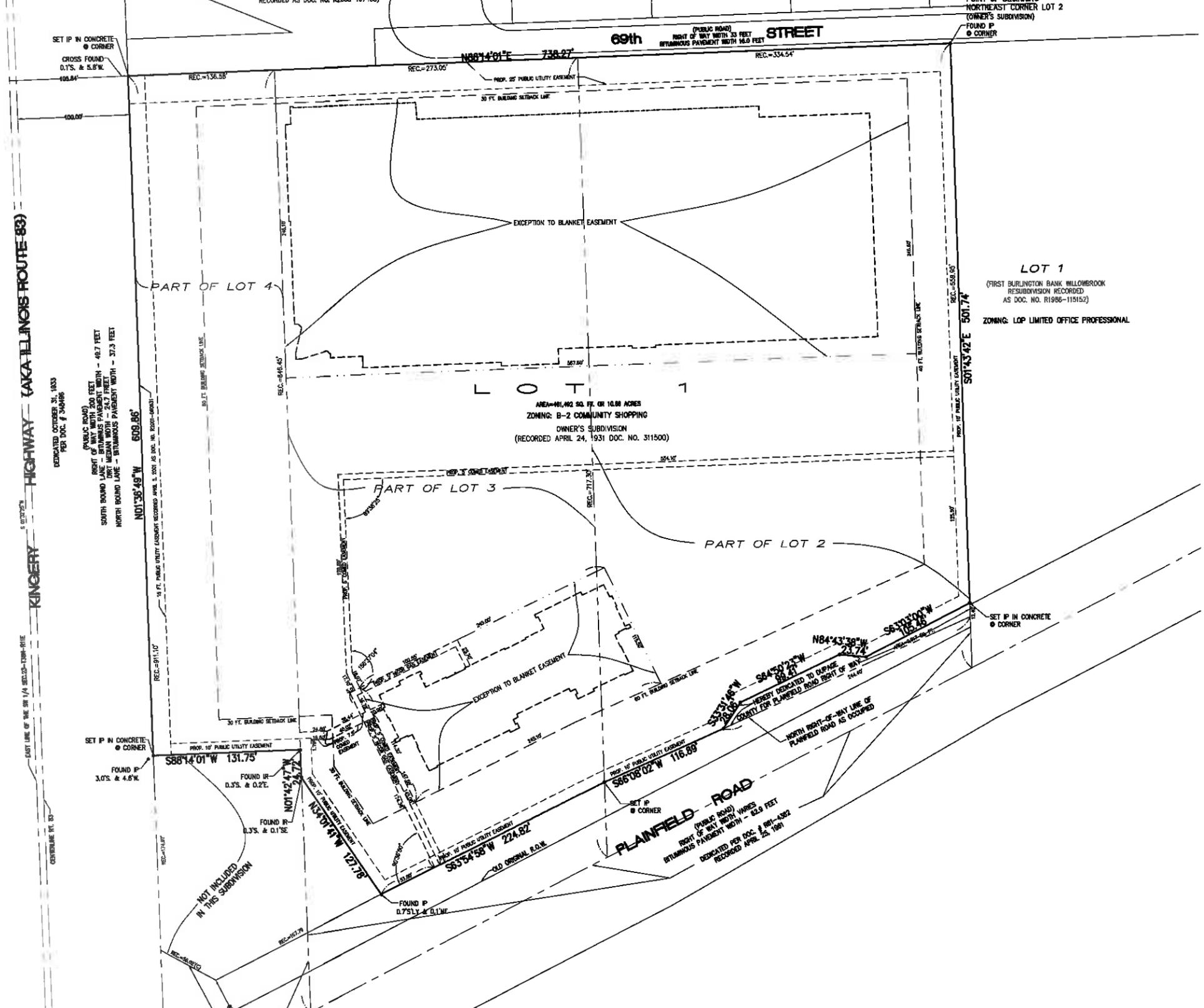
DEDICATED OCTOBER 31, 1933
FOR DOC. # 346486

(PUBLIC ROAD)
RIGHT OF WAY WITH 200 FEET
WIDTH - 48.7 FEET
SOUTH BOUND LANE - BITUMINOUS PAVEMENT WITH - 27.3 FEET
NORTH BOUND LANE - BITUMINOUS PAVEMENT WITH - 27.3 FEET

SET IP IN CONCRETE
CORNER
FOUND IP
3.0'S. & 4.6'N

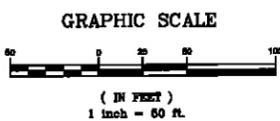
NOT INCLUDED
IN THIS SUBDIVISION

DEDICATED PER DOC. # 891-11092
RECORDED JUNE 27, 1981



POINT OF BEGINNING
NORTHEAST CORNER LOT 2
(OWNER'S SUBDIVISION)
FOUND IP
CORNER

LOT 1
(FIRST BURLINGTON BANK WILLOWBROOK
RESUBDIVISION RECORDED
AS DOC. NO. R1986-115152)
ZONING: LOP LIMITED OFFICE PROFESSIONAL



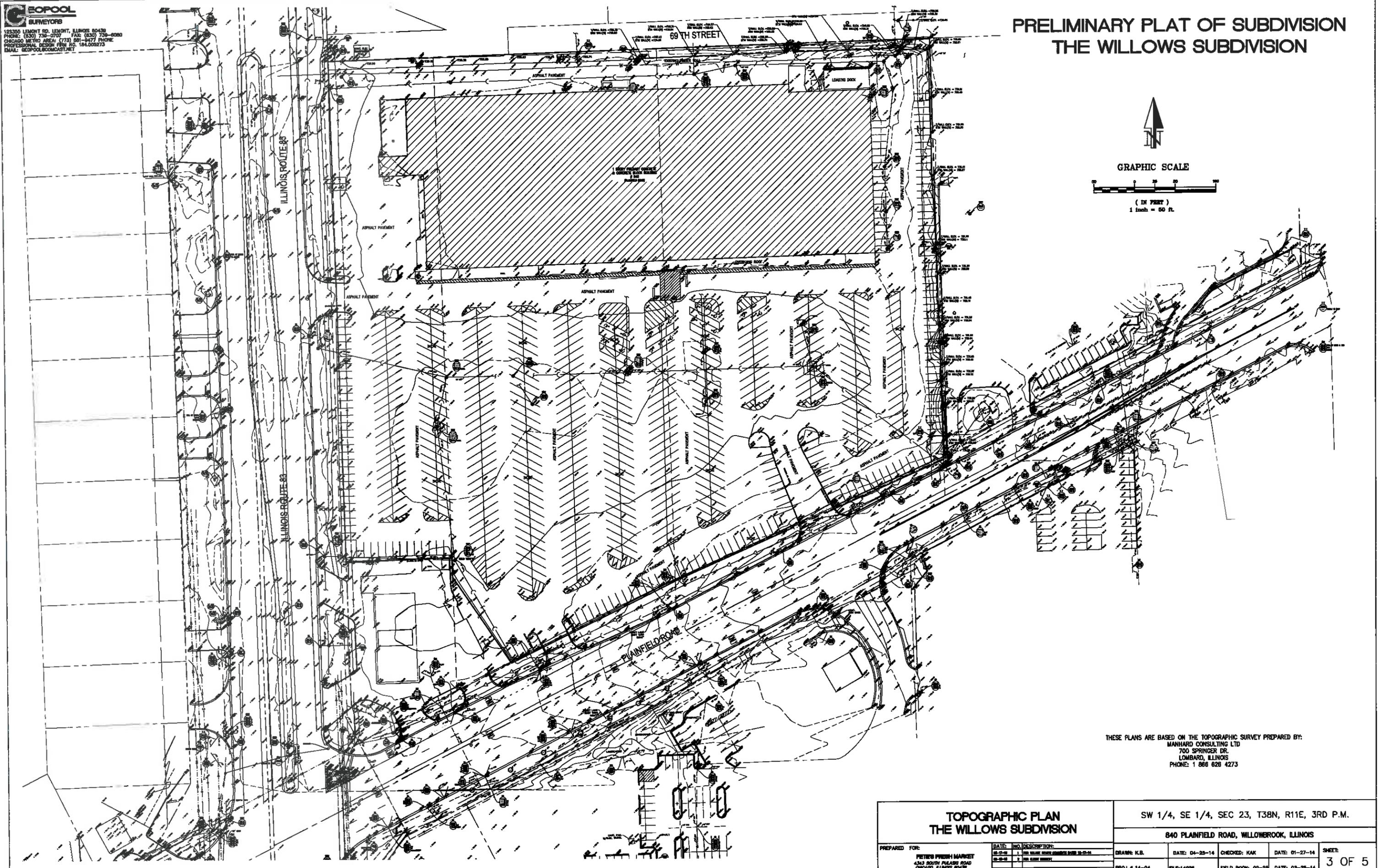
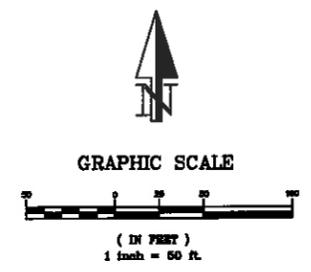
A BLANKET WATERMAIN SANITARY SEWER, STORMWATER
DRAINAGE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF
WILLOWBROOK AND DUPAGE COUNTY OVER LOT 1 IN THE
WILLOWS SUBDIVISION SUBDIVISION THAT DO NOT CONTAIN
AREAS AS EXCEPTED ON THIS PLAT.

AREA DEDICATED TO DUPAGE COUNTY FOR PLAINFIELD ROAD
RIGHT OF WAY 2,917 S.F.

PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.					
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS					
PREPARED FOR:	DATE:	NO. DESCRIPTION:	DRAWN:	DATE:	CHECKED:	DATE:	SHEET:
PETER'S FRESH MARKET 4343 SOUTH FILLARD ROAD CHICAGO, ILLINOIS 60638	04-25-14	1 NO. BLANK COPY COMPILED BY 04-25-14 2 NO. COPY FILED	K.B.	04-25-14	KAK	01-27-14	2 OF 5
			PROJ # 14-04	FILE:14025	FIELD BOOK: 02-25	DATE: 02-25-14	

GEPOOL
SURVEYORS
125305 LEMONT RD. LEMONT, ILLINOIS 60439
PHONE: (830) 736-0700 FAX: (830) 736-8080
CHICAGO METRO AREA: (773) 891-2477 PHONE
PROFESSIONAL DESIGN FIRM NO. 184.005273
EMAIL: GEPOOL@COMCAST.NET

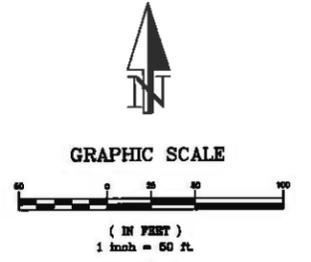
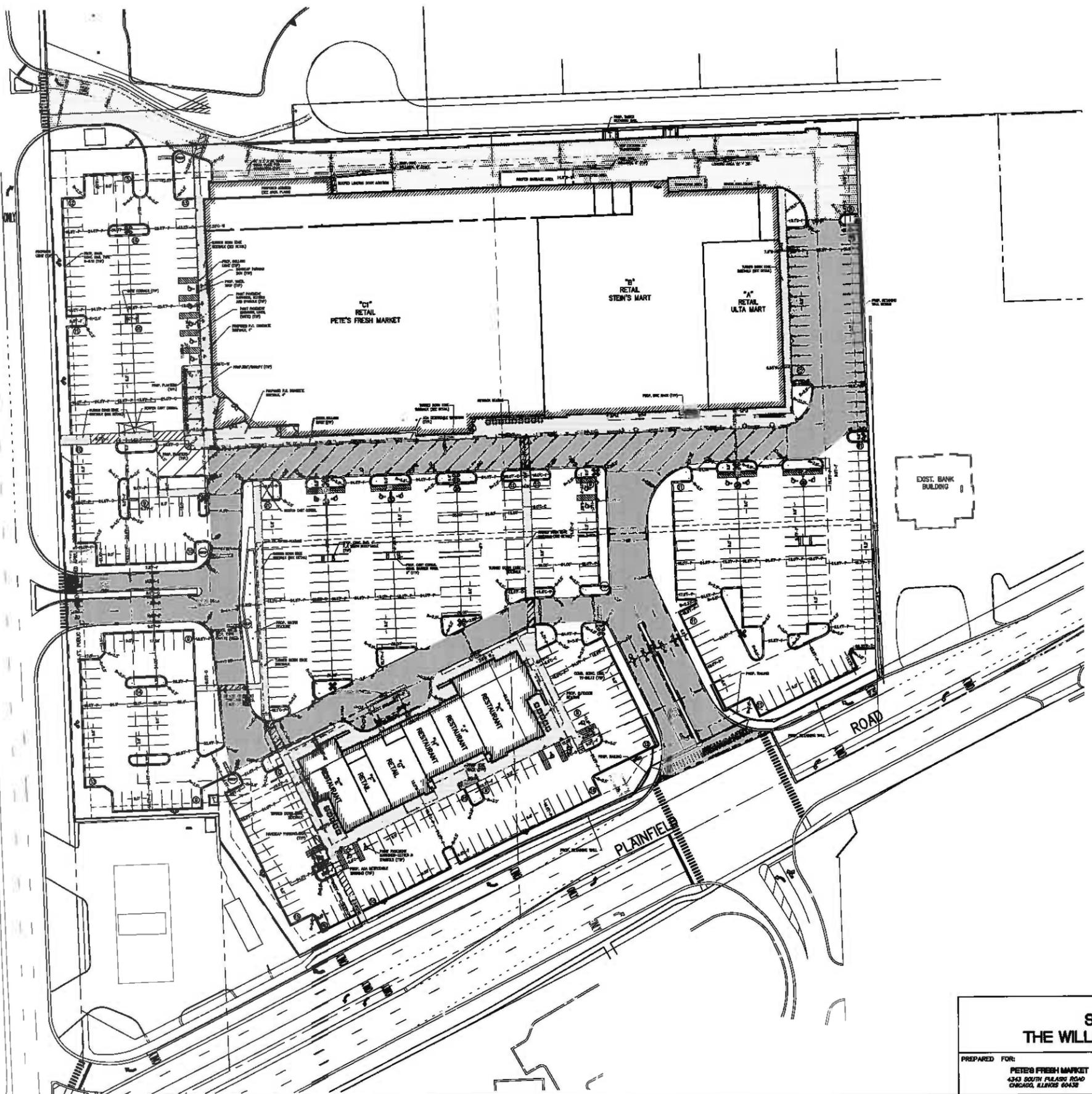
PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION



THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:
MANHARD CONSULTING LTD
700 SPRINGER DR.
LOMBARD, ILLINOIS
PHONE: 1 866 628 4273

TOPOGRAPHIC PLAN THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: PETER'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632	DATE: 01-27-14 NO. 1 DESCRIPTION: PRELIMINARY PLAT	DRAWN: K.B. DATE: 04-25-14 PROJ # 14-04	CHECKED: KAK FIELD BOOK: 02-25 DATE: 02-25-14	DATE: 01-27-14 SHEET: 3 OF 5	

PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION



PAVEMENT LEGEND:

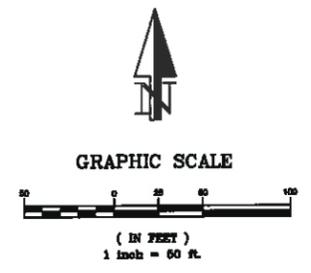
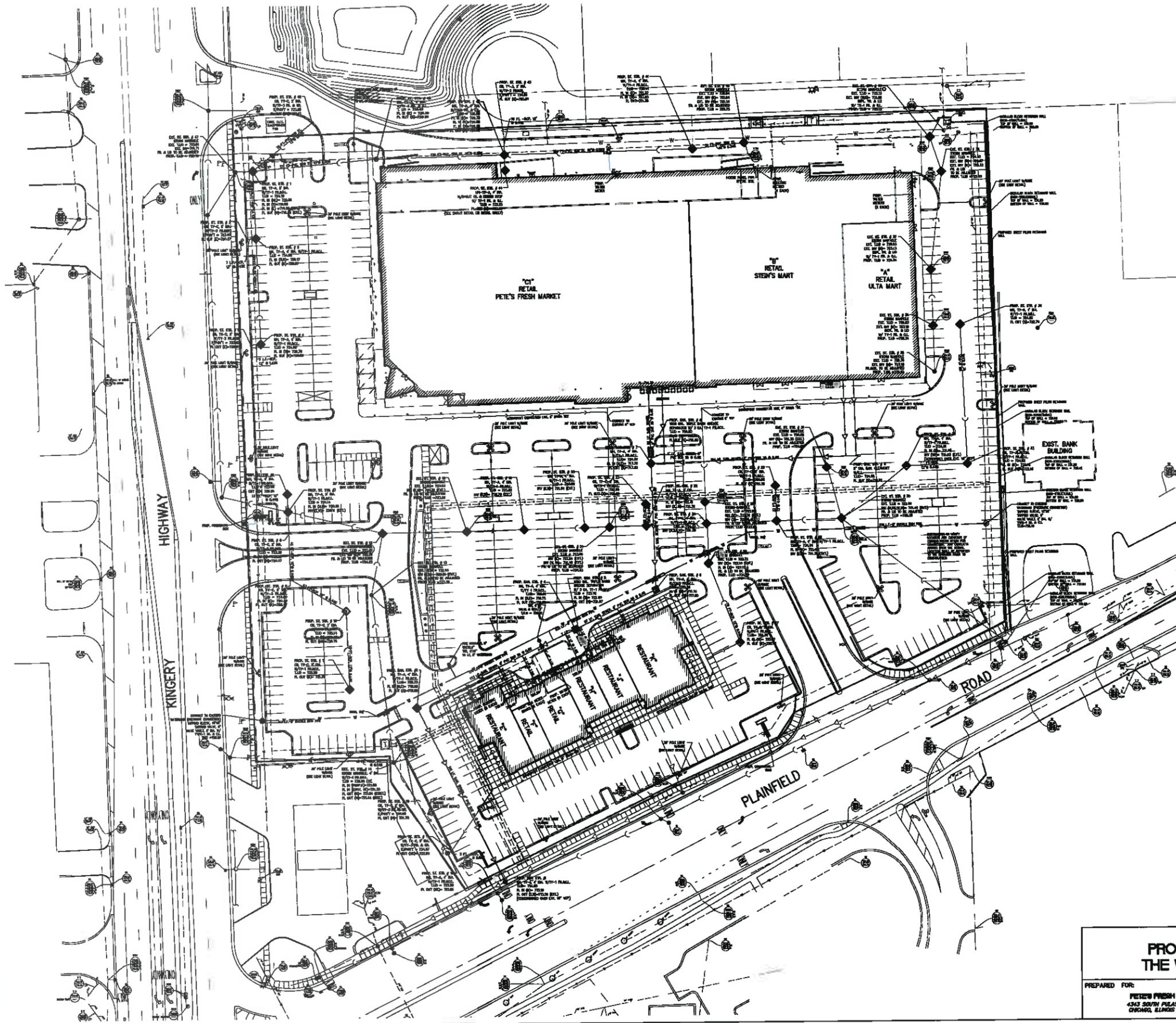
- PROP. CONCRETE PAVEMENT/SIDEWALK
- PROP. HEAVY DUTY HMA PAVEMENT

ALL OTHER PAVEMENT SHALL BE HMA STANDARD DUTY

PARKING SCHEDULE			
UNIT	USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE	
A	10,871 SF RETAIL	1 SPACE PER 250 SF	43 SPACES
B	31,278 SF RETAIL	1 SPACE PER 250 SF	125 SPACES
C1	43,500 SF GROCERY SALES	1 SPACE PER 200 SF	218 SPACES
C2	28,836 SF RETAIL	1 SPACE PER 1500 SF ++	22 SPACES
C3	9,528 SF MEZZANINE STORAGE	1 SPACE PER 1500	8 SPACES
C4	1,884 SF COMMON MECH. RSM	1 SPACE PER 1500 SF	1 SPACE
E	2,942 SF RESTAURANT	1 SPACE PER 100 SF	29 SPACES
F	1,074 SF RETAIL	1 SPACE PER 250 SF	4 SPACES
G	2,470 SF RETAIL	1 SPACE PER 250 SF	10 SPACES
H	1,682 SF RESTAURANT	1 SPACE PER 100 SF	17 SPACES
J	1,812 SF RESTAURANT	1 SPACE PER 100 SF	18 SPACES
K	8,063 SF RESTAURANT	1 SPACE PER 100 SF	81 SPACES
TOTAL REQUIRED PARKING SPACES		544 SPACES	
ACTUAL TOTAL PARKING SPACES PROVIDED		548 SPACES	

SITE PLAN THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS					
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60439	DATE: NO. DESCRIPTION: 02-25-14 1 PER. MAKE REVISIONS UNDER 12-11-14 02-25-14 2 PER. MAKE REVISIONS	DRAWN: K.B.	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14
PROJ # 14-04	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14	SHEET: 4 OF 5	

PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION



POPULATION EQUIVALENT FOR THE WILLOW SUBDIVISION

PETE'S FRESH MARKET BUILDING	628.8 PE
WEST OUTLOT BUILDING (POTENTIAL FUTURE)	25.2 PE
SOUTH OUTLOT BUILDING	108.1 PE
TOTAL	762.1 PE

PROPOSED UTILITY PLAN THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.					
		840 PLAINFIELD ROAD, WILLOWROCK, ILLINOIS					
PREPARED FOR:	DATE:	NO. DESCRIPTION:	DRAWN: K.B.	DATE: 04-28-14	CHECKED: KAK	DATE: 01-27-14	SHEET:
PETE'S FRESH MARKET 4343 SOUTH PLEASANT ROAD CHICAGO, ILLINOIS 60632	02-25-14	1 FOR PLANNING PERMITS 2 FOR CITY REVIEW					5 OF 5
			PROJ # 14-04	FILE:14025	FIELD BOOK: 02-25	DATE: 02-25-14	



PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION

BEING A SUBDIVISION IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COUNTY CLERK CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT, GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK.
DATED THIS ____ DAY OF ____ A.D. 2014.

COUNTY RECORDER'S CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE ____ DAY OF ____ A.D., 2014, AT ____ O'CLOCK ____ M. AS DOCUMENT NUMBER ____.

VILLAGE COLLECTOR CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, VILLAGE CLERK FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.
DATED THIS ____ DAY OF ____ A.D. 2014.

VILLAGE CLERK VILLAGE OF WILLOWBROOK (SEAL)
VILLAGE BOARD CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS AT A MEETING HELD THIS ____ DAY OF ____ A.D. 2014.

VILLAGE PRESIDENT
VILLAGE CLERK (SEAL)
VILLAGE ENGINEER PLAT/OFFICER CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, _____ VILLAGE PLAT OFFICER/ENGINEER OF THE VILLAGE OF WILLOWBROOK DO HEREBY CERTIFY THAT ALL PROVISIONS PERTAINING TO THE SUBDIVISION ORDINANCE, INsofar AS THEY PERTAIN TO THE ACCOMPANYING PLAT, HAVE BEEN SATISFACTORILY COMPLIED WITH.
ATTESTED TO THIS ____ DAY OF ____ A.D. 20 ____.

PLAN COMMISSION CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS AT A MEETING HELD THIS ____ DAY OF ____ A.D. 20 ____.

REGION SANITARY DISTRICT CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, _____ DISTRICT ENGINEER OF THE _____ REGION SANITARY DISTRICT, DO HEREBY CERTIFY THAT THE PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE ENGINEERING REQUIREMENTS AS SET FORTH IN THE DISTRICT ORDINANCES.
APPROVED THIS ____ DAY OF ____ A.D. 20 ____.

FLOOD ZONE CERTIFICATE
UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C 0669H AND 17043D 0668H, REVISION DATE DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "C", NO PORTION OF THE PARCEL IS LOCATED IN ZONE "A", AREA OF 1.00-YEAR FLOOD.
GIVEN UNDER MY HAND AND SEAL AT ____ ILLINOIS THIS ____ DAY OF ____ A.D., 20 ____.

REGION SANITARY DISTRICT ENGINEER
ILLINOIS REGISTERED LAND SURVEYOR NO. 035-013423

SURFACE WATER DRAINAGE CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE PLAT ACT, 765 ICS ACT 205, AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION OF DUPAGE COUNTY, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.
DATED THIS ____ DAY OF ____ A.D., 20 ____.

REGISTERED PROFESSIONAL ENGINEER LICENSE NO. _____
OWNER(S) OR DULY AUTHORIZED ATTORNEY
OWNER CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF ____)
THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ACCOMPANYING PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

I HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR STREETS, ALLEYS, AND OTHER THROUGHFARES, AND HEREBY ALSO RESERVE FOR THE USE OF THE PUBLIC THE EASEMENT PROVISIONS, WHICH ARE STATED ON THEIR STANDARD FORM.
DATED THIS ____ DAY OF ____ A.D. 20 ____.
BY: _____
ADDRESS: _____

NOTARY CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF ____)
I, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL,
DATED THIS ____ DAY OF ____ A.D. 20 ____.
(SEAL)

SCHOOL DISTRICT CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF ____)
THE UNDERSIGNED, _____ AND LEGALLY DESCRIBED ON THE PLAT AS OWNER OF THE PROPERTY DESCRIBED AS _____ HAVE DETERMINED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIE.
LOT NUMBER(S): SCHOOL DISTRICT _____
GRADE DISTRICT: SCHOOL _____
HIGH SCHOOL DISTRICT _____
JUNIOR COLLEGE DISTRICT _____
DATED THIS ____ DAY OF ____ A.D. 20 ____.

CERTIFICATE OF COUNTY ENGINEER
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY # _____ PURSUANT TO 765 ICS ACT 205. HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHT-OF-WAY.
DATED THIS ____ DATE OF ____ A.D. 20 ____.

MORTGAGE CERTIFICATE
AS MORTGAGEE, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE DATED ____ AND RECORDED IN THE RECORDER'S OFFICE OF ____ COUNTY, ILLINOIS IN BOOK ____ AT PAGE ____ AS DOCUMENT ____ DOES HEREBY CONSENT TO THE RESUBDIVISION AND PLAT HEREON DRAWN.
DATED ____ 20 ____.
BY: _____ PRESIDENT
ATTEST: _____ SECRETARY

NOTARY CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF ____)
I, _____ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARY SEAL,
DATED THIS ____ DAY OF ____ A.D. 20 ____.

NOTARY

SURVEYOR'S CERTIFICATE
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS IS TO CERTIFY I, KENNETH KENNEDY, REGISTERED ILLINOIS LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
RECORD LEGAL DESCRIPTION:
THAT PART OF LOTS 2, 3, AND 4 IN OWNER'S SUBDIVISION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE WEST ALONG THE NORTH LINE OF SAID LOTS 2, 3 AND 4 TO THE POINT OF INTERSECTION WITH THE EAST LINE OF ILLINOIS ROUTE NO. 83 AS MONUMENTED; THENCE SOUTH 0 DEGREE 05 MINUTES 34 SECONDS WEST ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83; 610.833 FEET TO A POINT WHICH IS 284.6 FEET (AS MEASURED ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83) NORTH OF THE SOUTHEASTERLY LINE OF SAID LOT 4; THENCE SOUTH 89 DEGREES 54 MINUTES 28 SECONDS EAST 131.793 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREE 00 MINUTES 24 SECONDS EAST ALONG SAID EAST LINE 28.224 FEET TO A POINT WHICH IS 128.94 FEET (AS MEASURED ALONG THE EAST LINE OF SAID LOT 4) NORTH OF THE NORTHWESTERLY LINE OF PLAINFIELD ROAD AS WIDENED PER DOCUMENT NUMBER RM-11582; THENCE SOUTH 32 DEGREES 18 MINUTES 16 SECONDS EAST 127.780 FEET TO THE POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PLAINFIELD ROAD PER PLAT OF DEDICATION RECORDED APRIL 25, 1991 AS DOCUMENT NUMBER 881-4382, SAID POINT BEING 75.0 FEET NORTHWESTERLY OF THE WEST LINE OF SAID LOT 3 (MEASURED ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD); THENCE NORTH 65 DEGREES 37 MINUTES 21 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 254.977 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 3; THENCE NORTH 87 DEGREES 59 MINUTES 25 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 301.280 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 2; THENCE NORTH 0 DEGREE 01 MINUTES 18 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 2, 514.486 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING, ALL IN DU PAGE COUNTY, ILLINOIS.

NEW MEASURED LEGAL DESCRIPTION:
Part of Lots 2, 3, and 4, Owner's Subdivision, Village of Willowbrook, Du Page County, Illinois being more particularly described as follows:
Beginning at the Northeast corner of said Lot 2, thence S00 degrees 01'18" E, 514.49 feet; thence S67 degrees 50'26" W, 301.23 feet; thence S68 degrees 37'21" W, 254.82 feet; thence N02 degrees 19'18" W, 127.78 feet; thence N00 degrees 00'24" W, 24.72 feet; thence N89 degrees 54'29" W, 131.79 feet; thence N00 degrees 00'24" E, 625.06 feet; thence N89 degrees 00'24" E, 730.27 feet to the point of beginning.
Contained within said bounds 454,851 square feet or 10,389.9 acres.
This description describes all the land depicted in this title commitment identified as First American Title Insurance Company Commitment Number NCS-88775-CH11 having an effective date of June 14, 2004.

I ALSO CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY, THAT THIS PLAT REPRESENTS A SURVEY MADE BY US OR UNDER OUR DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT, AND THAT WE HAVE COMPLIED WITH ALL OF THE REQUIREMENTS OF THE VILLAGE OF WILLOWBROOK'S SUBDIVISION REGULATIONS REGARDING PLATS. I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK, OR WITHIN ONE AND A HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE 11, DIVISION 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED. I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS SHALL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
GIVEN UNDER MY HAND AND SEAL THIS 18th DAY OF SEPTEMBER, 2014.



EASEMENT PROVISIONS
AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO COMMONWEALTH EDISON COMPANY AND SBC ILLINOIS, A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEEES, THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, UNDER ACROSS, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED IN GRANTEEES' FACILITIES OR UPON THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ICS 605/2(E), AS AMENDED FROM TIME TO TIME.
THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH MAY BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS, "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING AND COMMON AREA". THE TERMS "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY ACQUIRED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT.
RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF GRANITOR/LOT OWNER, UPON WRITTEN REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSES OF SAID GAS MAINS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERRECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.
THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, INCLUDING REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS PARCELS OR AREAS WITHIN THE PROPERTY, EVEN THOUGH SUCH AREAS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

UTILITY EASEMENT PROVISIONS
PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICES TO THE PROPERTY, INCLUDING, BUT NOT LIMITED TO, AMERITECH, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, THE HINSDALE SANITARY DISTRICT, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENT CONCERNS, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER AND OTHER FACILITIES USED IN THE DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DETERMINED NECESSARY BY SAID VILLAGE, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER OR UNDER, THROUGH OR UPON SAID EASEMENT AREAS, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEEES' OTHER RIGHTS PROVIDED HEREIN. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND/OR RETENTION PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES, AND APPURTENANCES THERETO, SHALL BE CONTROLLED BY SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS
FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNER OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:

- A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, AND THE PUBLIC GENERALLY, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. SAID DRAINAGE EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERETO IN, OVER, UNDER, THROUGH AND UPON SUCH EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THESE PURPOSES.
- NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERETO, LOCATED IN, OVER, UNDER, THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROFILING, STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER GRATES, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER GRATES. NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER IMPEDS OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. AS A MATTER OF RIGHTS, BUT NOT OBLIGATION, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.

SIDEWALK EASEMENT PROVISIONS:
AN EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK OVER, UPON AND ACROSS THOSE PORTIONS OF THE LOT WITHIN THE DASHED LINES MARKED "SIDEWALK EASEMENT" FOR INSTALLATION AND MAINTENANCE OF SIDEWALKS THEREON AND FOR PEDESTRIAN INGRESS AND EGRESS BY THE GENERAL PUBLIC. THE EXERCISE OF THE EASEMENT CREATED HEREBY SHALL BE SUBJECT TO ALL APPLICABLE ORDINANCES OF THE VILLAGE.

BLANKET EASEMENT
A BLANKET EASEMENT IS FURTHER HEREBY GRANTED FOR UTILITIES COMPANY(S) LICENSED BY THE VILLAGE OF WILLOWBROOK OVER LOT 1 IN THE WILLOWS SUBDIVISION THAT DO NOT CONTAIN AREAS AS EXCEPTED ON THIS PLAT.

- GENERAL NOTES:**
- PERMANENT IDENTIFICATION NUMBER: 08-23-405-018
 - LOTS AREA 494,405.80 FT. OR 10.06 ACRES.
 - BASES OF BEARINGS: EAST LINE OF FORESTRY HIGHWAY AT N 01°34'49" W.
 - SET 3/4" IF AT CORNERS AS SHOWN ON THIS PLAT.
 - BOUNDARY TAKEN FROM PLAT OF ALTA LAND TITLE SURVEY PERFORMED BY RONALD F. SARKO, DATED JULY 26, 2004 AND REVISED SEPTEMBER 28, 2004. PROJECT NUMBER 20040450-34

PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632		DATE: NO. DESCRIPTION: 02-17-16 1 THE VILLAGE EASEMENT DATED 03-17-14 09-18-15 1 PER GRANT REQUEST		DRAWN: K.B. DATE: 08-18-14 CHECKED: KAK DATE: 08-20-14 SHEET: 1 OF 7	
PROJ # 14-04		FILE: 14025		FIELD BOOK: 02-23 DATE: 02-25-14	

EOPOOL SURVEYORS
 128335 LEMONT RD. LEMONT, ILLINOIS 60439
 PHONE: (630) 738-0707 FAX: (630) 738-0280
 CHICAGO METRO AREA: (773) 591-9477 PHONE
 PROFESSIONAL DESIGN FIRM NO. 184.008273
 EMAIL: EOPOOL@COMCAST.NET

ZONING: LOP LIMITED OFFICE PROFESSIONAL
 (WILLOWBROOK OFFICE PARK LOT 12
 ASSESSMENT PLAT
 RECORDED AS DOC. NO. R2005-197465)

ZONING: R 1 SINGLE FAMILY

PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION

KINGERY HIGHWAY (KATALLINOS ROUTE 89)

EAST LINE OF THE SW 1/4 SEC. 23 T38N R11E

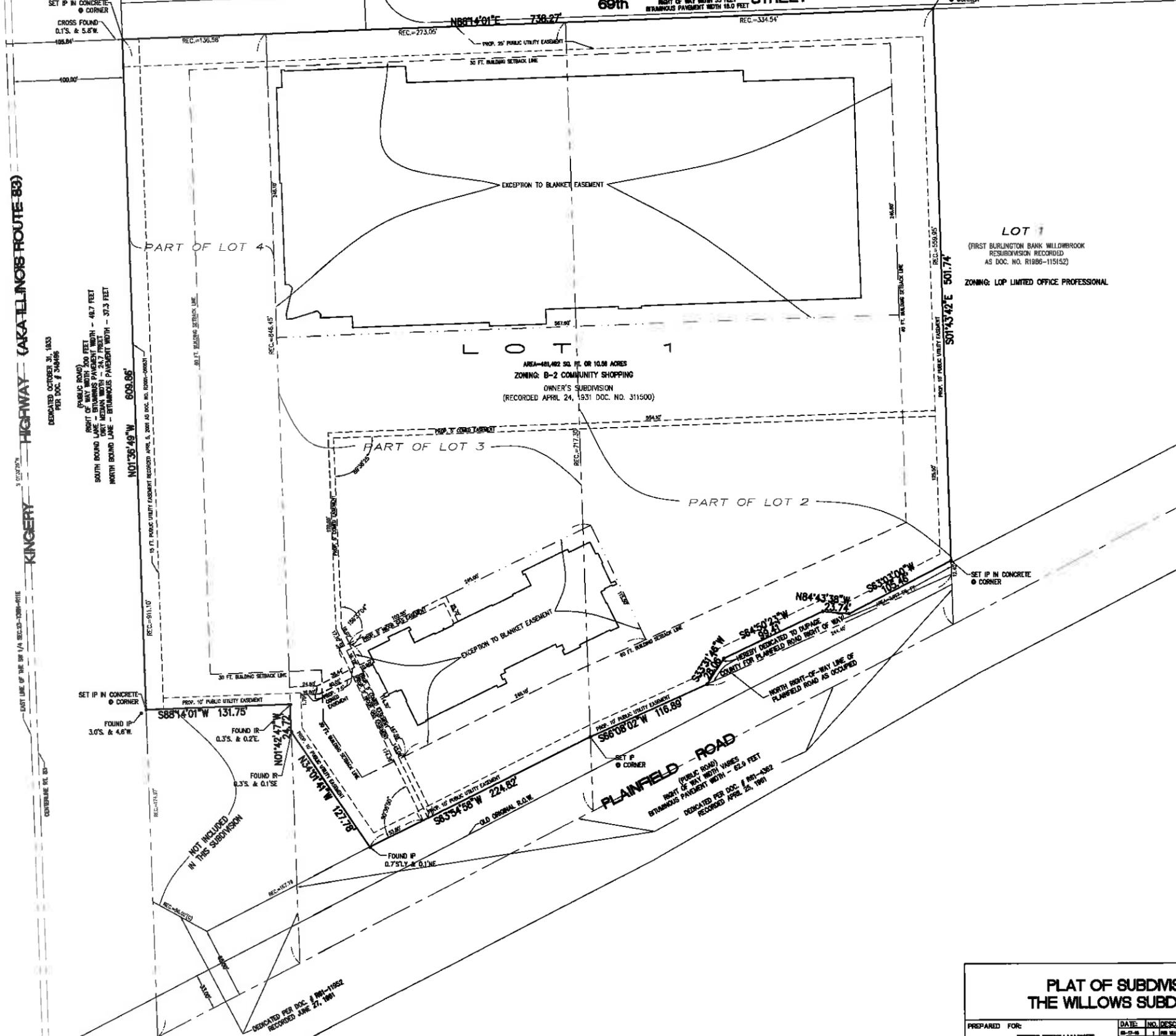
DEDICATED OCTOBER 31, 1933
 PER DOC. # 34486

(PUBLIC ROAD)
 RIGHT OF WAY WITH 200 FEET
 SOUTH BOUND LANE - STRIPED PAVEMENT WIDTH - 48.7 FEET
 NORTH BOUND LANE - STRIPED PAVEMENT WIDTH - 37.3 FEET
 NORTH BOUND LANE - STRIPED PAVEMENT WIDTH - 37.3 FEET
 609.86'

SET IP IN CONCRETE
 FOUND IP
 3.0'S. & 4.6'W

NOT INCLUDED
 IN THIS SUBDIVISION

DEDICATED PER DOC. # 791-11932
 RECORDED JUNE 27, 1961



POINT OF BEGINNING
 NORTHEAST CORNER LOT 2
 (OWNER'S SUBDIVISION)
 FOUND IP
 CORNER

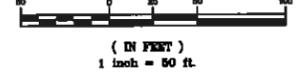
LOT 1

(FIRST BURLINGTON BANK WILLOWBROOK
 RESUBDIVISION RECORDED
 AS DOC. NO. R1986-115152)

ZONING: LOP LIMITED OFFICE PROFESSIONAL



GRAPHIC SCALE



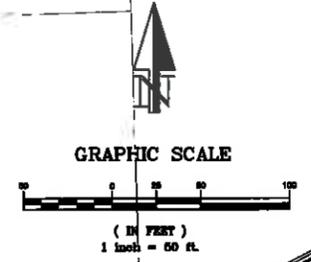
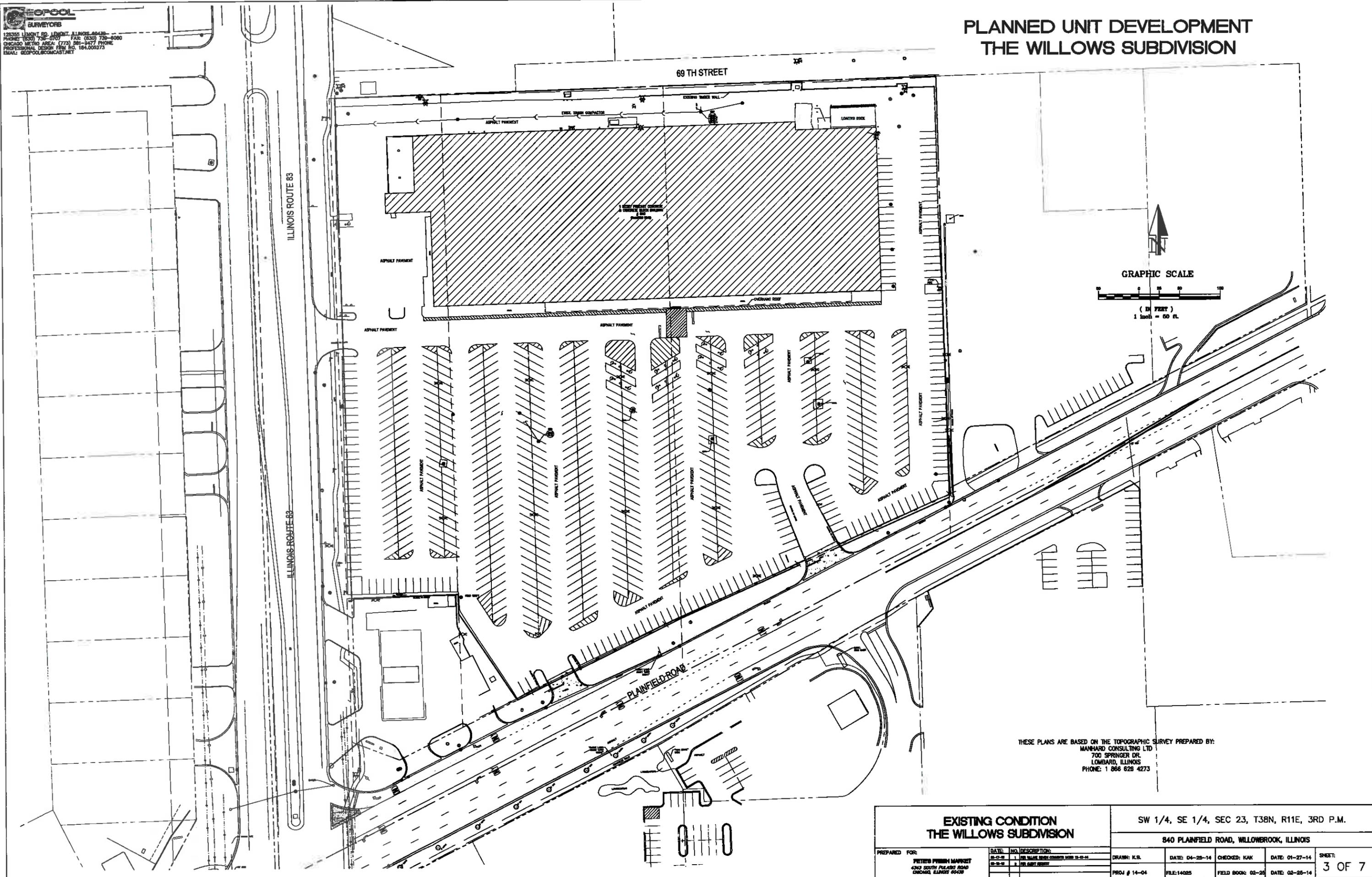
A BLANKET WATERMAIN SANITARY SEWER STORMWATER
 DRAINAGE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF
 WILLOWBROOK AND DUPAGE COUNTY OVER LOT 1 IN THE
 WILLOWS SUBDIVISION SUBDIVISION THAT DO NOT CONTAIN
 AREAS AS EXCEPTED ON THIS PLAT.

AREA DEDICATED TO DUPAGE COUNTY FOR PLAINFIELD ROAD
 RIGHT OF WAY 2,917 S.F.

PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION			SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS						
PREPARED FOR:	DATE:	NO. DESCRIPTION:	DRAWN: K.B.	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14
PETER'S FRESH MARKET 4547 SOUTH PALMER ROAD CHICAGO, ILLINOIS 60632	04-25-14	1. THE SHANE STEIN CENTER ADD 04-25-14				
	04-25-14	1. THE SHANE STEIN CENTER	PROJ # 14-04	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14
						SHEET: 2 OF 7

GEOPOL SURVEYORS
 128355 LEMONT RD. LEMONT, ILLINOIS 60439
 PHONE: (833) 733-0707 FAX: (833) 733-6000
 CHICAGO METRO AREA: (773) 891-9477 PHONE
 PROFESSIONAL DESIGN FIRM NO. 184.005273
 EMAIL: GEOPOL@COMCAST.NET

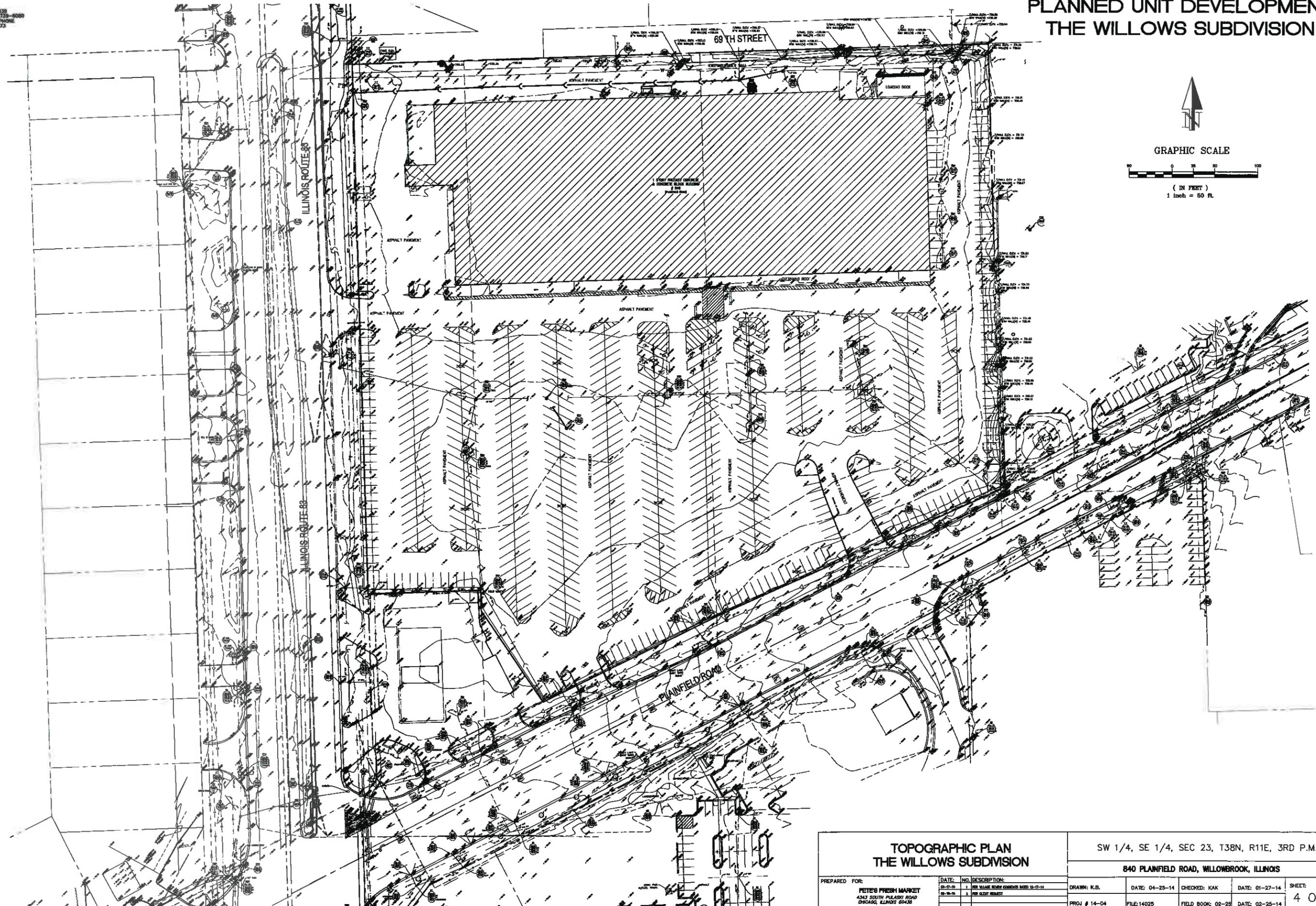
PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:
 MANHARD CONSULTING LTD
 700 SPRINGER DR.
 LOMBARD, ILLINOIS
 PHONE: 1 866 626 4273

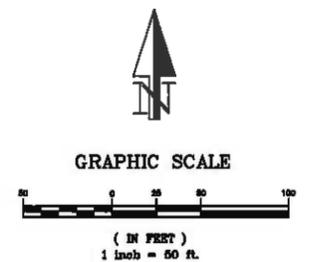
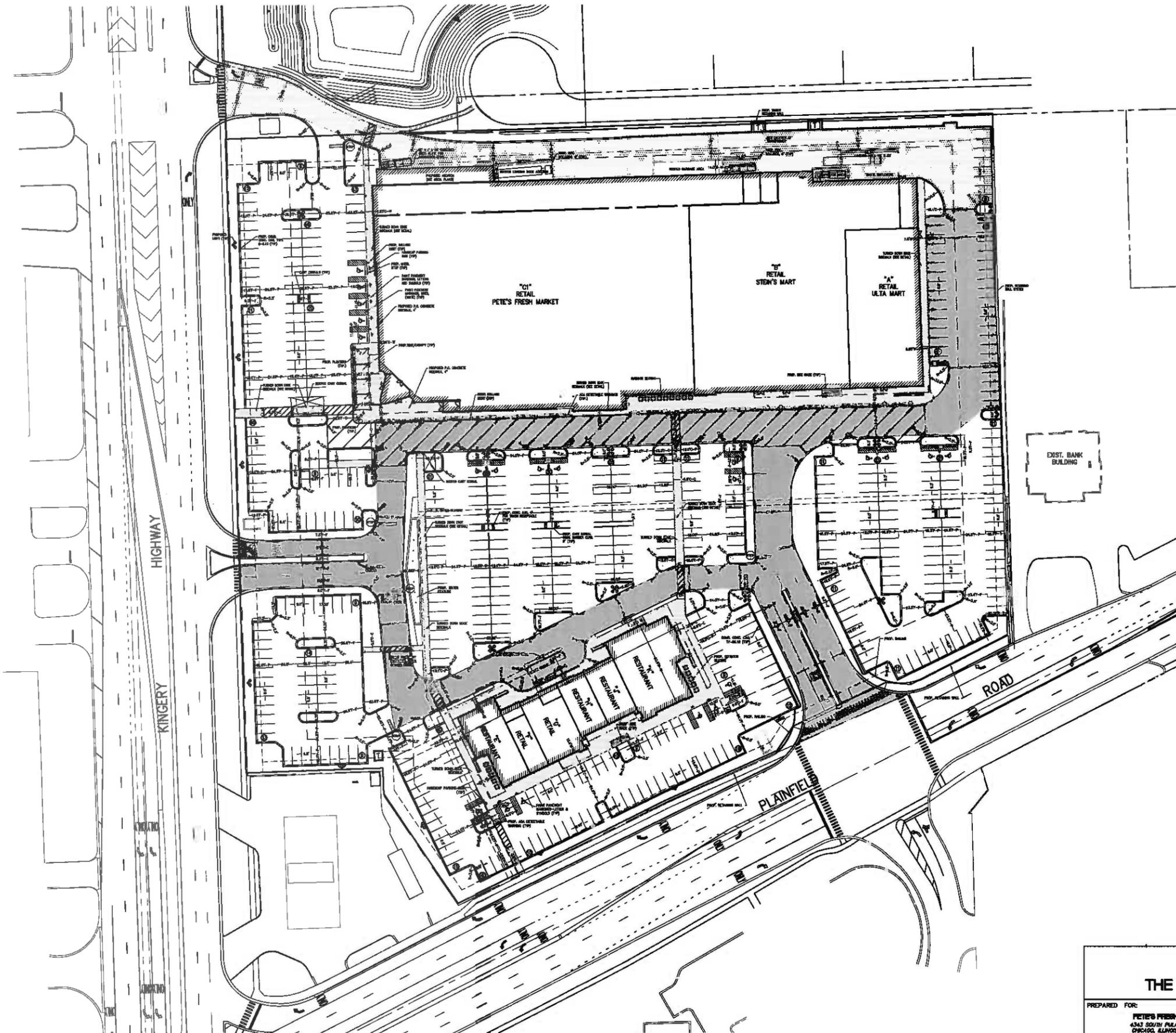
EXISTING CONDITION THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWROOK, ILLINOIS			
PREPARED FOR: FRIEDRICH PETER MARKET 4303 SOUTH PALMWOOD ROAD CHICAGO, ILLINOIS 60609	DATE: NO. DESCRIPTION: 05-17-14 1. FOR WILLOW SUBDIVISION CONCEPTS UNDER 15-02-14 05-28-14 2. FOR SHEET REVISIONS	DRAWN: K.B. PROJ # 14-04	DATE: 04-25-14 FILE: 14025	CHECKED: KAK FIELD BOOK: 02-25	DATE: 01-27-14 DATE: 02-25-14
SHEET: 3 OF 7					

PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



<p align="center">TOPOGRAPHIC PLAN THE WILLOWS SUBDIVISION</p>		<p align="center">SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.</p>					
		<p align="center">840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</p>					
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PLEASANT ROAD CHICAGO, ILLINOIS 60648	DATE: 04-25-14	NO. DESCRIPTION: 1. SEE PLANS FOR COMMENTS AND 12-17-14 2. PER CLIENT REQUEST	DRAWN: K.B. PROJ # 14-04	DATE: 04-25-14 FILE: 14025	CHECKED: KAK FIELD BOOK: 02-25	DATE: 01-27-14 DATE: 02-25-14	SHEET: 4 OF 7

PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



PAVEMENT LEGEND:

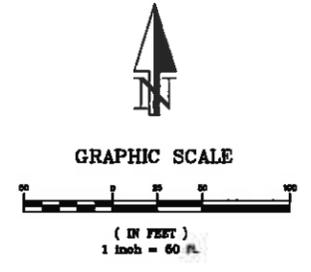
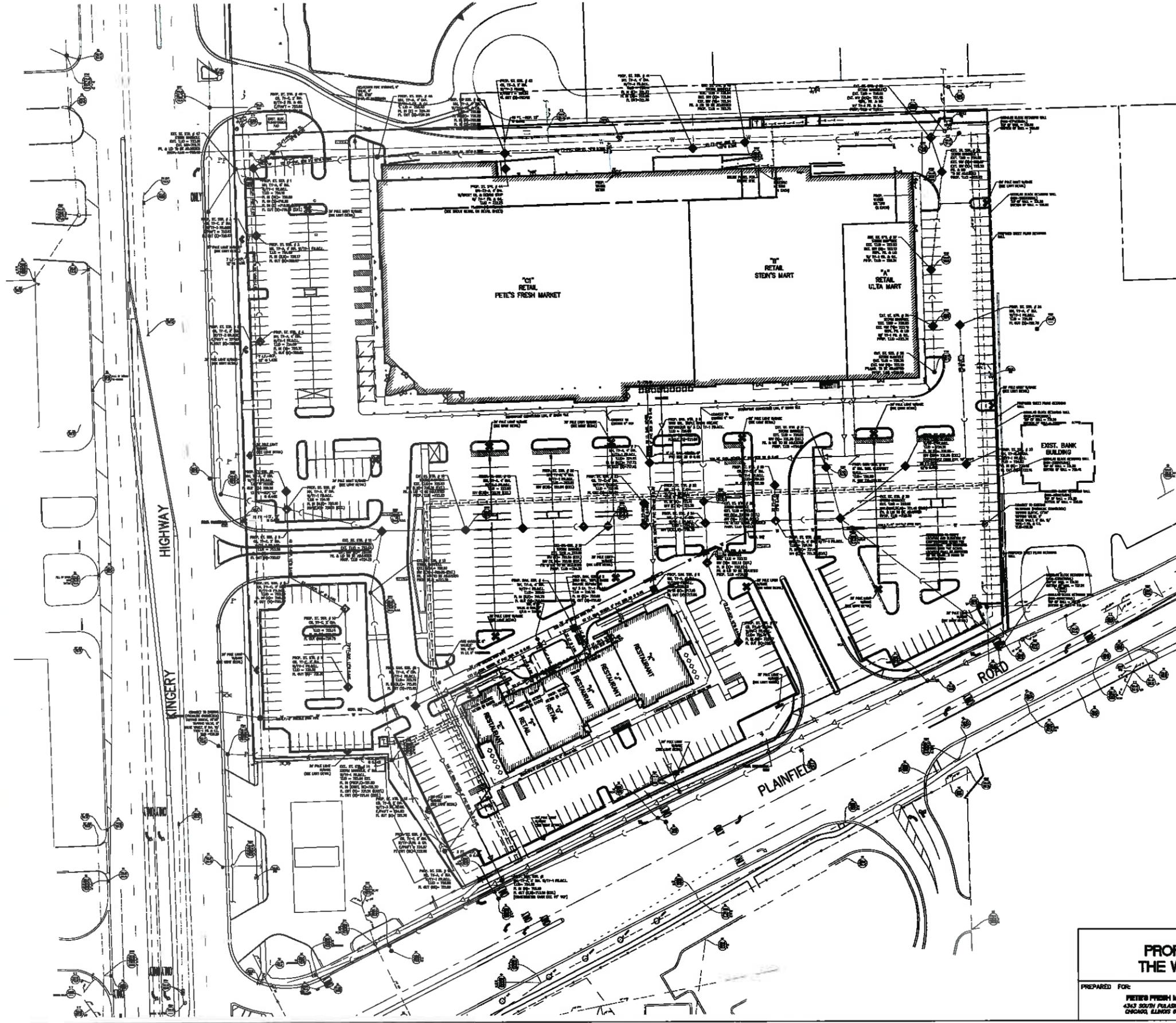
- PROP. CONCRETE PAVEMENT/SIDEWALK
- PROP. HEAVY DUTY HMA PAVEMENT

ALL OTHER PAVEMENT SHALL BE HMA STANDARD DUTY

PARKING SCHEDULE		
UNIT	USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE
A	10,671 SF RETAIL	1 SPACE PER 250 SF 43 SPACES
B	31,276 SF RETAIL	1 SPACE PER 250 SF 125 SPACES
C1	43,500 SF GROCERY SALES	1 SPACE PER 200 SF 218 SPACES
C2	26,635 SF RETAIL	1 SPACE PER 1500 SF ++ 22 SPACES
C3	9,526 SF MEZZANINE STORAGE	1 SPACE PER 1500 SF 6 SPACES
C4	1,864 SF COMMON MECH. RSM	1 SPACE PER 1500 SF 1 SPACE
E	2,942 SF RESTAURANT	1 SPACE PER 100 SF 29 SPACES
F	1,074 SF RETAIL	1 SPACE PER 250 SF 4 SPACES
G	2,470 SF RETAIL	1 SPACE PER 250 SF 10 SPACES
H	1,662 SF RESTAURANT	1 SPACE PER 100 SF 17 SPACES
J	1,812 SF RESTAURANT	1 SPACE PER 100 SF 18 SPACES
K	3,053 SF RESTAURANT	1 SPACE PER 100 SF 31 SPACES
TOTAL REQUIRED PARKING SPACES		544 SPACES
ACTUAL TOTAL PARKING SPACES PROVIDED		548 SPACES

SITE PLAN THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
640 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS					
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60638	DATE: NO. DESCRIPTION: 02-25-14 1 FOR RELEASE, REVIEW, COMMENTS, MARKS 02-25-14 02-25-14 2 FOR CLIENT REVIEW	DRAWN: K.B.	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14
PROJ # 14-04	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14	SHEET: 5 OF 7	

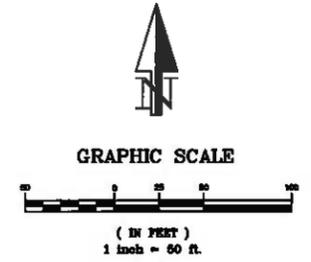
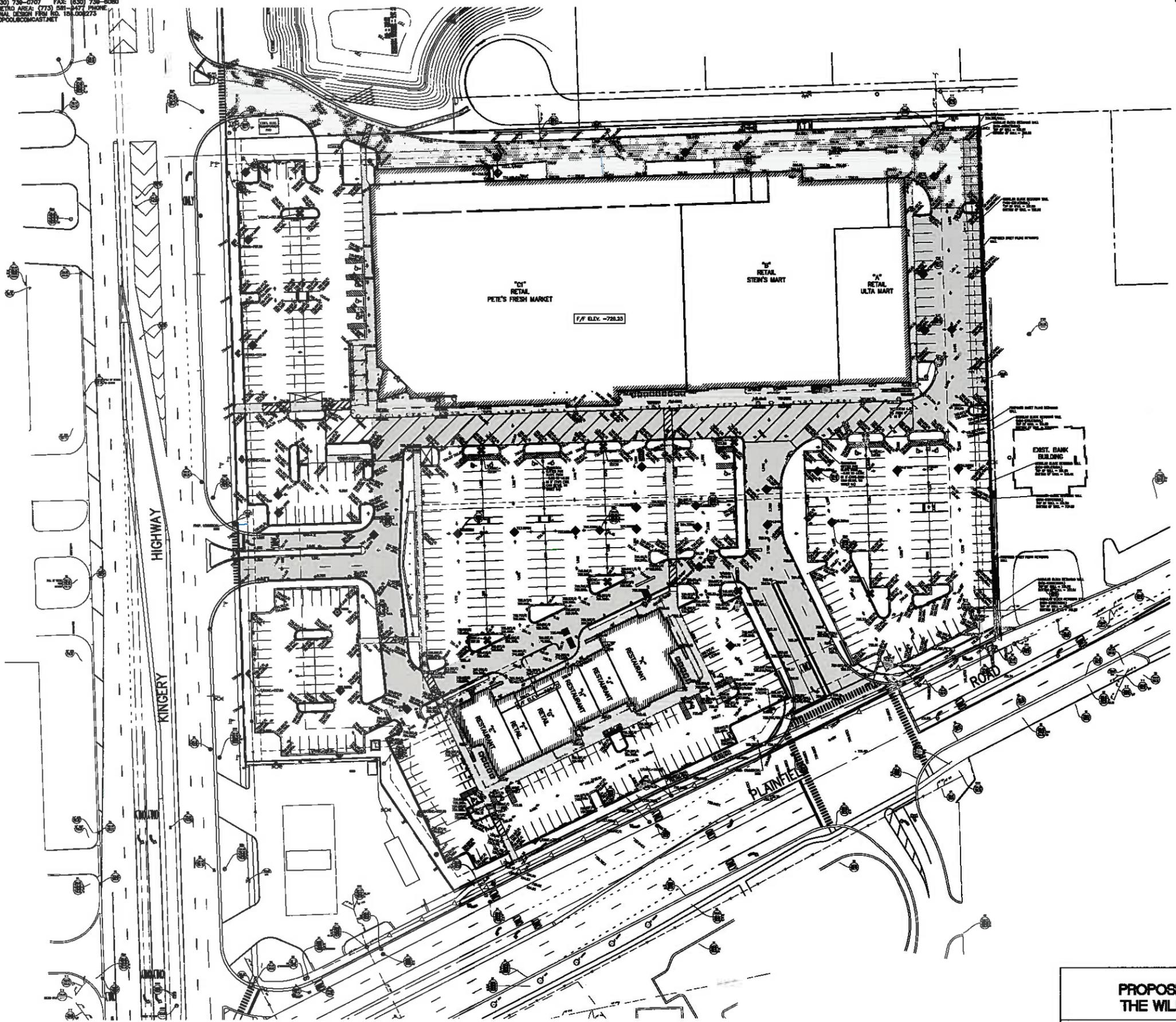
PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



<p align="center">PROPOSED UTILITY PLAN THE WILLOWS SUBDIVISION</p>			<p align="center">SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.</p>			
			<p align="center">840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</p>			
<p>PREPARED FOR: FETI'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60609</p>	<p>DATE: 01-25-14 NO. DESCRIPTION: 1. SEE PLANS FOR UTILITY LINES AND 12-01-14 2. SEE PLANS FOR UTILITY LINES AND 02-25-14</p>	<p>DATE: 04-25-14 CHECKED: KAK FIELD BOOK: 02-25</p>	<p>DATE: 01-27-14 DATE: 02-25-14</p>	<p>SHEET: 6 OF 7</p>	<p>DRAWN: K.B. FILE: 14025</p>	

GEPOOL
SURVEYORS
12535 LEMONT RD. LEMONT, ILLINOIS 60439
PHONE: (630) 730-0707 FAX: (630) 730-8080
CHICAGO METRO AREA: (773) 581-4477 PHONE
PROFESSIONAL LICENSE #001102272
EMAIL: GEPOOL@COMCAST.NET

PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



PROPOSED GRADING PLAN THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: PETE'S FRESH MARKET 4363 5527W PLAINFIELD ROAD CHICAGO, ILLINOIS 60648	DATE: NO. DESCRIPTION: 01-17-14 1. FOR BANK BANK COMMENTS 12-12-14 01-23-14 1. FOR BANK BANK COMMENTS	DRAWN: K.B. DATE: 04-25-14 PROJ # 14-04	CHECKED: KAK DATE: 01-27-14 FIELD BOOK: 02-25 DATE: 02-25-14	SHEET: 7 OF 7	

EOPOOL SURVEYORS
 125355 LEMONT RD. LEMONT, ILLINOIS 60433
 PHONE: (630) 739-0707 FAX: (630) 739-6080
 CHICAGO METRO AREA (773) 581-9477 PHONE
 PROFESSIONAL DESIGN FIRM NO. 184.005273
 EMAIL: EEP@EPOOL.COM/CAST.NET

ZONING: LOP LIMITED OFFICE PROFESSIONAL
 (WILLOWBROOK OFFICE PARK LOT 12
 ASSESSMENT PLAT
 RECORDED AS DOC. NO. R2005-197465)

ZONING: R 1 SINGLE FAMILY

FINAL PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

KINGERY HIGHWAY (AKA ILLINOIS ROUTE 83)
 DEDICATED OCTOBER 31, 1933
 PER DOC. # 448496

EAST LINE OF THE SW 1/4 SEC. 23-T38N-R11E
 CENTERLINE RT. 83

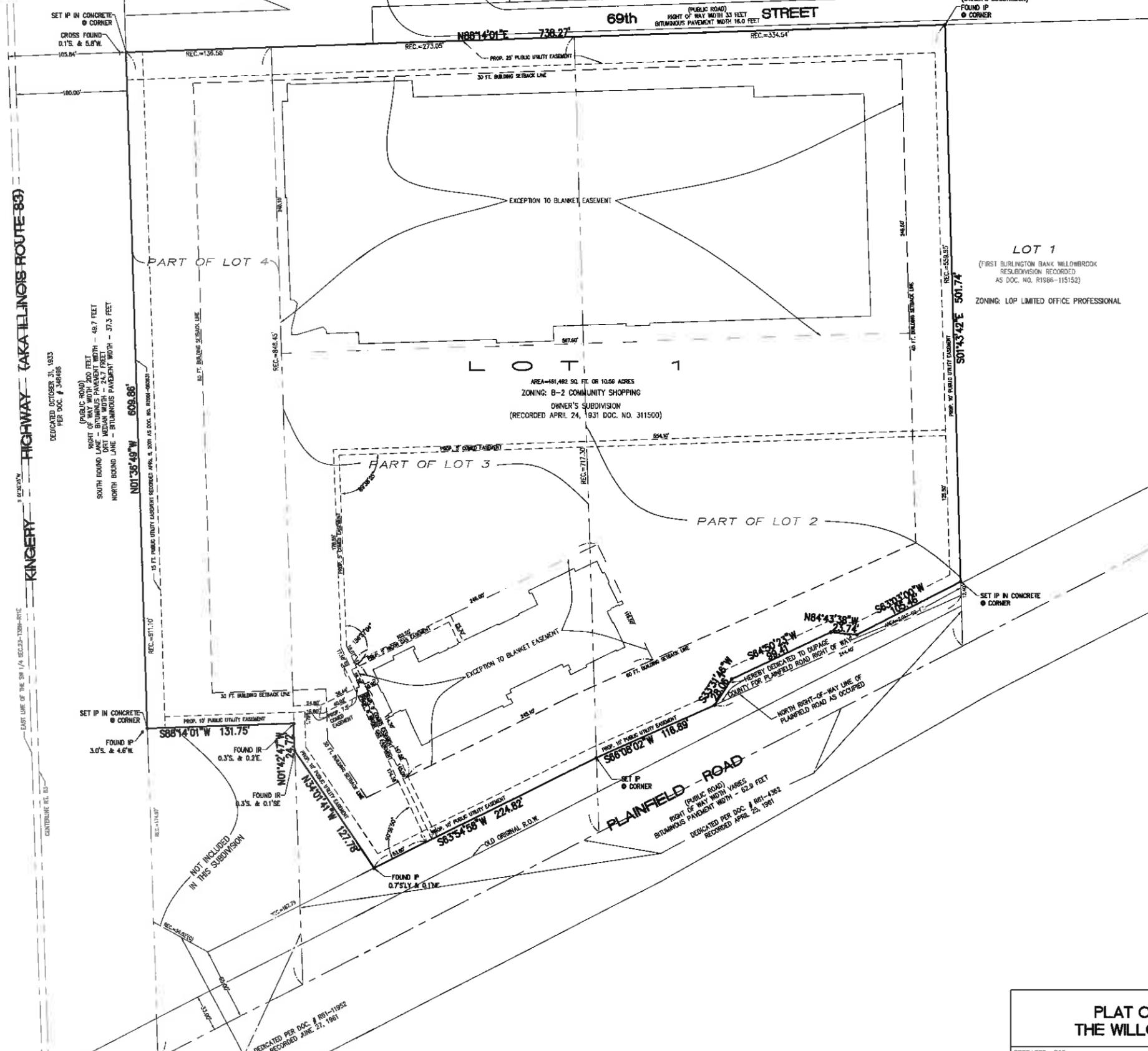
(PUBLIC ROAD)
 RIGHT OF WAY WITH 200 FEET
 SOUTH BOUND LANE - BITUMINOUS PAVEMENT WIDTH - 48.7 FEET
 NORTH BOUND LANE - BITUMINOUS PAVEMENT WIDTH - 37.3 FEET
 NORTH BOUND LANE - BITUMINOUS PAVEMENT WIDTH - 37.3 FEET
 DEDICATED PER DOC. # 181-11962
 RECORDED JUNE 27, 1961

SET IP IN CONCRETE
 @ CORNER
 FOUND IR
 0.1'S. & 5.6"W

SET IP IN CONCRETE
 @ CORNER
 FOUND IR
 3.0'S. & 4.6"W

NOT INCLUDED
 IN THIS SUBDIVISION

DEDICATED PER DOC. # 181-11962
 RECORDED JUNE 27, 1961

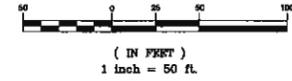


POINT OF BEGINNING
 NORTHEAST CORNER LOT 2
 (OWNER'S SUBDIVISION)
 FOUND IR
 @ CORNER

LOT 1
 (FIRST BURLINGTON BANK WILLOWBROOK
 RESUBDIVISION RECORDED
 AS DOC. NO. R1986-115152)
 ZONING: LOP LIMITED OFFICE PROFESSIONAL



GRAPHIC SCALE



A BLANKET WATERMAIN SANITARY SEWER, STORMWATER
 DRAINAGE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF
 WILLOWBROOK AND DUPAGE COUNTY OVER LOT 1 IN THE
 WILLOWS SUBDIVISION SUBDIVISION THAT DO NOT CONTAIN
 AREAS AS EXCEPTED ON THIS PLAT.

AREA DEDICATED TO DUPAGE COUNTY FOR PLAINFIELD ROAD
 RIGHT OF WAY 2,917 S.F.

PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60638	DATE: NO. DESCRIPTION: 04-17-14 1 PER VILLAGE REVIEW COMMENTS DATED 02-17-14 08-18-15 2 PER CLIENT REQUEST	DRAWN: K.B. PROJ # 14-04	DATE: 04-25-14 FILE: 14025	CHECKED: KAK FIELD BOOK: 02-25	DATE: 01-27-14 DATE: 02-25-14
				SHEET: 2 OF 2	

CIVIL ENGINEERING IMPROVEMENT PLANS FOR PETE'S FRESH MARKET WILLOWBROOK, ILLINOIS

PROPERTY DESCRIPTION:

THAT PART OF LOTS 2, 3, AND 4 IN OWNER'S SUBDIVISION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE WEST ALONG THE NORTH LINE OF SAID LOTS 738.289 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF ILLINOIS ROUTE NO. 83 AS MONUMENTED; THENCE SOUTH 0 DEGREES 45 MINUTES 34 SECONDS WEST ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83; 616.633 FEET TO A POINT WHICH IS 228.40 FEET AS MEASURED ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83 NORTH OF THE SOUTHEASTERLY L LINE OF SAID LOT 4; THENCE SOUTH 86 DEGREES 54 MINUTES 28 SECONDS EAST 131.753 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREES 00 MINUTES 24 SECONDS EAST ALONG SAID EAST LINE 24.724 FEET TO A POINT WHICH IS 138.94 FEET (AS MEASURED ALONG THE EAST LINE OF SAID LOT 4) NORTH OF THE NORTHWESTERLY LINE OF PLAINFIELD ROAD AS WIDENED PER DOCUMENT NUMBER R61-11952; THENCE SOUTH 32 DEGREES 19 MINUTES 18 SECONDS EAST 127.783 FEET TO THE POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PLAINFIELD ROAD PER PLAT OF DEDICATION RECORDED APRIL 25, 1961 AS DOCUMENT NUMBER R61-4362, SAID POINT BEING 75.0 FEET NORTHEASTERLY OF THE WEST LINE OF SAID LOT 3 (MEASURED ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD); THENCE NORTH 65 DEGREES 37 MINUTES 21 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 224.817 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 3; THENCE NORTH 67 DEGREES 30 MINUTES 25 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 361.290 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 2; THENCE NORTH 0 DEGREES 01 MINUTES 19 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 2, 514.488 FEET TO THE HERIN DESIGNATED PLACE OF BEGINNING, ALL IN DU PAGE COUNTY, ILLINOIS.

NEW MEASURED LEGAL DESCRIPTION:

Part of Lots 2, 3, and 4, Owner's Subdivision, Village of Willowbrook, Du Page County, Illinois being more particularly described as follows:

Beginning at the Northeast corner of said Lot 2; thence 590 degrees 01'19" E, 514.48 feet; thence S67 degrees 50'25" W, 351.28 feet; thence S55 degrees 37'14" W, 224.82 feet; thence N32 degrees 19'18" W, 127.78 feet; thence N00 degrees 02'24" W, 24.72 feet; thence N89 degrees 54'28" W, 131.75 feet; thence N00 degrees 05'34" E, 608.86 feet; thence N89 degrees 56'24" E, 738.27 feet to the point of beginning.

GENERAL NOTES FOR WORK IN THE PUBLIC WAY

1. THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION, AND ALL ADDENDA THERETO, AND VILLAGE OF WILLOWBROOK FOR WORK IN THE PUBLIC WAY SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT.
2. THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, SHALL GOVERN THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS, OR WHERE IN CONFLICT WITH VILLAGE OF WILLOWBROOK.
3. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS AND VILLAGE OF WILLOWBROOK REGULATIONS AND STANDARDS AND SHALL CONFORM IN ALL RESPECTS TO ALL STATE AND FEDERAL LAWS AND REGULATIONS.
4. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITY LOCATIONS SHOWN ON THE PLANS ARE BASED ON TOPOGRAPHIC SURVEY BY MENHARD ENGINEERING AVAILABLE RECORDS AND ARE FOR GENERAL DIRECTION ONLY. ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
5. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH CA-6 CRUSHED STONE (GRADE 8 OR 9), COMPACTED IN 9" LIFTS TO 95% OF MODIFIED PROCTOR.
6. UTILITY CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL BE ACCOMPLISHED BY SAW CUTTING AND REMOVING THE EXISTING PAVEMENT. BACKFILL AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION.

NOTES:

1. THE OWNER CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING CONSTRUCTION TO PREVENT POTENTIAL CONFLICTS.
3. SPECIAL CARE SHALL BE TAKEN ADJACENT TO EXISTING UTILITIES AND TREES TO PREVENT UNNECESSARY DAMAGE.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITION EXIST. THE ENGINEER WILL HAVE A REASONABLE PERIOD OF TIME TO ASSIST IN THE RESOLUTION OF THE ISSUE.
5. THE ENGINEER IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT SITE CONDITION.

DUTY TO INDEMNIFY

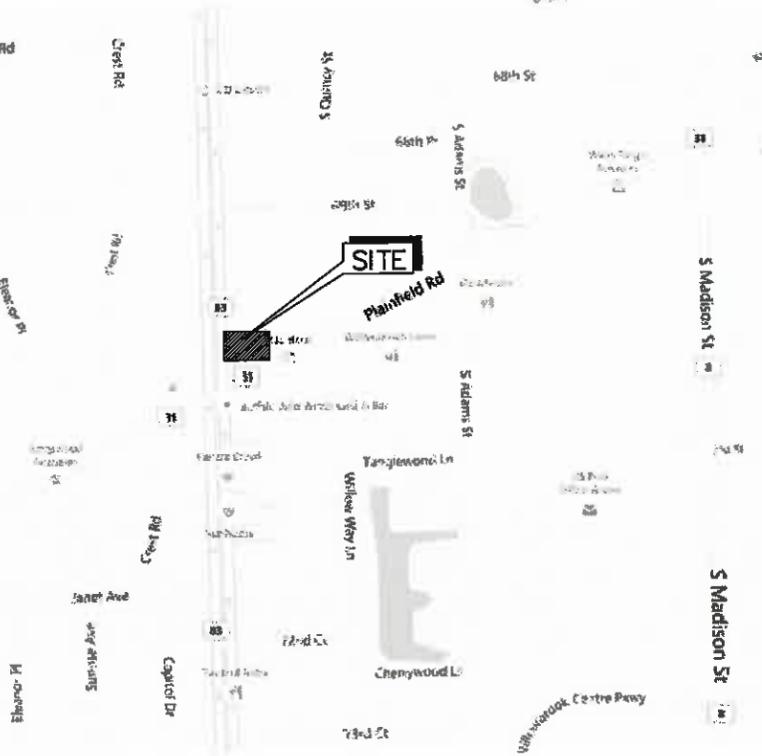
THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL. REV. STAT. CH.48, PAR.60 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [IL. REV. STAT. CH.17-12 PAR.51 ET. SEQ.] IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFOR, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

NOTES:

1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR SHALL VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING SHALL BE INCLUDED AS PART OF THE GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND H AVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.



SITE LOCATION MAP
(N.T.S.)

LEGEND:

742.0	EXIST. ELEV.	—C—C—	EXIST. STORM SEWER
742.0	PROP. ELEV.	—C—C—	EXIST. SANITARY SEWER
⊕	EXIST. STORM MANHOLE	—W—W—	EXIST. WATER
⊕	EXIST. SAN. MANHOLE	—W—W—	EXIST. DRAINAGE DIRECTION
⊕	EXIST. CATCH BASIN	—751—	EXIST. CONTOUR
⊕	EXIST. GAS VALVE	—740—	PROP. CONTOUR
⊕	EXIST. WATER VALVE	—W—W—	PROP. WATER SERVICE
⊕	EXIST. FIRE HYDRANT	—W—W—	PROP. SANITARY SERVICE
⊕	EXIST. TRAFFIC SIGN	—C—C—	PROP. STORM SEWER
⊕	EXIST. UTILITY POLE	—C—C—	PROP. DRAINAGE DIRECTION
⊕	EXIST. ANCHOR	←	PROP. OVERLAND FLOW
⊕	EXIST. LIGHT POLE	←	PROP. SILT FENCE
⊕	EXIST. INLET	—SF—SF—	CHAIN LINK FENCE
⊕	EXIST. WATER BUFFALO BOX	—X—X—	WOOD FENCE
⊕	EXIST. DOWNSPOUT	—X—X—	IRON FENCE
⊕	EXIST. SIGN	—X—X—	ELECTRIC LINE
⊕	EXIST. TREE	—X—X—	
⊕	EXIST. TREE TO BE REMOVED	—X—X—	
⊕	TREE FENCE	—X—X—	
	EX, EXIST		EXISTING
	SF		SILT FENCE
	TYP.		TYPICAL
	P, PMT.		PAVEMENT
	C, CONC.		CONCRETE
	G		GRADE
	EL, ELEV		ELEVATION
	I.E., INV.		INVERT ELEVATION
	W/		TOP OF FOUNDATION
	F.G.		FINISHED GRADE
	M.H.		MANHOLE
	C.B.		CATCH BASIN
	CMP		CORRUGATED METAL PIPE
	FND		FOUND
	IR		IRON ROD
	SAN.		SANITARY
	BSMT.		BASEMENT
	F.Y.S.		FRONT YARD SETBACK
	R.Y.S.		REAR YARD SETBACK
	S.Y.S.		SIDE YARD SETBACK

ARCHITECT:
ANGELO STAMATOUKOS
ANGELO STAMATOUKOS ARCHITECT
113 CENTRAL
WILLOWBROOK, IL 60527
PHONE: 630-789-2314

SURVEYOR:
MANHARD ENGINEERING

ENGINEER:
ARIC R. GERALD, P.E.
GEOPOL ENGINEERING, INC.
12 SOUTH 355 LEMONT ROAD
LEMONT, IL 60439
PHONE: 630-739-2009

DEVELOPER:
PETER MICHAEL REALTY, INC.
4333 SOUTH PULASKI ROAD
CHICAGO, IL 60638
PHONE: 773-843-1400

- NOTES:
1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY: MANHARD CONSULTING LTD 700 SPRINGER DR. LOMBARD, ILLINOIS PHONE: 1866 626-4273
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
 3. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) ELEVATIONS ARE 0.5' HIGHER THAN FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
 4. ACCESSIBLE PAVEMENT SLOPES NOT TO EXCEED 2.0% MAXIMUM IN ALL DIRECTIONS.

DESCRIPTION OF PROPOSED DEVELOPMENT:

TOTAL AREA OF THE SITE = 484,408 S.F. (10.66 AC)
EXISTING CONDITION IMPERVIOUS AREA OF THE SITE = 454,702 S.F.
PERCENTAGE OF THE TOTAL SITE AREA = 97.9%
PROPOSED CONDITION IMPERVIOUS AREA OF THE SITE = 416,980 S.F.
PERCENTAGE OF THE TOTAL SITE AREA = 89.8%
INCREASE IN TOTAL IMPERVIOUS SURFACE AREA DUE TO PROPOSED WORK = 37,722 S.F.

EXISTING LAND USE = COMMERCIAL
PROPOSED LAND USE = COMMERCIAL

SHEET INDEX:

- C-1 COVER SHEET
- C-1A GENERAL NOTES & SPECIFICATIONS
- C-2 OVERALL SITE PLAN
- C-3 TOPOGRAPHIC & UTILITY SURVEY
- C-3A TOPOGRAPHIC & UTILITY SURVEY
- C-4 DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
- C-4A DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
- C-5 GEOMETRIC PLAN
- C-5A GEOMETRIC PLAN
- C-6 GRADING AND DRAINAGE PLAN
- C-6A GRADING AND DRAINAGE PLAN
- C-7 UTILITY PLAN
- C-7A UTILITY PLAN
- C-8 CONSTRUCTION STANDARDS & DETAILS
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- C-10 CONSTRUCTION STANDARDS & DETAILS

BENCHMARK # 0135:

STATION IS LOCATED AT THE SE CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET. STATION IS 70.0 FT. SOUTH OF THE CENTERLINE OF PLAINFIELD ROAD AND 38.5 FT. EAST OF THE CENTERLINE OF MADISON ST. MONUMENT IS A 3.5 INCH BRASS DISK ON THE BASE OF TRAFFIC SIGNAL, 0.8 FT. ABOVE GRADE. ELEVATION.....732.18

DRAINAGE STATEMENT

"TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF, OR, THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS APPROVED FOR USE BY THE CITY ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS DEVELOPMENT."

STATE OF ILLINOIS) SS.
COUNTY OF COOK)

I, ARIC R. GERALD, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY GEOPOL ENGINEERING, INCORPORATED UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.



Aric R. Gerald
09-18-2015

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-054476
MY LICENSE EXPIRES ON 11-30-2015



125355 LEMONT ROAD
LEMONT, ILLINOIS 60439
PHONE: (630) 739-0707
FAX: (630) 739-0800

PREPARED FOR:

PETE'S FRESH MARKET

4343 S. PULASKI ROAD
CHICAGO, ILLINOIS 60638

NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

COVER SHEET

REVISIONS:

DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14
06-16-2015	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.

840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS

DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET:
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	C-1

GENERAL NOTES

GENERAL:
THE CONTRACTOR SHALL MAINTAIN ALL PROPOSED CONSTRUCTION FOR TWO (2) YEARS FOLLOWING FINAL APPROVAL OF THE IMPROVEMENTS BY THE VILLAGE.
THE VILLAGE OF WILLOWBROOK STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK.
ALL STREET CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, LATEST EDITION (DOT STANDARD SPECIFICATIONS).

ROADWAY AND PAVING

BASE COURSE: AGGREGATE FOR BASE COURSE SHALL MEET THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE UNIFORMLY GRADED AND COMPACTED CA-8, GRADE B.
BITUMINOUS AGGREGATE MIXTURE (BAM), HOT-MIX ASPHALT BINDER COURSE: HOT-MIX ASPHALT SURFACE COURSE SHALL CONFORM TO IDOT STANDARD SPECIFICATIONS.

CURB AND GUTTER AND SIDEWALK

THE VILLAGE ENGINEER SHALL BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS BEFORE CONSTRUCTING THE CURB AND GUTTER OR SIDEWALK.
PORTLAND CEMENT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF THREE THOUSAND FIVE HUNDRED POUNDS PER SQUARE INCH (3000'PSI) IN FOURTEEN (14) DAYS SHALL BE USED.

PORTLAND CEMENT CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF THREE THOUSAND FIVE HUNDRED POUNDS PER SQUARE INCH (3000'PSI) IN FOURTEEN (14) DAYS SHALL BE USED.

BITUMINOUS PREFORMED EXPANSION JOINT FILLER, ONE-HALF (1/2) INCH AND THREE-QUARTER (3/4) INCH THICK, AND PRE-SHAPED TO THE PROFILE OF THE CURB AND SIDEWALK SHALL BE USED.

EXPANSION JOINT DOWELS - SMOOTH STEEL DOWELS, ONE AND THREE-QUARTER (1 3/4) INCH DIAMETER AND EIGHTEEN (18) INCHES LONG WITH PINCHED STOP CAPS ON ONE END SHALL BE USED.

THE CURB AND GUTTER SURFACE SHALL BE BROOM FINISHED AT RIGHT ANGLES TO THE FLOW LINE OF THE CURB AND GUTTER.

PRIOR TO BEGINNING CONSTRUCTION, THE VILLAGE ENGINEER SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE OF THE INTENDED TIME OF STARTING WORK.

CURB RAMPS SHALL MEET IDOT STANDARD 424001

SUBGRADE

THE SUBGRADE SHALL BE GRADED AND ROLLED TO PROVIDE UNIFORM DENSITY AND SHALL COMPLY WITH THE PROFILE AND CROSS-SECTIONS CONTAINED IN THE DRAWINGS.

ALL STREET SUBGRADE SHALL BE PROOF-ROLLED IN THE PRESENCE OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH A FULLY-LOADED TRI-AXLE CLUMP TRUCK OR SIMILAR EQUIPMENT PRIOR TO THE PLACEMENT OF ANY FILL MATERIALS, GEOTECHNICAL FABRIC, OR SUB-BASE COURSE. MAXIMUM DEFLECTION SHALL BE ONE-QUARTER (1/4) INCH.

THE SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.

SUB-BASE COURSE

THE SUB-BASE COURSE SHALL BE PREPARED IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS.

THE SUB-BASE COURSE SHALL BE PROOF-ROLLED IN THE PRESENCE OF A PROFESSIONAL MATERIAL TESTING SERVICE WITH A FULLY-LOADED TRI-AXLE CLUMP TRUCK OR SIMILAR EQUIPMENT. MAXIMUM DEFLECTION SHALL BE ONE-QUARTER (1/4) INCH.

CONCRETE

CONCRETE CLASS, SLUMP, AIR ENTRAINMENT, AND ANY OTHER ADDITIVES USED SHALL BE NOTED ON THE DELIVERY TICKET. SLUMP AND AIR CONTENT SHALL BE TESTED BY THE CONTRACTOR OR DEVELOPER.

ONE SET OF THREE (3) CYLINDERS SHALL BE TAKEN FOR EVERY DAILY CONCRETE POUR. FOR CURB AND GUTTER POURS IN EXCESS OF ONE THOUSAND (1,000) FEET, TWO (2) SETS OF THREE (3) CYLINDERS SHALL BE TAKEN.

COMPRESSIVE STRENGTH TESTS FOR CURB AND GUTTER SHALL BE OBTAINED BY THE CONTRACTOR OR DEVELOPER AND RESULTS COPIED TO THE VILLAGE.

ANY CONCRETE NOT CONFORMING TO THE IDOT STANDARD SPECIFICATIONS WILL BE REJECTED.

ALL CONCRETE TESTING SHALL BE BY A PROFESSIONAL MATERIAL TESTING SERVICE AT THE EXPENSE OF THE CONTRACTOR OR DEVELOPER. COMPLETE WRITTEN TEST REPORTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR APPROVAL.

WATER SUPPLY

GENERAL

ALL WATER DISTRIBUTION SYSTEM IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, UNLESS OTHERWISE MODIFIED IN THIS SECTION.

SPECIFICATION REFERENCES MADE HEREIN FOR MANUFACTURED MATERIALS, SUCH AS PIPE, HYDRANTS, VALVES, AND FITTINGS REFER TO DESIGNATIONS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), THE AMERICAN WATER WORKS ASSOCIATION (AWWA), OR OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).

WATER SYSTEM DESIGN AND CONSTRUCTION SHALL, IN ALL RESPECTS, BE IN ACCORDANCE WITH THE REGULATIONS OF THE ENVIRONMENTAL PROTECTION AGENCY OF THE STATE OF ILLINOIS. NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A CONSTRUCTION PERMIT FROM THIS AGENCY IS FILED WITH THE VILLAGE PUBLIC WORKS DEPARTMENT.

THE INSTALLATION OF WATER MAINS AND APPURTENANCES, INCLUDING CONNECTIONS, SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-900 AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

PRIOR TO BEGINNING THE WATER MAIN INSTALLATION, THE VILLAGE ENGINEER SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE OF THE INTENDED TIME OF STARTING WORK.

THRUST BLOCKS AND RETAINER GLANDS SHALL BE USED AT ALL WATERMAIN FITTINGS

1. HORIZONTAL SEPARATION

A. WATER MAINS AND SEWERS: WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.

B. WATER MAINS SHALL BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE OR SEWER SERVICE CONNECTION WHEN:

i) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;

ii) THE WATER MAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; AND

iii) THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

C. BOTH THE WATER MAIN AND SEWER PIPE SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC 80R16 PIPE WITH AWWA C-900 JOINTS, MEETING THE REQUIREMENTS OF SECTION 656.11 OF THE IEPA'S TITLE 35 SUBTITLE F, WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE, THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED BURSTAGE HEAD BEFORE BACKFILLING.

2. VERTICAL SEPARATION

A. A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS.

B. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 656.11 OF THE IEPA'S TITLE F, SUBTITLE F, AND CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER DRAIN LINE IS AT LEAST TEN (10) FEET WHEN:

i) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR

ii) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.

C. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER SUPPORT, THE SEWER OR DRAIN LINES TO PREVENT SETTling AND BREAKING THE WATER MAIN.

3. WATER MAINS AND SERVICES SHALL BE CONSTRUCTED SO THAT THE MINIMUM DEPTH IS FIVE AND A HALF (5 1/2) FEET MEASURED FROM FINISHED GRADE TO THE TOP OF THE PIPE, UNLESS OTHERWISE SPECIFIED AND/OR APPROVED BY THE REVIEW ENGINEER.

4. ALL WATER MAIN FITTINGS MAY OR MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE WATER MAIN ITSELF FOR BIDDING PURPOSES. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 65 CEMENT LINED CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS, OR TYPE "K" COPPER PIPE WITH SWEATED JOINTS.

5. REFER TO DETAIL SHEET FOR FIRE HYDRANT DETAIL.

6. HYDRANTS SHALL BE INSTALLED NO CLOSER THAN THREE (3) FEET NOR FURTHER THAN EIGHT (8) FEET FROM THE BACK OF CURB OR EDGE OF PAVEMENT TO THE PIPE (6) INCH STEAMER NUT, NO BARRIERS, TREES, BUSHES, WALLS OR OTHER OBSTACLES WHICH MAY HIDE OR IMPEDE THE USE OF A FIRE HYDRANT SHALL BE INSTALLED, MAINTAINED, CONSTRUCTED, OR ENLARGED, WITHIN FORTY-EIGHT (48) INCHES OF A HYDRANT.

7. REFER TO DETAIL SHEET FOR VILLAGE OF WILLOWBROOK STRUCTURE FRAME AND LIDS DETAIL AND SPECIFICATION.

8. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF OR EXTENSIONS TO EXISTING MAINS SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) MG/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) MG/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.

9. REFER TO DETAIL SHEET FOR TRENCH DETAIL.

MATERIAL SPECIFICATIONS

DUCTILE IRON PIPE

- PIPE CLASS THICKNESS, CLASS 52, MINIMUM THICKNESS PER AWWA C-151, OR AS REQUIRED BY AWWA C-150 FOR VARIOUS DEPTHS.

- INTERIOR OF PIPE SHALL BE CEMENT LINED.

- EXTERIOR OF PIPE SHALL HAVE A BITUMINOUS COATING APPROXIMATELY 1 MIL THICK, AS SPECIFIED IN AWWA C-151.

- JOINTS - PUSH-ON OR MECHANICAL, AWWA C-111.

- FITTINGS - DUCTILE IRON, MECHANICAL JOINT, AWWA C-110 AND AWWA C-111.

- MECHANICAL JOINTS SHALL BE RESTRICTED BY MEANS A-1100 1100 OR 1100 90 SERIES BY EBRA FROM BAILEY, INC., OR EQUAL, RESTRAINING SYSTEM.

- POLYETHYLENE ENCASEMENT SHALL BE IN ACCORDANCE WITH AWWA C-108 AND SHALL BE PROVIDED IN ALL CASES.

VALVES

- EPOXY COATED RESILIENT WEDGE WITH NON-RISING STEM GATE VALVES.

- COUNTER-CLOCKWISE TO OPEN, AWWA C-406, CLOW, MUELLER, OR EQUAL.

- FIRE HYDRANT AUXILIARY VALVE SHALL BE OF THE SAME MANUFACTURE AS THE HYDRANT, AND SHALL CONNECT TO THE FIRE HYDRANT WITH A FLANGE.

CONNECTION.

VALVE BOXES

- ALL VALVES SHALL BE INSTALLED IN VALVE BOXES, EXCEPT FOR VALVES TWELVE (12) INCHES AND LARGER AND PRESSURE CONNECTION VALVES.

- TYLER 804-S.

- LID EMBOSSED "WATER"

- VALVE BOXES SHALL BE PROVIDED WITH STABILIZERS.

VALVE VAULTS

- PRECAST REINFORCED CONCRETE - ASTM C-478 WITH TONGUE AND GROOVE JOINTS SEALED WITH GASKETS CONFORMING TO ASTM C-443 OR BITUMINOUS JOINTING MATERIAL.

- SIZE: FOR TWELVE (12) INCH DIAMETER VALVES AND FOR PRESSURE CONNECTIONS, VALVE VAULTS SHALL HAVE A MINIMUM INSIDE DIAMETER OF SIXTY (60) INCHES; FOR PRESSURE CONNECTIONS AND VALVES SIXTEEN (16) INCHES AND LARGER, VALVE VAULTS SHALL HAVE A MINIMUM INSIDE DIAMETER OF SEVENTY-TWO (72) INCHES.

- ADJUSTMENT - MANHOLE CASTINGS SHALL BE ADJUSTED TO FINISH GRADE USING PRECAST CONCRETE ADJUSTING RINGS SET IN MORTAR, WITH A MAXIMUM SIX (6) INCH ADJUSTMENT.

- STEPS - CAST IN PLACE EAST JORDAN IRON WORKS, INC. (E.J.I.W.) NO. 8516 OR MA INDUSTRIES PS-4 STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS, SIXTEEN (16) INCHES ON CENTER.

- PIPE SEALS - PIPE OPENINGS IN MANHOLE WALLS SHALL BE FLEXIBLE, WATER-TIGHT CONNECTIONS, A-LOCK, INTERFACE, PS-10, MCR-N-SEAL, OR EQUAL.

- MANHOLE FRAME AND COVER - E.J.I.W. 1058 OR NEENAH R-1550, COVERS SHALL BE GASKET SEALED AND EMBOSSED "WATER."

FIRE HYDRANTS

- EAST JORDAN 888R OR CLOW MEDALLION DRY BARREL, TYPE WITH BREAKAWAY FLANGE, PRIMED AND PAINTED GLOSS SAFETY GREEN (SAFETY ORANGE OR SAFETY YELLOW WHERE REQUIRED BY THE VILLAGE).

- NOZZLES, TWO (2) AT TWO AND ONE-HALF (1 1/2) INCH, ONE (1) AT FOUR AND ONE-HALF (4 1/2) INCH, WITH THREADS CONFORMING TO NATIONAL STANDARD SPECIFICATIONS.

- VALVE SIZE, FIVE AND ONE-QUARTER (1 1/4) INCH, COUNTER-CLOCKWISE TO OPEN.

- FIRE HYDRANT SHALL BE A FLANGE CONNECTION.

CORPORATION STOPS - MUELLER H-10000 OR FORD F-400, ONE AND ONE-HALF (1 1/2) INCH MINIMUM.

SERVICE PIPE - SERVICES TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE COPPER TUBE, TYPE K. MINIMUM SERVICE DIAMETER SHALL BE ONE AND ONE-HALF (1 1/2) INCHES DIAMETER UNLESS OTHERWISE APPROVED BY THE BUILDING COMMISSIONER. SERVICES LARGER THAN TWO (2) INCHES IN DIAMETER SHALL BE DUCTILE IRON.

CURB STOP - COPPER SERVICE: MUELLER H-15154 OR FORD B44-444.

CURB BOX - COPPER SERVICE: MUELLER H-10302 OR H-10304 OR FORD EA 26040.

CASING PIPES - STEEL PIPE - ASTM A-120, THREE-EIGHTHS (3/8) INCH MINIMUM THICKNESS.

MANHOLE CASTINGS/COVERS - E.J.I.W. 1058 OR NEENAH R-1550, COVERS SHALL BE GASKET SEALED AND EMBOSSED "WATER."

INSTALLATION

BACKFILLING OF THE TRENCH SHALL BE ACCOMPLISHED BY CAREFUL REPLACEMENT OF THE EXCAVATED MATERIAL. ANY PIPE INSTALLED UNDER OR WITHIN TWO (2) FEET OF A PAVEMENT EDGE, DRIVEWAY (WHEN DRIVEWAY LOCATION IS KNOWN), OR CURB AND GUTTER SHALL BE BACKFILLED TO THE TOP OF THE TRENCH WITH COMPACTED CA-6 MATERIAL.

COMPACTION SHALL MEET THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS, AND SHALL BE VERIFIED BY AN INDEPENDENT MATERIAL TESTING FIRM. ALL COSTS FOR COMPACTION AND TESTING SHALL BE PAID FOR BY THE DEVELOPER OR CONTRACTOR. RESULTS SHOULD BE COPIED TO THE VILLAGE ENGINEER.

POLYETHYLENE WRAPPING OF ALL WATER MAIN IS REQUIRED IN CONJUNCTION WITH AWWA C-108.

ALL CONNECTIONS TO THE VILLAGE WATER DISTRIBUTION SYSTEM SHALL BE MADE UNDER FULL WATER SERVICE PRESSURE UNLESS OTHERWISE APPROVED BY THE VILLAGE DEPARTMENT OF PUBLIC WORKS.

THE VILLAGE SHALL NOT BE RESPONSIBLE FOR THE CONDITION OF EXISTING VALVES AT THE CONNECTION TO AN EXISTING MAIN, FAULTY OR DAMAGED VALVES AT THE CONNECTION TO AN EXISTING MAIN SHALL BE REPLACED BY THE DEVELOPER AT THE DEVELOPER'S EXPENSE.

PRIOR TO BEGINNING THE SANITARY SEWER INSTALLATION, THE VILLAGE ENGINEER SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE OF THE INTENDED TIME OF STARTING WORK.

TELEVISION

ALL SANITARY SEWER SHALL BE TELEVISION AFTER INSTALLATION. A COPY OF THE TAPES SHALL BE PROVIDED TO THE VILLAGE OF WILLOWBROOK FOR APPROVAL.

SANITARY SEWERS

GENERAL

ALL SANITARY SEWER IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL INSTALLATION AND TESTING REQUIREMENTS OF THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRDGC) MANUAL OF PROCEDURES FOR THE ADMINISTRATION OF THE SEWER PERMIT ORDINANCE, AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, UNLESS OTHERWISE MODIFIED IN THIS SECTION.

SPECIFICATION REFERENCES MADE HEREIN FOR MANUFACTURED ITEMS, SUCH AS PIPE, FITTINGS, AND MANHOLES REFER TO DESIGNATIONS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), AMERICAN WATER WORKS ASSOCIATION (AWWA), OR OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).

MATERIAL SPECIFICATIONS

ALL SANITARY SEWER SYSTEM ELEMENTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS, SUBJECT TO VILLAGE APPROVAL:

SEWER AND SERVICE CONNECTION PIPE

- POLYVINYL CHLORIDE (PVC) PIPE - ASTM D-2241, 80R 20 PRESSURE PIPE, MINIMUM FOR SIX (6) INCH THROUGH FIFTEEN (15) INCH.

- REINFORCED CONCRETE PIPE - CIRCULAR REINFORCEMENT, MINIMUM CLASS 3, ASTM C-78.

- DUCTILE IRON PIPE - ANSI A21.51 (AWWA C-151), MINIMUM SPECIAL THICKNESS CLASS 62 PER ANSI A21.51 (AWWA C-150), CEMENT LINED.

- WITH THE EXCEPTION OF REINFORCED CONCRETE PIPE AND DUCTILE IRON PIPE, SEWER PIPE MATERIALS FOR SEWER MAINS EIGHTEEN (18) INCH AND LARGER SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE VILLAGE ENGINEER.

SEWER AND SERVICE CONNECTION PIPE JOINTS

- PVC PIPE - FLEXIBLE ELASTOMERIC SEAL JOINTS, ASTM D-3130, PRESSURE JOINT FOR ASTM D-2241 PIPE.

- REINFORCED CONCRETE PIPE - CONTINUOUS O-RING GASKETS, ASTM C-443 - DUCTILE IRON PIPE - RUBBER GASKET JOINTS, ANSI A21.11 (AWWA C-111).

- WITH THE EXCEPTION OF REINFORCED CONCRETE PIPE AND DUCTILE IRON PIPE, SEWER PIPE MATERIALS FOR SEWER MAINS EIGHTEEN (18) INCH AND LARGER SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE VILLAGE ENGINEER. TEST RESULTS, HISTORY OF USAGE IN THE CHICAGO AREA, AND SUPPORTING DATA SHALL BE PROVIDED TO THE VILLAGE ENGINEER FOR REVIEW.

- PRECAST REINFORCED CONCRETE - ASTM C-478 WITH TONGUE AND GROOVE JOINTS SEALED WITH GASKETS CONFORMING TO ASTM C-443 OR BITUMINOUS JOINTING MATERIAL.

- SIZE TO ACCOMMODATE THE INTERSECTING SEWER PIPES, THE FOLLOWING ARE MINIMUM DESIGN SIZES, UNLESS OTHERWISE APPROVED BY THE VILLAGE:

A. FOR SEWERS TWENTY-FOUR (24) INCHES IN DIAMETER OR LESS, MANHOLE SHALL HAVE A MINIMUM INSIDE DIAMETER OF FORTY-EIGHT (48) INCHES.

B. FOR SEWER TWENTY-SEVEN (27) TO FORTY-TWO (42) INCHES IN DIAMETER, MANHOLE SHALL HAVE MINIMUM INSIDE DIAMETER OF SIXTY (60) INCHES.

C. FOR SEWER GREATER THAN FORTY-TWO (42) INCHES IN DIAMETER, MANHOLE SHALL HAVE AN OFFSET RISER PIPE WITH A MINIMUM INSIDE DIAMETER OF FORTY-EIGHT (48) INCHES.

ADJUSTMENT - MANHOLE CASTINGS SHALL BE ADJUSTED TO FINISHED GRADE USING PRECAST CONCRETE ADJUSTING RINGS SET IN MORTAR, WITH A MAXIMUM SIX (6) INCH ADJUSTMENT.

PIPE SEALS - ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT PIPE TO MANHOLE SLEEVES OR SEALS, PER ASTM C-923.

CHIMNEY SEALS - CHIMNEY SEALS SHALL BE INTERNAL AND OF THE FLEXIBLE RUBBER MANUFACTURED SEAL, AS MANUFACTURED BY GRETEK, OR APPROVED EQUAL.

TOP SECTION - TOP SECTIONS SHALL BE ECCENTRIC CONES AND THE TOP CONE SHALL BE OF THE TYPE DESIGNED TO ACCEPT AN INTERNAL CHIMNEY SEAL.

BOTTOM SECTIONS - ALL BOTTOM SECTIONS SHALL BE MONOLITHICALLY PRECAST.

STEPS - CAST IN PLACE, E.J.I.W. NO. 8516 OR MA INDUSTRIES PS-4 STEEL REINFORCED PLASTIC PS-4 STEPS CONFORMING TO O.S.H.A. STANDARDS, SIXTEEN (16) INCH ON CENTER.

CASINGS/COVERS - E.J.I.W. 1058 OR NEENAH R-1550 WITH MACHINED BEARING SURFACES AND SELF SEALING TYPE A HEAVY DUTY LID, EMBOSSED "SANITARY" AND "VILLAGE OF WILLOWBROOK." COVERS SHALL BE GASKET SEALED WITH CONCEALED PICK HOLES.

PIPE BEDDING AND COVER - PIPE BEDDING AND COVER MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE IDOT GRADATION CLASSIFICATION FOR CA-11 OR CA-13.

INSTALLATION

SEWER SYSTEM DESIGN AND CONSTRUCTION SHALL IN ALL RESPECTS BE IN ACCORDANCE WITH THE REGULATIONS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, DIVISION OF WATER POLLUTION CONTROL (IEPA-DWPC), AND THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRDGC). NO CONSTRUCTION SHALL COMMENCE UNTIL A COPY OF A PERMIT FROM THE MWRDGC AND IEPA-DWPC IS FILED WITH THE VILLAGE ENGINEER.

THE INSTALLATION OF SANITARY SEWER AND APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF THIS SECTION AND THE FOLLOWING:

- PVC PIPE AND FITTINGS - ASTM D-2241

- REINFORCED CONCRETE PIPE - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

- DUCTILE IRON PIPE AND FITTINGS - AWWA C-900.

PRIOR TO BEGINNING THE SANITARY SEWER INSTALLATION, THE VILLAGE ENGINEER SHALL BE GIVEN FORTY-EIGHT (48) HOURS NOTICE OF THE INTENDED TIME OF STARTING WORK.

TELEVISION

ALL SANITARY SEWER SHALL BE TELEVISION AFTER INSTALLATION. A COPY OF THE TAPES SHALL BE PROVIDED TO THE VILLAGE OF WILLOWBROOK FOR APPROVAL.

STORM SEWER

GENERAL

ALL DEVELOPMENTS SHALL INCLUDE PROVISIONS FOR THE CONSTRUCTION OF STORM SEWERS AND APPURTENANCES DESIGNED IN ACCORDANCE WITH THIS SECTION.

ALL STORM SEWER IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MATERIAL INSTALLATION AND TESTING REQUIREMENTS OF THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRDGC) MANUAL OF PROCEDURES FOR THE ADMINISTRATION OF THE SEWER PERMIT ORDINANCE, THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION INCLUDING SUPPLEMENTS, UNLESS OTHERWISE MODIFIED IN THIS SECTION.

SPECIFICATION REFERENCES MADE HEREIN FOR MANUFACTURED ITEMS, SUCH AS PIPE, FITTINGS, AND MATERIALS (ASTM), AMERICAN WATER WORKS ASSOCIATION (AWWA), OR OF THE AMERICAN NATIONAL STANDARD INSTITUTE (ANSI).

MATERIAL SPECIFICATIONS

ALL SANITARY SEWER SYSTEM ELEMENTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS, SUBJECT TO VILLAGE APPROVAL:

SEWER PIPE

* REINFORCED CONCRETE PIPE (12" DIAMETER AND LARGER), CIRCULAR OR ELLIPTICAL REINFORCEMENT, MINIMUM CLASS IV, WALL 8, ASTM C-78.

* NON-REINFORCED CONCRETE SEWER PIPE MINIMUM CLASS 3, ASTM C-14.

* REINFORCED CONCRETE ELLIPTICAL PIPE - MINIMUM CLASS HE-41 OR WE-111, ASTM C-507.

* REINFORCED CONCRETE ARCH CULVERT PIPE - DOUBLE LINE REINFORCEMENT MINIMUM CLASS 3, ASTM C-607.

* POLYVINYL CHLORIDE (PVC) PIPE - ASTM D-2241, 80R 20 PRESSURE PIPE, MINIMUM (NOT ALLOWED UNDERNEATH ROADWAYS OR WITHIN ROADWAY RIGHT-OF-WAYS). USE IS SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER.

* FLEXIBLE PIPE MATERIALS (I.E., HDPE, A-2000, ETC.) SHALL NOT BE ALLOWED UNDERNEATH ROADWAYS OR WITHIN ROADWAY RIGHT-OF-WAYS. USE IS SUBJECT TO REVIEW AND APPROVAL BY THE VILLAGE ENGINEER.

SEWER PIPE JOINTS

* REINFORCED CONCRETE PIPE - CONTINUOUS O-RING GASKETS, OR CONFORMING TO ASTM C-443.

* REINFORCED ARCH OR ELLIPTICAL PIPE - ASTM C-607.

* PVC PIPE - FLEXIBLE ELASTOMERIC SEAL JOINTS, ASTM D-3130 PRESSURE JOINT.

CASING PIPES - ASTM A-120, THREE-EIGHTHS (3/8) INCH MINIMUM THICKNESS.

ADJUSTMENT - MANHOLE AND CATCH BASIN CASTINGS SHALL BE ADJUSTED TO FINISHED GRADE USING PRECAST CONCRETE ADJUSTING RINGS OR RUBBER COMPOSITE ADJUSTING RINGS CONFORMING TO IDOT STANDARD SPECIFICATIONS, WITH A MAXIMUM SIX (6) INCH ADJUSTMENT.

PIPE SEALS - ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST, AND SHALL BE SEALED WITH PORTLAND CEMENT MORTAR, O-RING GASKETS, OR MASTIC MATERIAL.

BOTTOM SECTIONS - ALL BOTTOM SECTIONS SHALL BE MONOLITHICALLY PRECAST.

TOP SECTIONS - TOP SECTIONS SHALL BE ECCENTRIC CONES, WHERE FLAT SLAB TOPS ARE NECESSARY, THEY SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO IDOT STANDARD 622951.

STEPS - CAST IN PLACE, E.J.I.W. NO. 8516, OR MA INDUSTRIES PS-4 STEEL REINFORCED PLASTIC CONFORMING TO O.S.H.A. STANDARDS, SIXTEEN (16) INCHES ON CENTER.

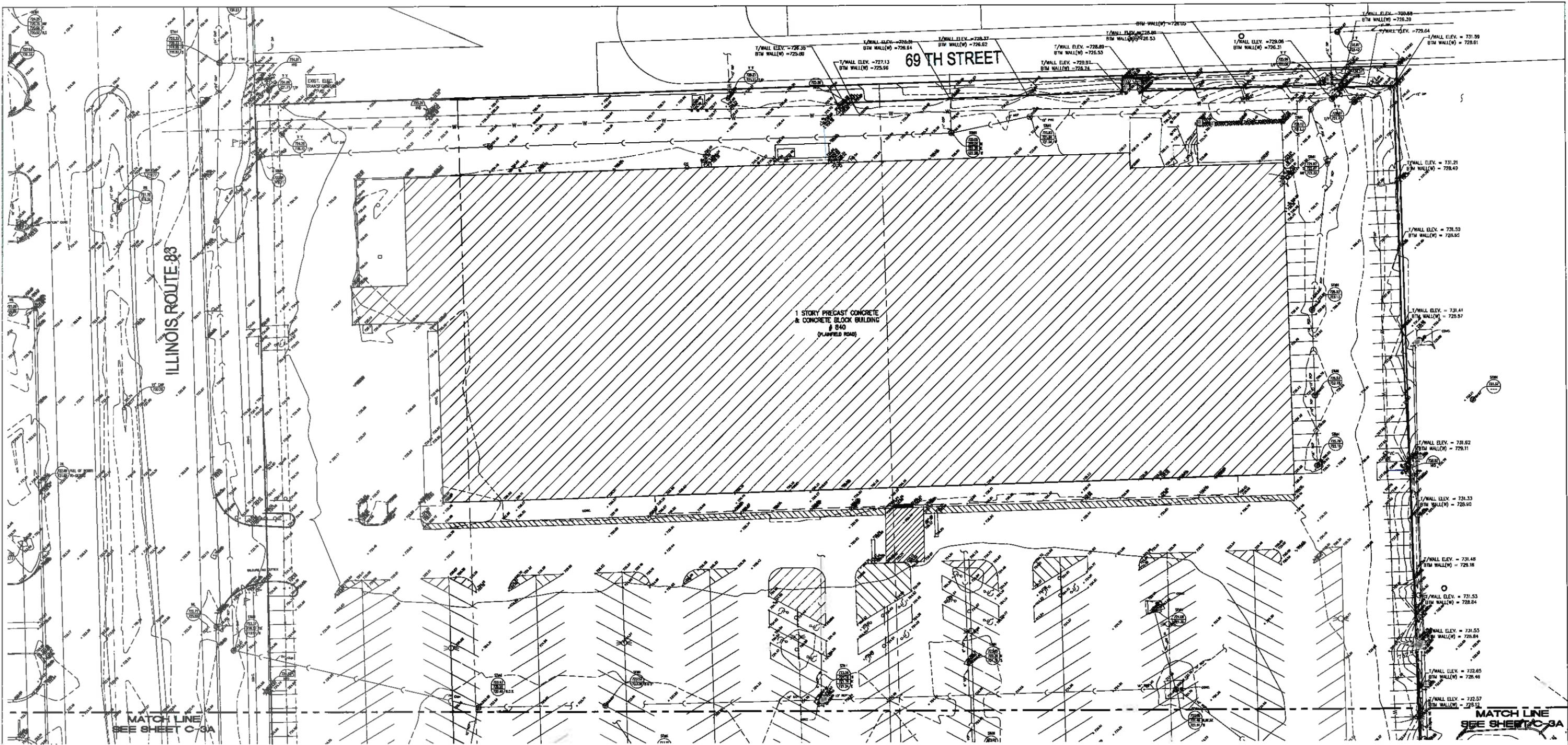
CASINGS/COVERS - E.J.I.W. 1058 OR NEENAH R-1550 WITH MACHINED BEARING SURFACES AND SELF SEALING TYPE A HEAVY DUTY COVER.

* CURB AND GUTTER INLET - E.J.I.W. NO. 7210 WITH TYPE M1 GRATE, NEENAH R-281 A.

* ROLLED CURB AND GUTTER INLET - E.J.I.W. NO. 7526, NEENAH R-3501 P.

* DEPRESSED CURB AND GUTTER - E.J.I.W. NO. 7210 WITH TYPE M3 GRATE.

* YARD INLET - E.J.I.W. NO. 1020 WITH TYPE M2 FLAT GRATE, NEENAH R-4340 B.



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:

HANNAH CONSULTING LTD
700 SPRINGER DEL
LOMBARD, ILLINOIS
PHONE: (630) 620-4272

NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

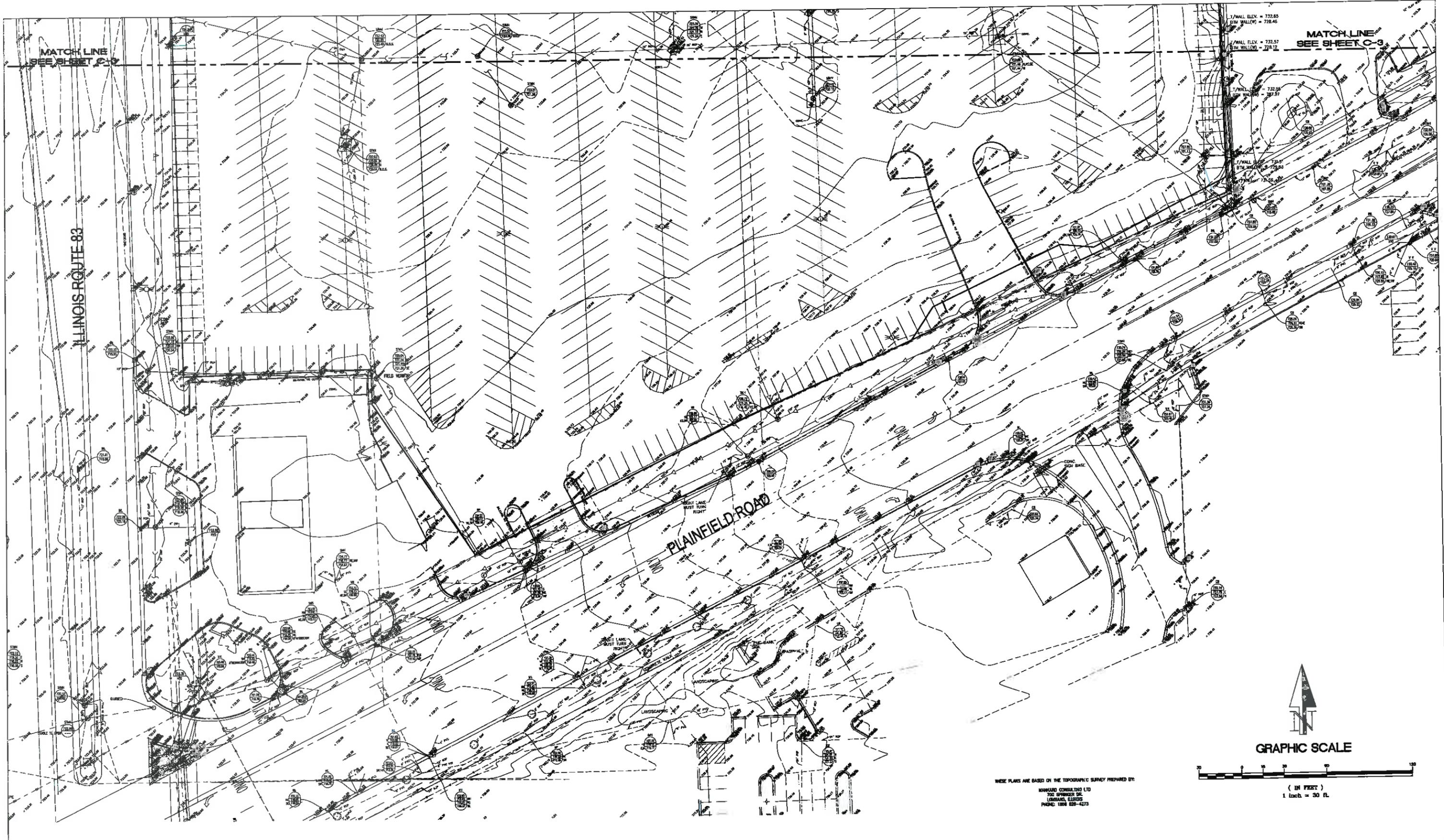
TOPOGRAPHIC AND UTILITY SURVEY

REVISIONS:		
DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER MILLAGE COMMENTS DATED 12-17-14
09-16-15	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.				
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-3
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

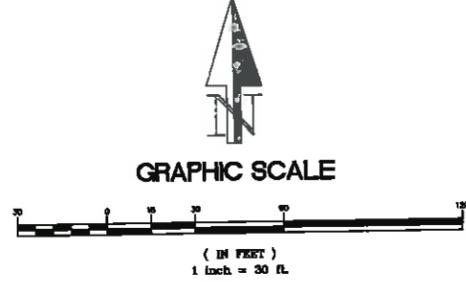
GEPOOL ENGINEERING, INC.
125355 LEMONT ROAD
LEMONT, ILLINOIS 60439
PHONE: (630) 739-0707
FAX: (630) 739-6080
EMAIL: GEPOOL@COMCAST.NET

PREPARED FOR:
PETE'S FRESH MARKET
4545 S. PULASKI ROAD
CHICAGO, ILLINOIS 60632



MATCH LINE
SEE SHEET C-3

MATCH LINE
SEE SHEET C-2



THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:
 MARKLAND CONSULTING LTD
 700 SPRINGFIELD
 OAKLAND, ILLINOIS
 PHONE: 1800 629-4273

GEPOOL
 ENGINEERING, INC.
 125355 LEMONT ROAD
 LEMONT, ILLINOIS 60439
 PHONE: (630) 738-0707
 FAX: (630) 738-8080
 EMAIL: GEPOOL@COMCAST.NET

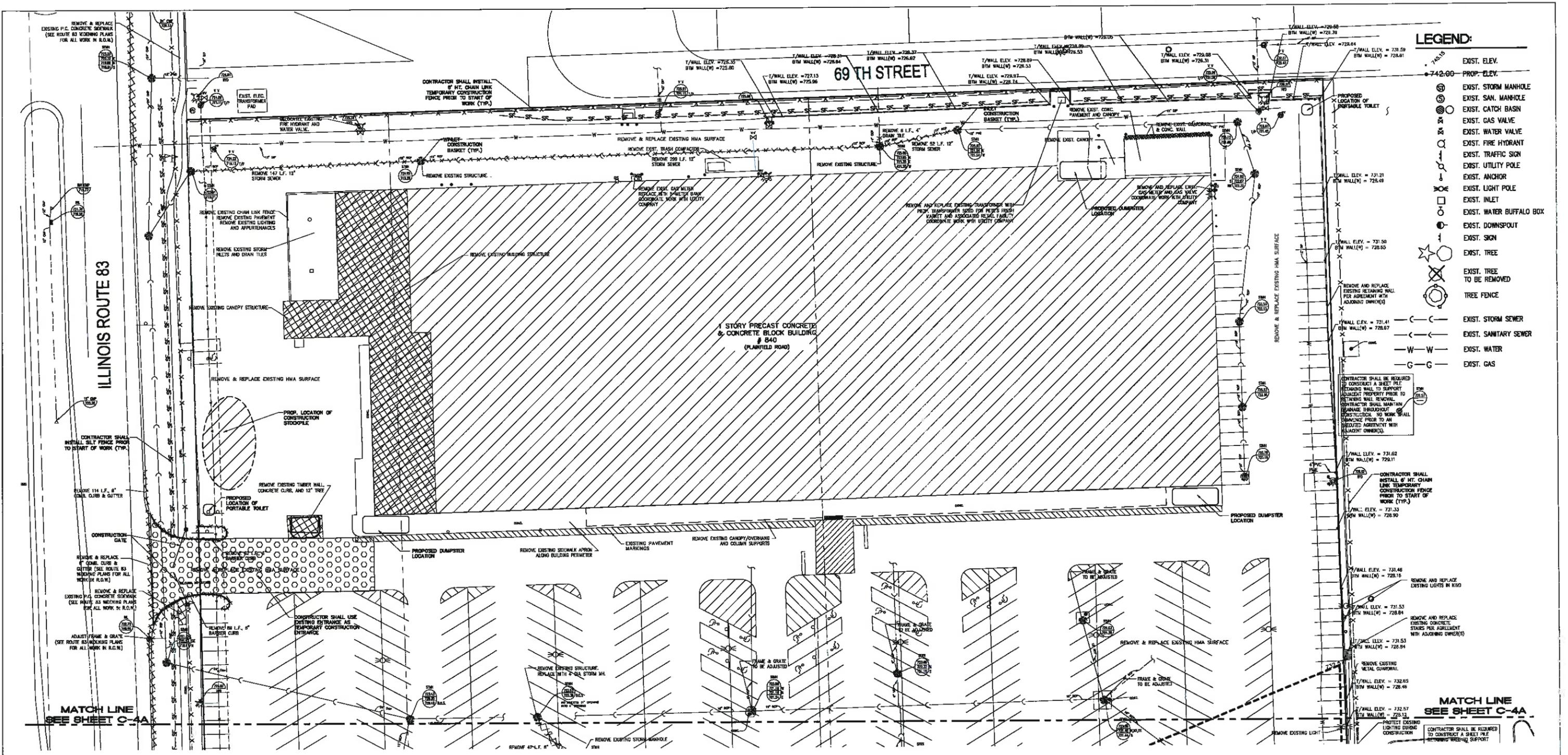
PREPARED FOR:
PETE'S FRESH MARKET
 4343 S. PULASKI ROAD
 CHICAGO, ILLINOIS 60638

NOTE:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

TOPOGRAPHIC AND UTILITY SURVEY

REVISIONS:		
DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14
06-16-2015	2	PER CLIENT REQUESTS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.				
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-3A
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	



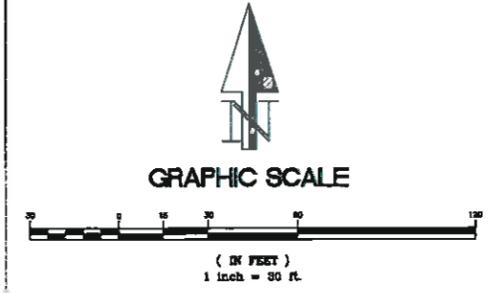
LEGEND:

—	EXIST. ELEV.
—	PROP. ELEV.
⊙	EXIST. STORM MANHOLE
⊙	EXIST. SAN. MANHOLE
⊙	EXIST. CATCH BASIN
⊙	EXIST. GAS VALVE
⊙	EXIST. WATER VALVE
⊙	EXIST. FIRE HYDRANT
⊙	EXIST. TRAFFIC SIGN
⊙	EXIST. UTILITY POLE
⊙	EXIST. ANCHOR
⊙	EXIST. LIGHT POLE
⊙	EXIST. INLET
⊙	EXIST. WATER BUFFALO BOX
⊙	EXIST. DOWNSPOUT
⊙	EXIST. SIGN
⊙	EXIST. TREE
⊙	EXIST. TREE TO BE REMOVED
⊙	TREE FENCE
—	EXIST. STORM SEWER
—	EXIST. SANITARY SEWER
—	EXIST. WATER
—	EXIST. GAS

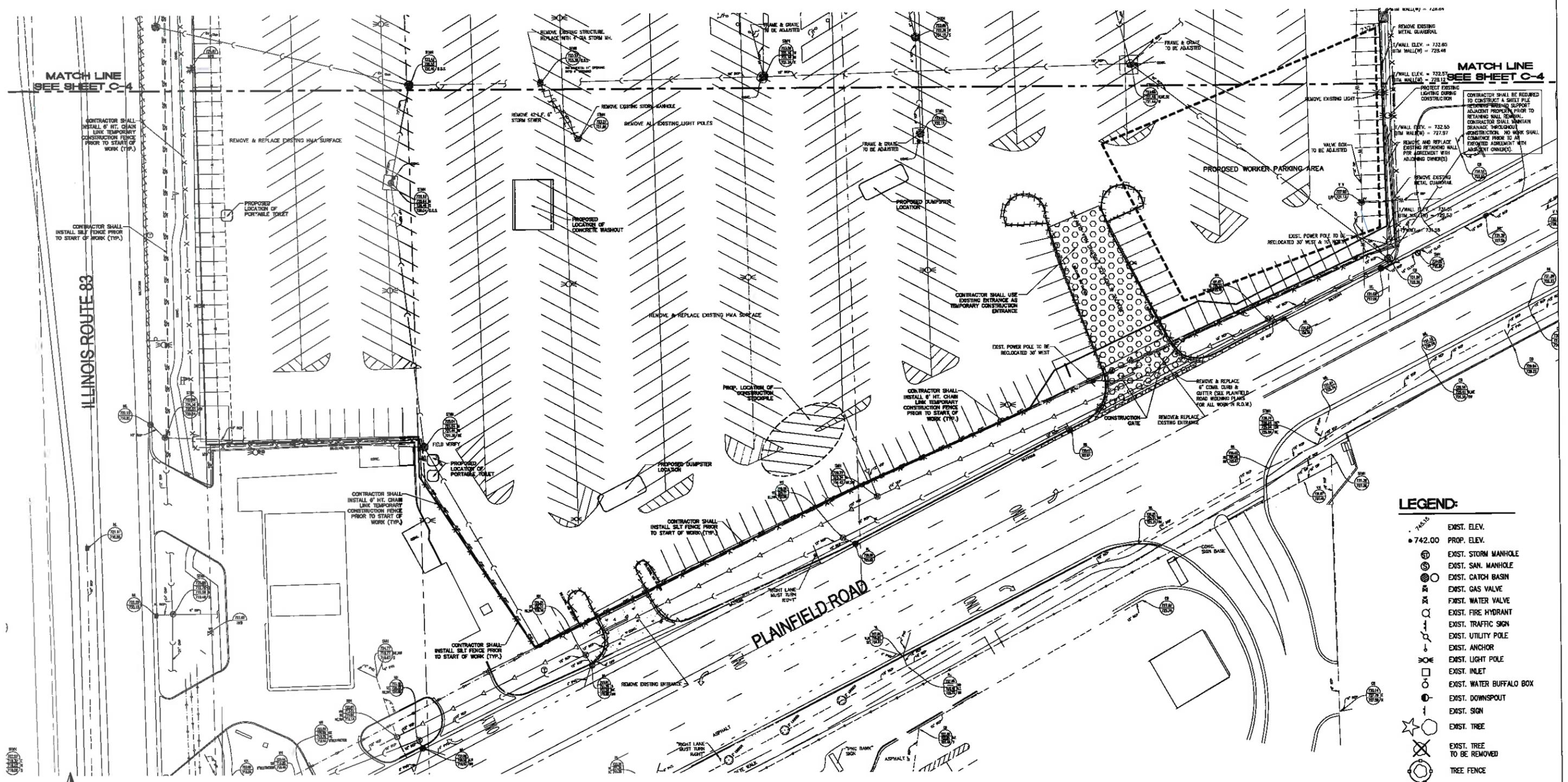
- DEMOLITION NOTES**
1. COORDINATE WITH PROJECT MANAGER FOR THE PLACEMENT OF MATERIAL STOCKPILES. ALL MATERIAL ARE TO BE STOCKPILED SEPARATELY FOR USE IN PREPARING THE BUILDING PAD AND PAVEMENT SUB-BASE.
 2. ALL EXISTING UTILITIES ARE TO BE REMOVED WHERE INDICATED.
 3. CONTRACTOR IS TO TAKE CARE IN LIMITING MATERIALS FROM ENTERING THE EXISTING STORM SEWER AND SANITARY SEWERS.
 4. MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
 5. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION INCLUDING, BUT NOT LIMITED TO CITY AND COMED.
 6. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING AND SHALL INFORM OWNER/ENGINEER OF ANY DISCREPANCIES.
 7. CONTRACTOR TO CONTACT OWNER/ENGINEER TO DISCUSS ANY QUESTIONS OR DISCREPANCIES FOUND ON SITE PRIOR TO ANY CONSTRUCTION. EXISTING UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER IMMEDIATELY IN ORDER TO MAKE A DECISION. PROVIDE ITEMIZED FEE FOR UTILITY REMOVAL (LINEAL FOOT) IN BID.
 8. CONTRACTOR SHALL REMOVE ALL ABOVE GROUND STRUCTURES TO GRADE.
 9. ALL CONCRETE AND ASPHALT TO BE PULVERIZED TO 3" MAXIMUM PIECES.
 10. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE/MORTAR PLUGS.
 11. ALL WATER SERVICES SHALL BE REMOVED AND CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
 12. ALL SITE MATERIALS TO BE REMOVED MUST BE IMMEDIATELY HAULLED FROM THE SITE.

LEGEND:

⊗	ITEM TO BE REMOVED
---	--------------------



<p>125355 LEMONT ROAD LEMONT, ILLINOIS 60439 PHONE: (630) 739-0707 FAX: (630) 739-6080 EMAIL: GEPOOL@COMCAST.NET</p>	<p>PREPARED FOR:</p> <p>PETE'S FRESH MARKET</p> <p>4343 S. PULASKI ROAD CHICAGO, ILLINOIS 60638</p>	<p>NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.</p>	<p>DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN</p>	<p>REVISIONS:</p> <table border="1"> <tr><th>DATE</th><th>NO.</th><th>DESCRIPTION</th></tr> <tr><td>03-17-2015</td><td>1</td><td>PER VILLAGE COMMENTS DATED 12-17-14</td></tr> <tr><td>03-16-2015</td><td>2</td><td>PER CLIENT REQUEST</td></tr> </table>	DATE	NO.	DESCRIPTION	03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14	03-16-2015	2	PER CLIENT REQUEST	<p>SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.</p> <p>840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</p>	<table border="1"> <tr> <td>DRAWN: K.B.</td> <td>DATE: 05-30-14</td> <td>CHECKED: A.R.G.</td> <td>DATE:</td> <td>SHEET:</td> </tr> <tr> <td>ENG PROJ #14-04</td> <td>SURV PROJ #:</td> <td>FIELD BOOK:</td> <td>DATE:</td> <td>C-4</td> </tr> </table>	DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET:	ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	C-4
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ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	C-4																					



MATCH LINE
SEE SHEET C-4

MATCH LINE
SEE SHEET C-4

ILLINOIS ROUTE 83

PLAINFIELD ROAD

LEGEND:

- 742.00 EXIST. ELEV.
- 742.00 PROP. ELEV.
- SM EXIST. STORM MANHOLE
- SS EXIST. SAN. MANHOLE
- CB EXIST. CATCH BASIN
- GV EXIST. GAS VALVE
- WV EXIST. WATER VALVE
- FD EXIST. FIRE HYDRANT
- TS EXIST. TRAFFIC SIGN
- UP EXIST. UTILITY POLE
- AN EXIST. ANCHOR
- LP EXIST. LIGHT POLE
- IN EXIST. INLET
- WB EXIST. WATER BUFFALO BOX
- DS EXIST. DOWNSPOUT
- SG EXIST. SIGN
- TR EXIST. TREE
- TRX EXIST. TREE TO BE REMOVED
- TF TREE FENCE
- SS-SS EXIST. STORM SEWER
- SS-SAN EXIST. SANITARY SEWER
- W-W EXIST. WATER
- G-G EXIST. GAS

- LEGEND:**
- [Hatched Box] ITEM TO BE REMOVED

DEMOLITION NOTES

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GRAPHIC SCALE



GEPOOL ENGINEERING, INC.
125355 LEMONT ROAD
LEMONT, ILLINOIS 60439
PHONE: (630) 739-0707
FAX: (630) 739-6080
EMAIL: GEPOOL@COMCAST.NET

PREPARED FOR:
PETE'S FRESH MARKET
4343 S. PELASKE ROAD
CHICAGO, ILLINOIS 60638

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DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN

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09-16-2015	2	PER CLIENT REVISIONS

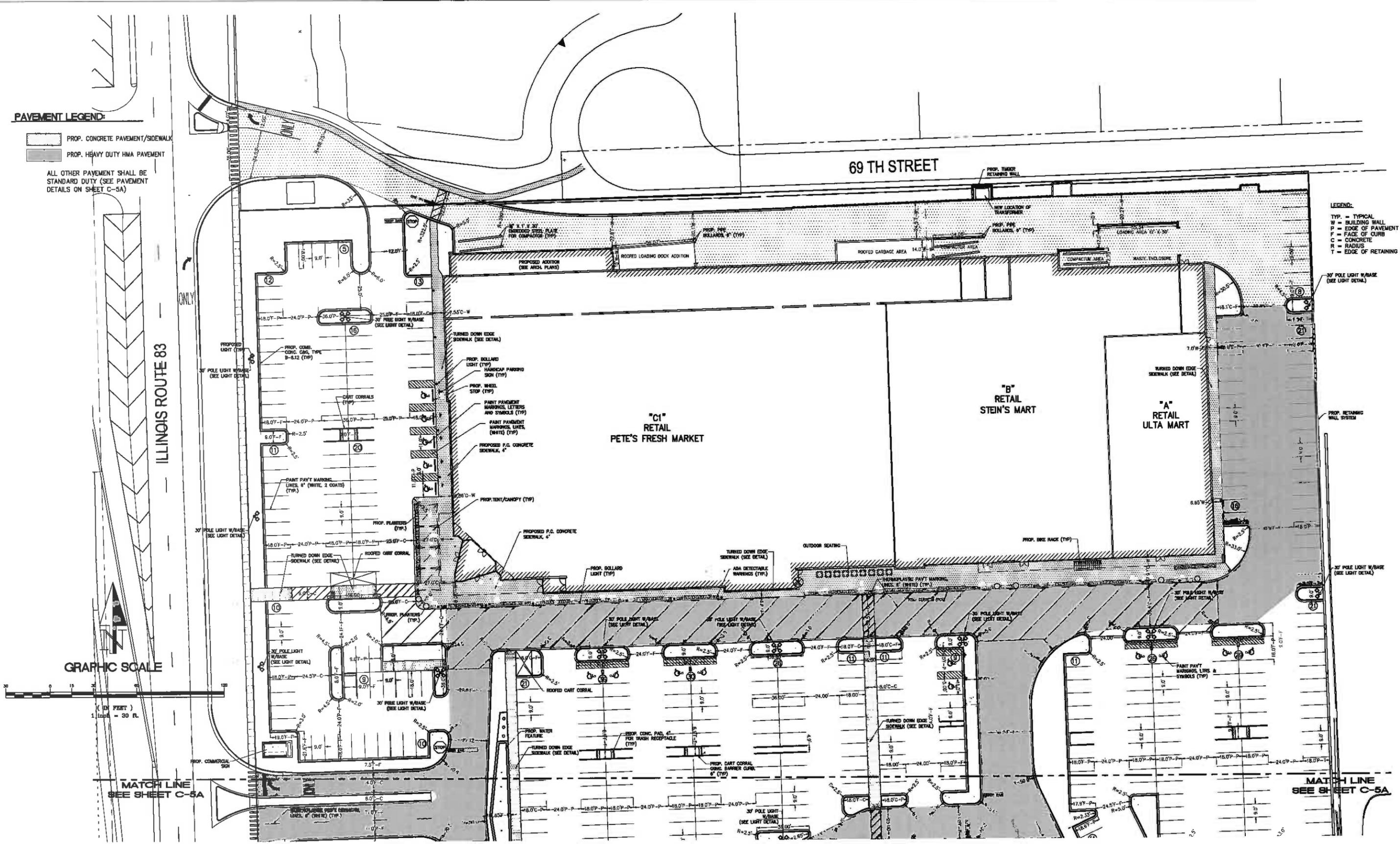
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840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:
			SHEET: C-4A

PAVEMENT LEGEND:

-  PROP. CONCRETE PAVEMENT/SIDEWALK
-  PROP. HEAVY DUTY HMA PAVEMENT

ALL OTHER PAVEMENT SHALL BE STANDARD DUTY (SEE PAVEMENT DETAILS ON SHEET C-5A)

- LEGEND:**
- TYP. = TYPICAL
 - W = BUILDING WALL
 - P = FACE OF PAVEMENT
 - F = FACE OF CURB
 - C = CONCRETE
 - R = RADIUS
 - T = EDGE OF RETAINING WALL



MATCH LINE SEE SHEET C-5A

MATCH LINE SEE SHEET C-5A

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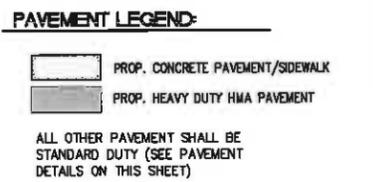
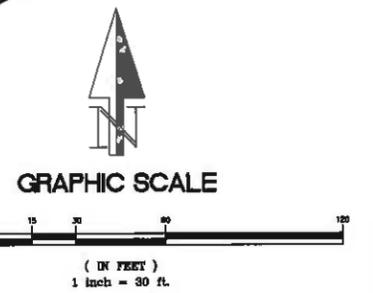
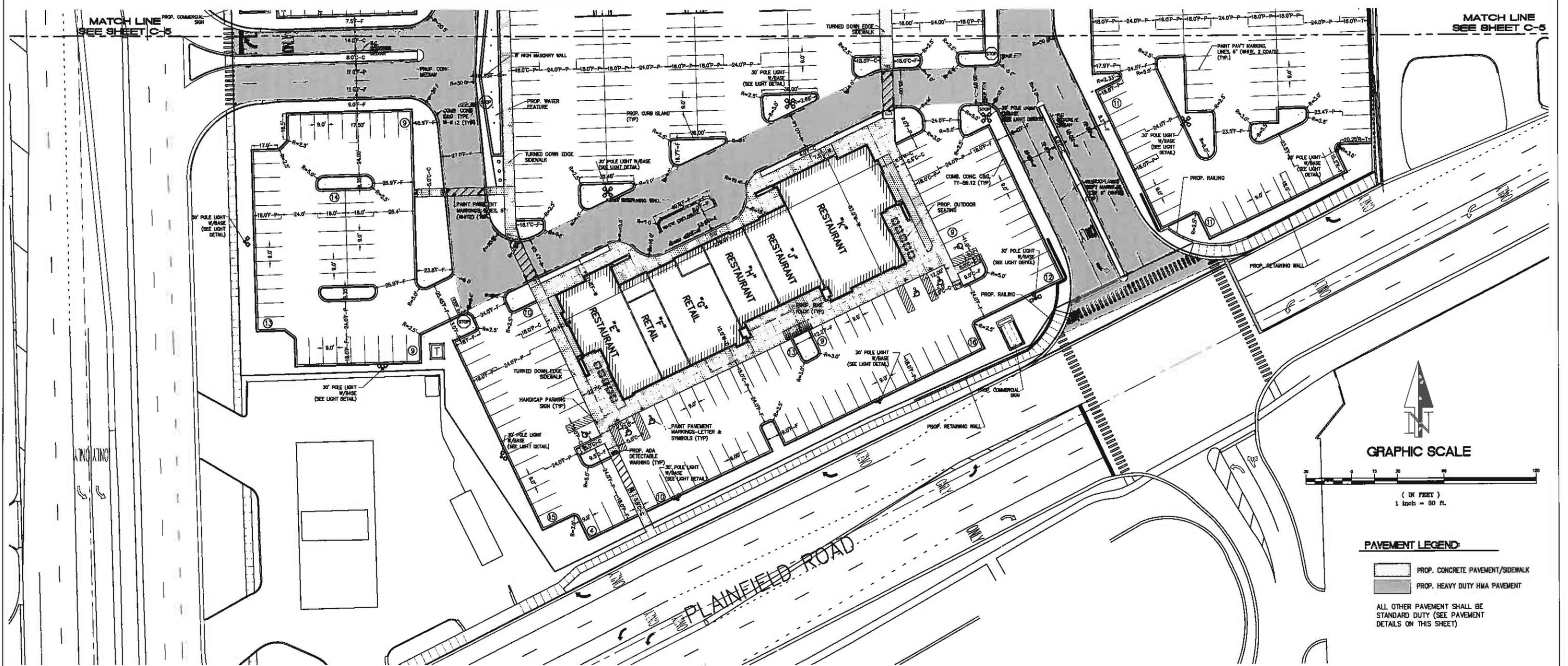
GEOMETRIC PLAN

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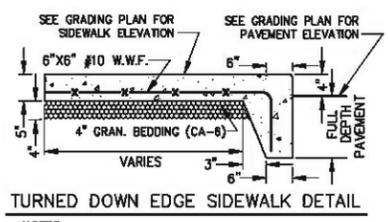
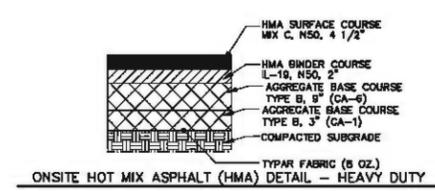
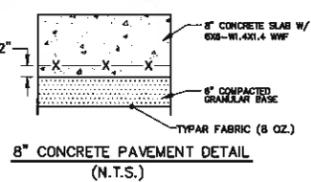
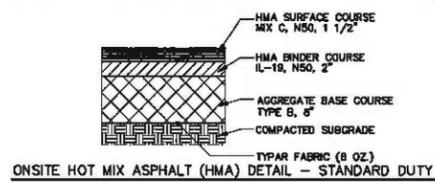
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840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-5
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

MATCH LINE
SEE SHEET C-5

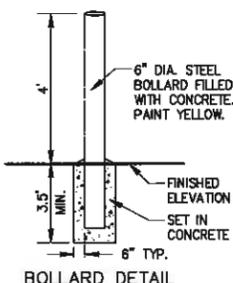
MATCH LINE
SEE SHEET C-5



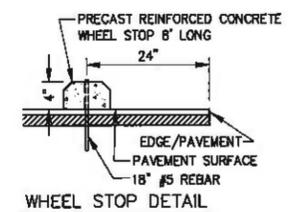
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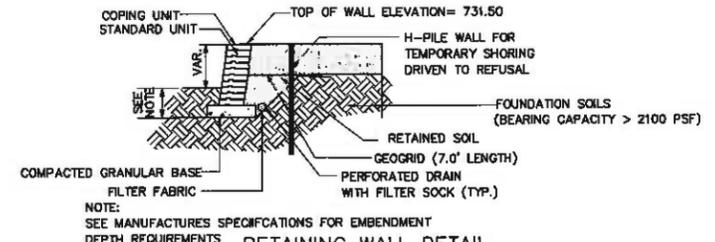
NOTES:
 1. PROVIDE CONTROL JOINTS AT 5' O.C.
 2. PROVIDE EXPANSION JOINTS AT 50' O.C.



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

GEPOOL ENGINEERING, INC.
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PREPARED FOR:
PETE'S FRESH MARKET

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 CHICAGO, ILLINOIS 60636

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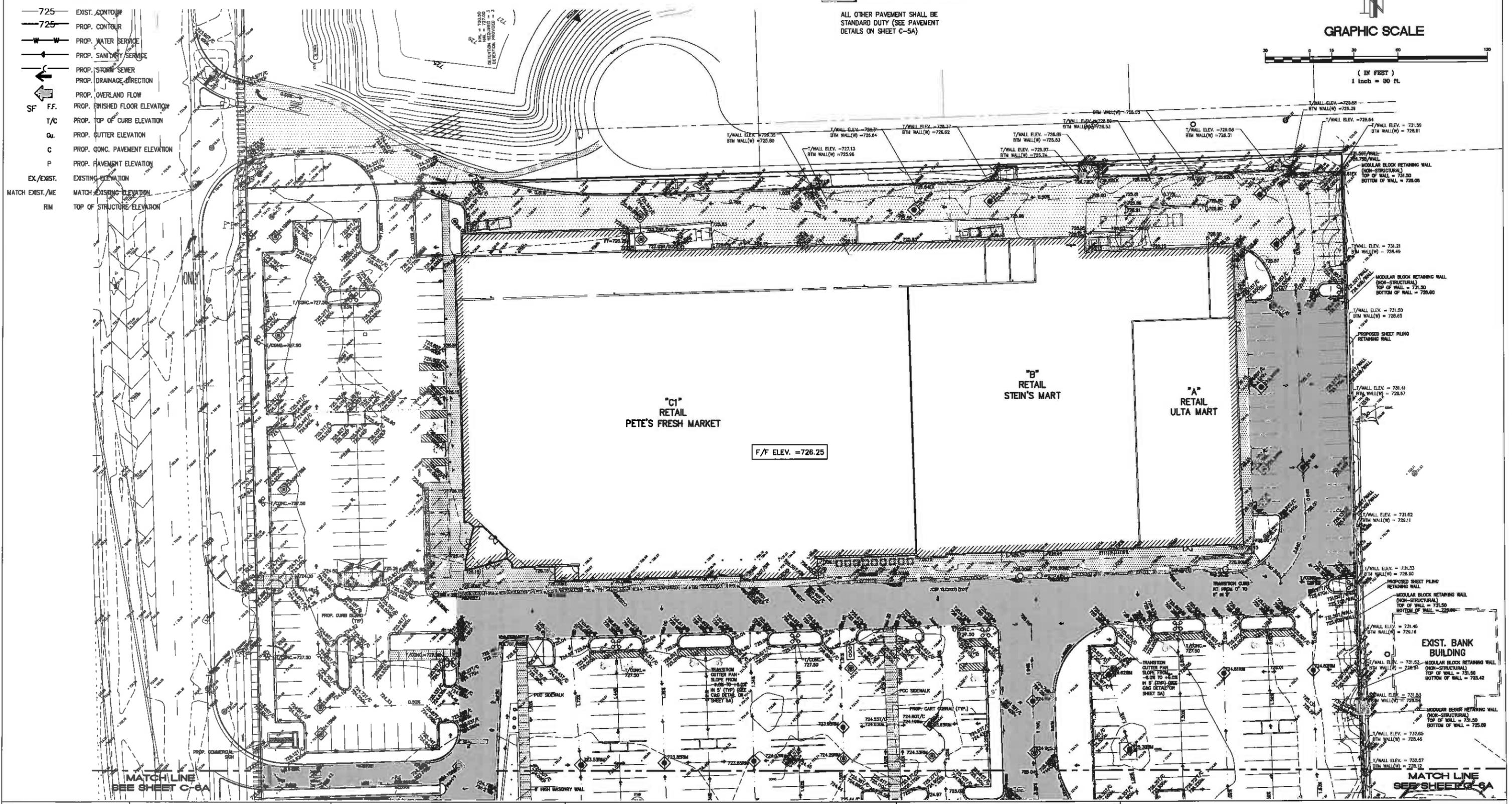
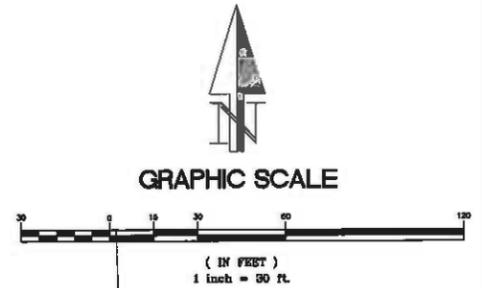
LEGEND:

- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- EXIST. WATER MAIN
- 725 EXIST. CONTOUR
- 725 PROP. CONTOUR
- W—W PROP. WATER SERVICE
- S—S PROP. SANITARY SERVICE
- S—S PROP. STORM SEWER
- S—S PROP. DRAINAGE DIRECTION
- S—S PROP. OVERLAND FLOW
- SF F.F. PROP. FINISHED FLOOR ELEVATION
- T/C PROP. TOP OF CURB ELEVATION
- Qu. PROP. CUTTER ELEVATION
- C PROP. CONC. PAVEMENT ELEVATION
- P PROP. PAVEMENT ELEVATION
- EX/EXIST. EXISTING ELEVATION
- MATCH EXIST./ME MATCH EXISTING ELEVATION
- RIM TOP OF STRUCTURE ELEVATION

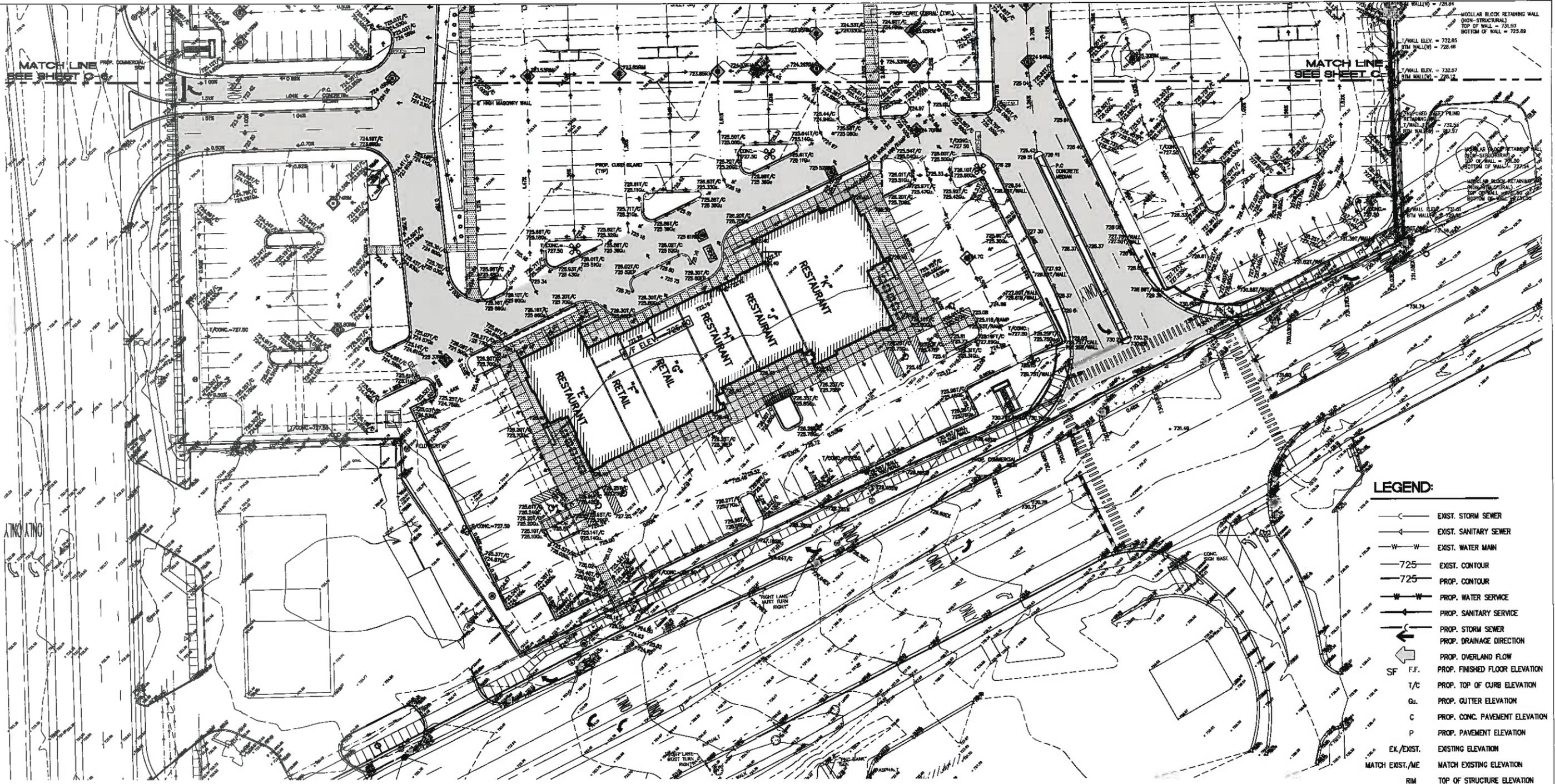
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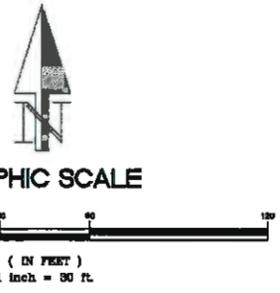
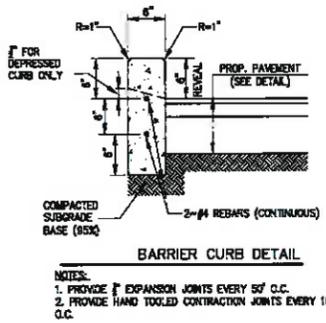
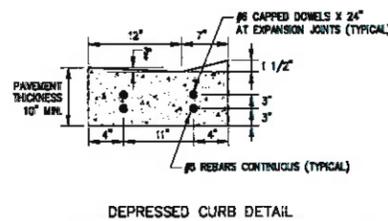
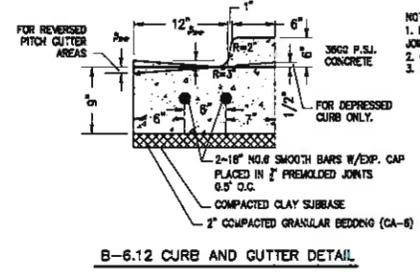


<p>125355 LEMONT ROAD LEMONT, ILLINOIS 60439 PHONE: (630) 739-0707 FAX: (630) 739-6080 EMAIL: GEOPOOL@COMCAST.NET</p>	<p>PREPARED FOR:</p> <p>PETE'S FRESH MARKET</p> <p>4343 S. PULASKI ROAD CHICAGO, ILLINOIS 60638</p>	<p>NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.</p>	<h1>GRADING AND DRAINAGE PLAN</h1>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE:</th> <th>NO.</th> <th>DESCRIPTION:</th> </tr> </thead> <tbody> <tr> <td>03-17-2015</td> <td>1</td> <td>PER VILLAGE COMMENTS DATED 12-17-14</td> </tr> <tr> <td>08-18-2015</td> <td>2</td> <td>PER CLIENT REQUEST</td> </tr> </tbody> </table>	DATE:	NO.	DESCRIPTION:	03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14	08-18-2015	2	PER CLIENT REQUEST	<p style="text-align: center;">SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.</p> <p style="text-align: center;">840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DRAWN: K.B.</td> <td>DATE: 05-30-14</td> <td>CHECKED: A.R.G.</td> <td>DATE:</td> <td>SHEET:</td> </tr> <tr> <td>ENG PROJ #14-04</td> <td>SURV PROJ #:</td> <td>FIELD BOOK:</td> <td>DATE:</td> <td>C-6</td> </tr> </table>	DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET:	ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	C-6
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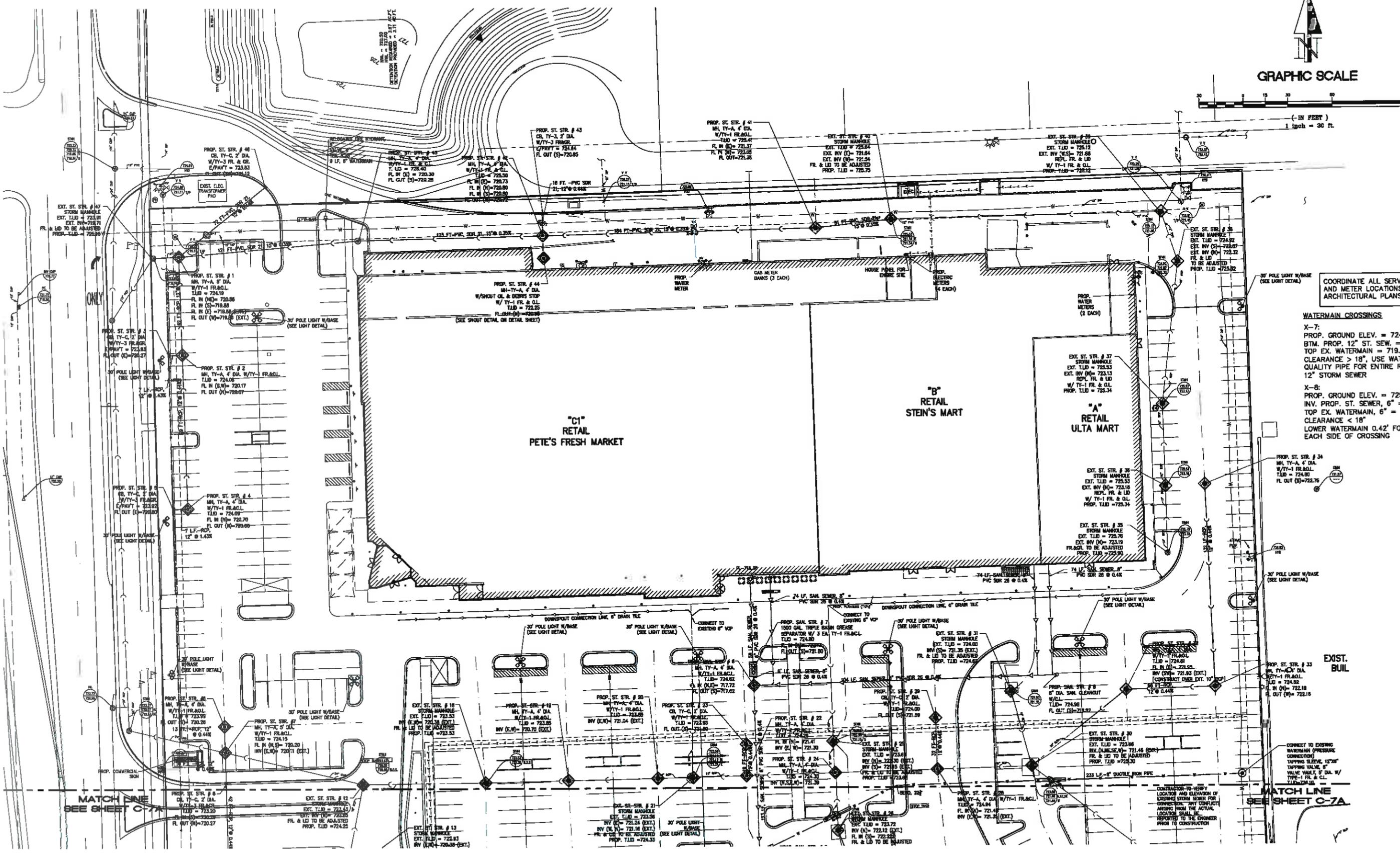
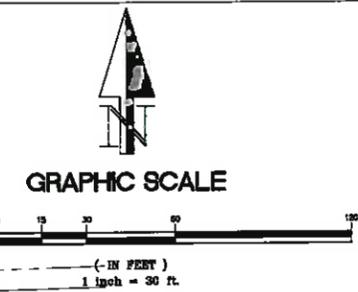
PREPARED FOR:
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GRADING AND DRAINAGE PLAN

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COORDINATE ALL SERVICE AND METER LOCATIONS WITH ARCHITECTURAL PLANS

WATERMAIN CROSSINGS

X-7:
PROP. GROUND ELEV. = 724.75 +/-
BTM. PROP. 12" ST. SEW. = 720.82
TOP EX. WATERMAIN = 719.25
CLEARANCE > 18", USE WATERMAIN QUALITY PIPE FOR ENTIRE RUN OF 12" STORM SEWER

X-8:
PROP. GROUND ELEV. = 725.60 +/-
INV. PROP. ST. SEWER, 6" = 721.08
TOP EX. WATERMAIN, 6" = 720.00
CLEARANCE < 18"
LOWER WATERMAIN 0.42' FOR 10' EACH SIDE OF CROSSING

EXIST. BUIL.

MATCH LINE SEE SHEET C-7A

MATCH LINE SEE SHEET C-7A

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UTILITY PLAN

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DATE:	NO.	DESCRIPTION:
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06-18-2015	2	PER CLIENT REVISIONS

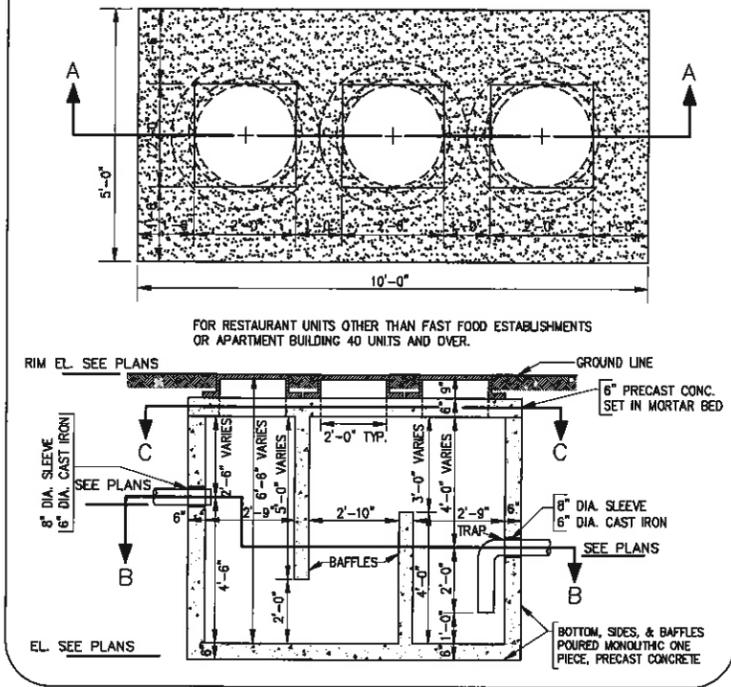
SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.

840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS

DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-7
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

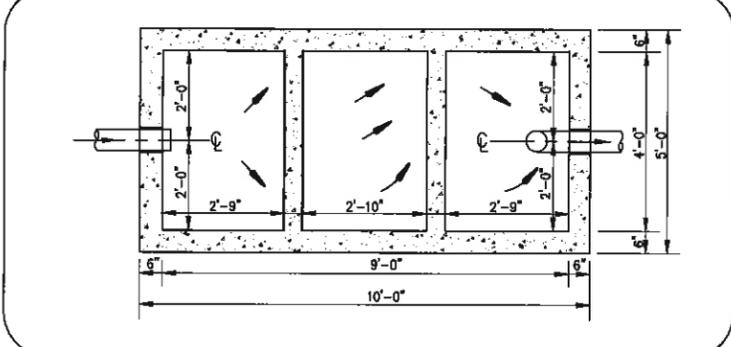
GREASE SEPARATOR

PLAN and SECTION-CC

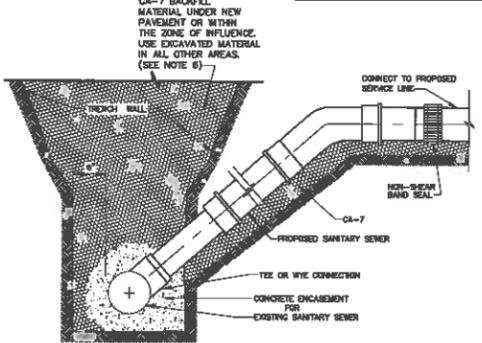


FOR RESTAURANT UNITS OTHER THAN FAST FOOD ESTABLISHMENTS OR APARTMENT BUILDING 40 UNITS AND OVER.

SECTION-BB

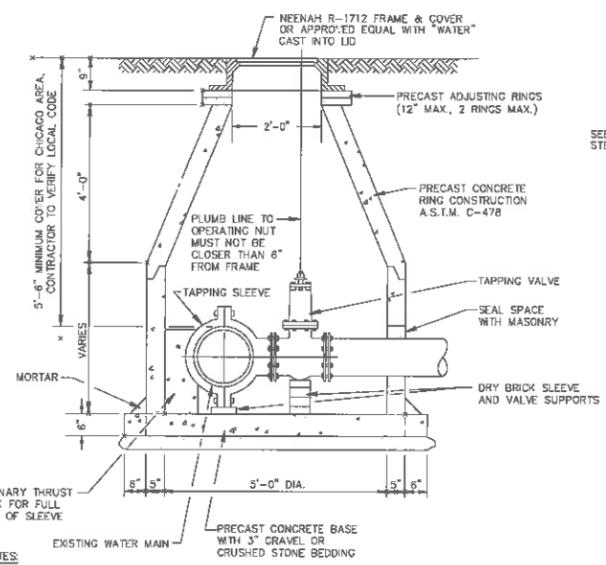


TRIPLE BASIN GREASE SEPARATOR DETAIL



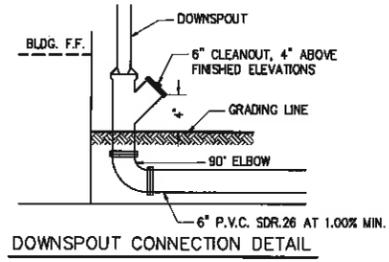
- FOR CONNECTING SANITARY SEWER SERVICE TO AN EXISTING SANITARY SEWER $\leq 12'$, REMOVE A SECTION OF PIPE AND INSTALL A TEE OR WYE CONNECTION.
- FOR CONNECTING SANITARY SEWER SERVICE TO AN EXISTING SANITARY SEWER $\geq 15'$, CIRCULAR SAW-OUT AND USE A HUB WYE OR TEE SADDLE CONNECTION.
- FOR PROPOSED STORM OR SANITARY SEWER SERVICES, ENGAGE ALL CONNECTIONS IN LOW STRENGTH CONCRETE TO PREVENT THE FITTINGS FROM ROTATING.
- FOR TRENCHES WITH AN EXISTING PAVED SURFACE AREA, FLOWABLE FILL BACKFILL MEETING DOT'S SPECIFICATIONS FOR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIX 1 SHALL BE USED.

SANITARY SERVICE DETAIL



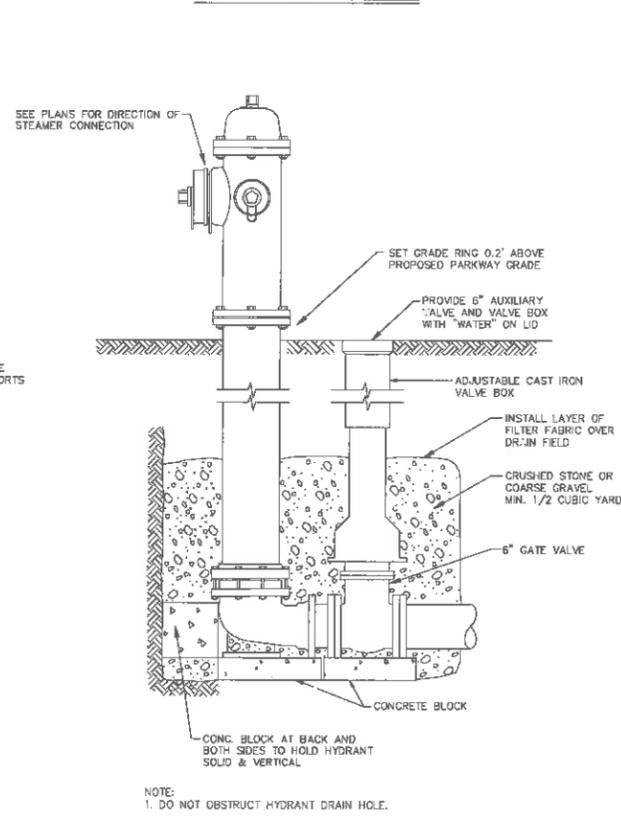
- NOTES:**
- PIPE OPENINGS TO BE CAST INTO WALL.
 - PRECAST SECTIONS, ADJUSTING RINGS AND FRAME TO BE JOINED WITH CONTINUOUS LAYER OF NON-HARDENING, PREFORMED BUTYL MASTIC MATERIAL (RUB R NEX, E-2 STICK OR EQUAL).

PRESSURE CONNECTION BASIN

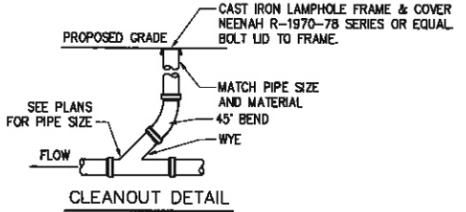


DOWNSPOUT CONNECTION DETAIL

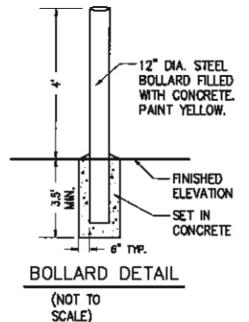
HYDRANT SETTING



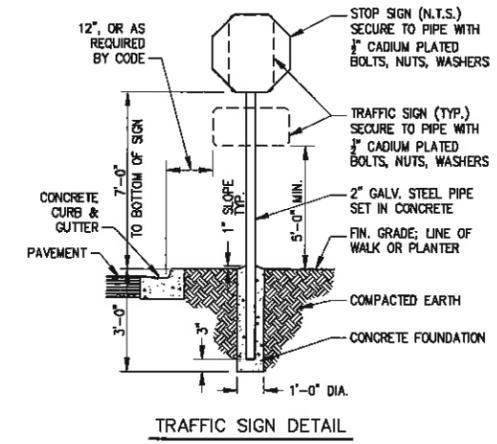
- NOTE:**
- DO NOT OBSTRUCT HYDRANT DRAIN HOLE.



CLEANOUT DETAIL



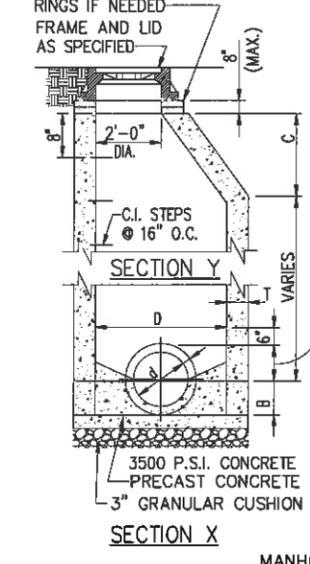
BOLLARD DETAIL (NOT TO SCALE)



TRAFFIC SIGN DETAIL

- NOTE:**
- TRAFFIC SIGNS TO BE HIGHWAY STANDARD AND TO CONFORM TO CURRENT STATE, LOCAL CODES AND REGULATIONS.

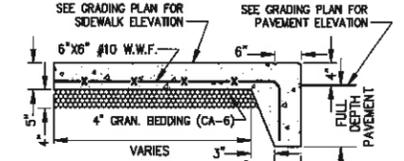
CONCRETE ADJUSTMENT RINGS IF NEEDED



MANHOLE DETAIL

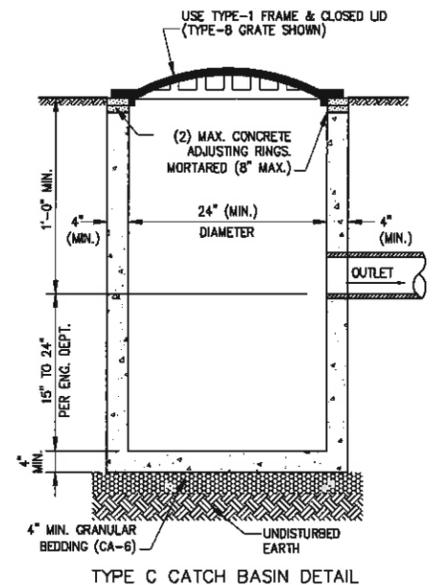
DIAMETER OF MAIN SEWER	D
21" AND UNDER	4'-0"
24" TO 42" INCLUSIVE	5'-0"

ALTERNATE MATERIALS FOR WALLS	D	C	T (MIN.)	B
PRECAST REINFORCED CONCRETE RISERS	4'-0"	2'-6"	4'	6"
CONCRETE RISERS	4'-0"	3'-6"	5'	8"
CONCRETE MASONRY UNITS	4'-0"	2'-6"	5'	-
	5'-0"	3'-6"	5'	-



TURNED DOWN EDGE SIDEWALK DETAIL

- NOTES:**
- PROVIDE CONTROL JOINTS AT 5' O.C.
 - PROVIDE EXPANSION JOINTS AT 50' O.C.



TYPE C CATCH BASIN DETAIL

- NOTES:**
- CATCH BASIN TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
 - CATCH BASIN MUST CONFORM TO ASTM C-478.
 - ALL PIPE PENETRATIONS TO BE CONED, RUBBER BOOTED AND INTERIOR MORTARED.
 - MAX. DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TYPE A CATCH BASIN.



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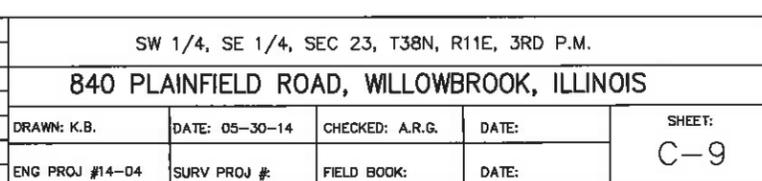
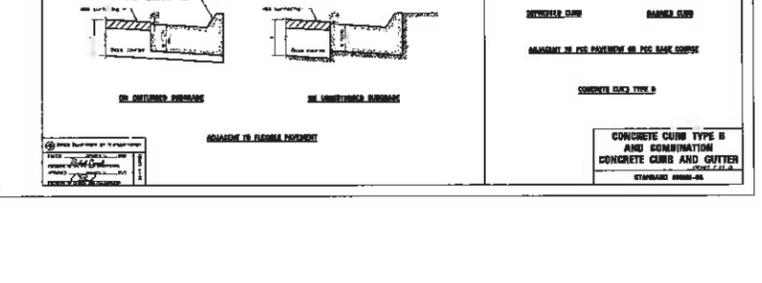
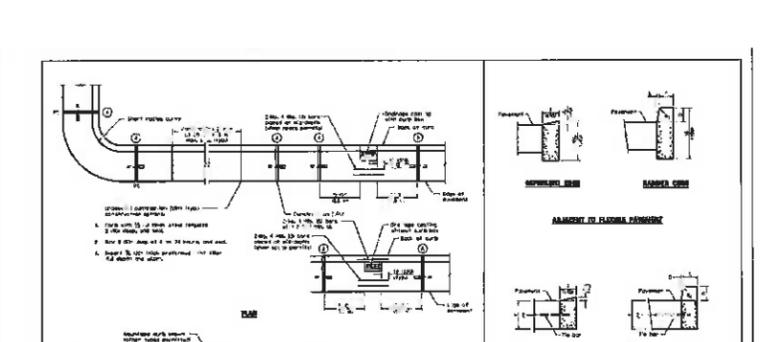
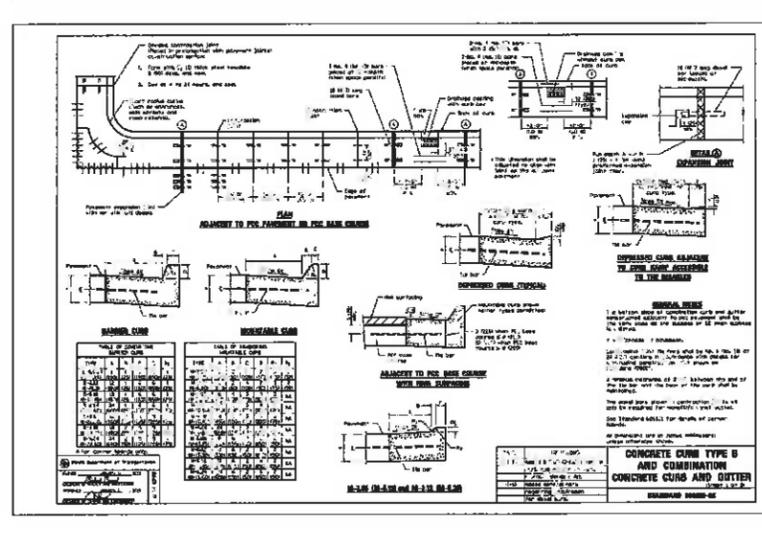
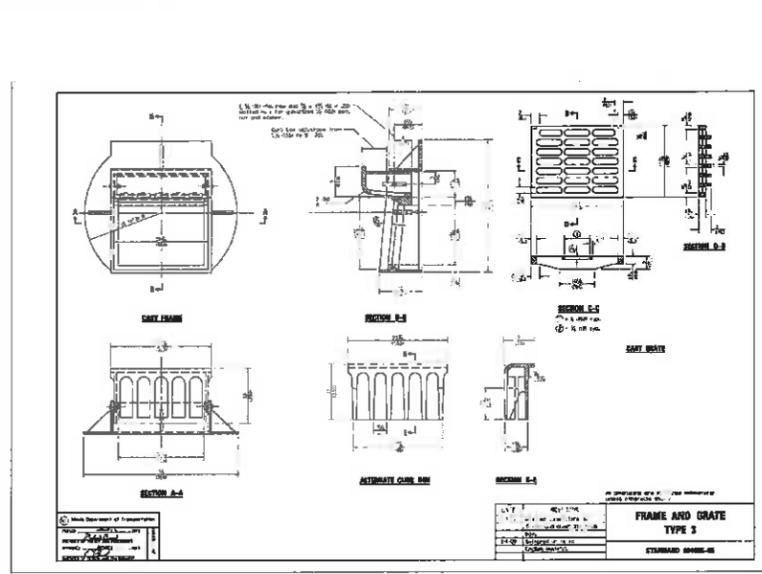
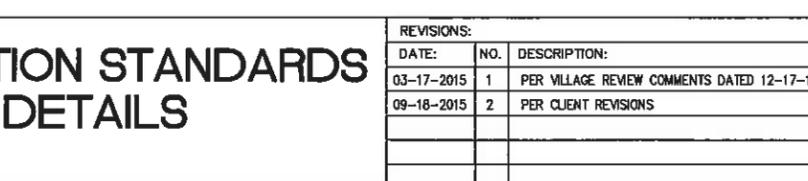
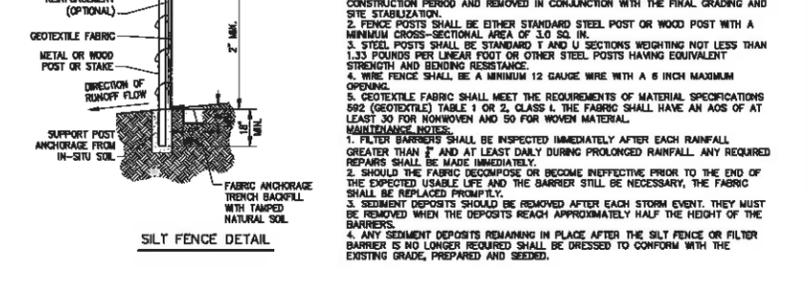
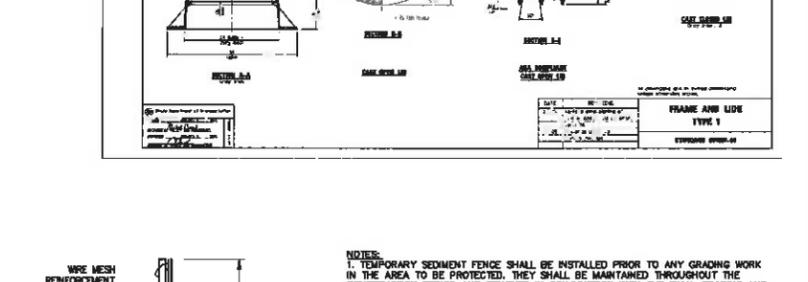
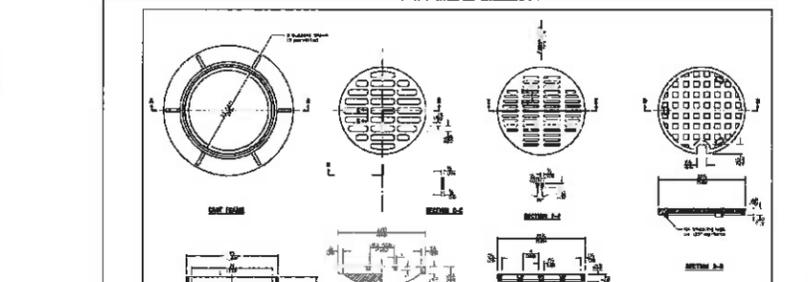
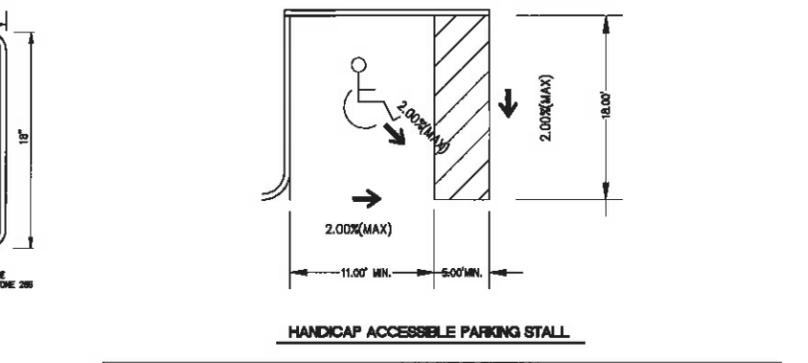
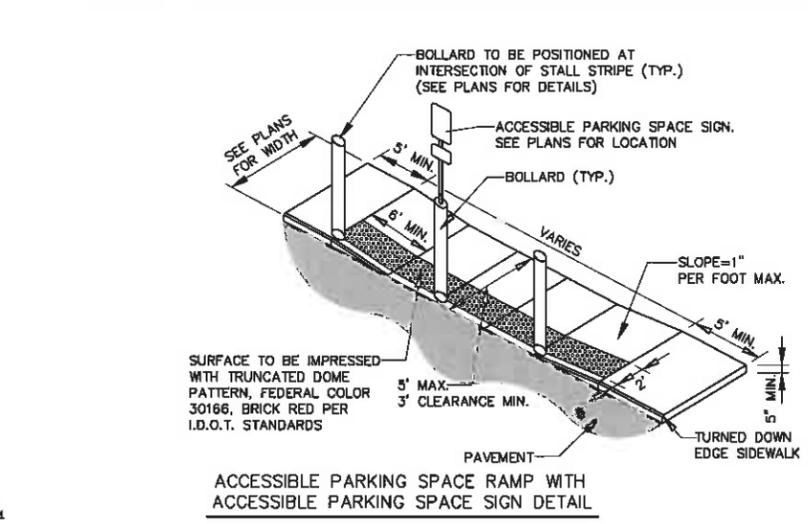
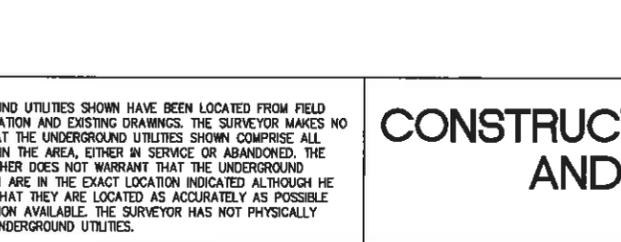
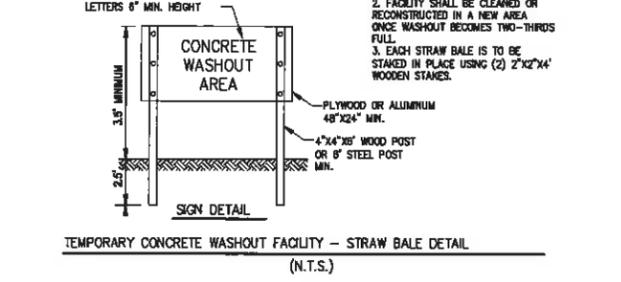
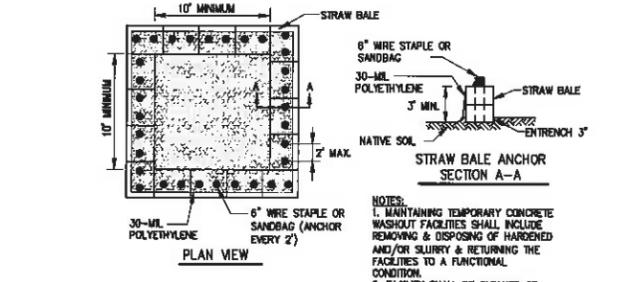
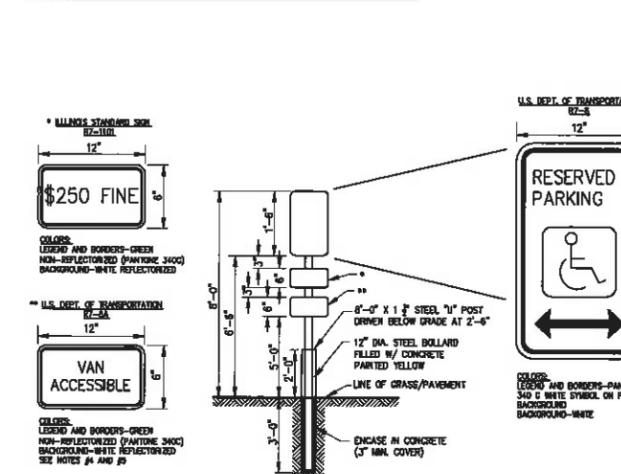
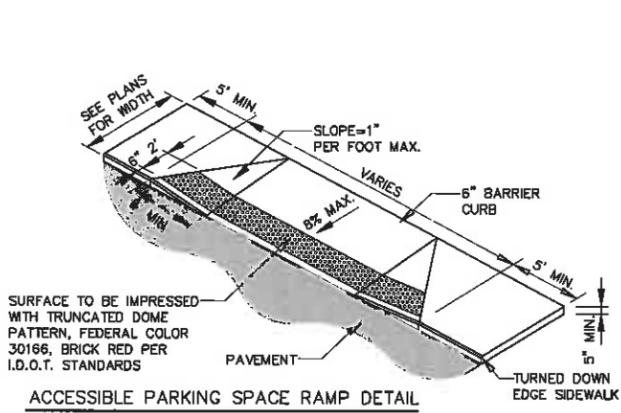
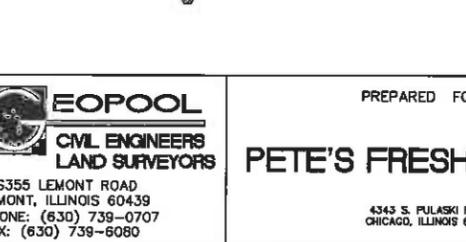
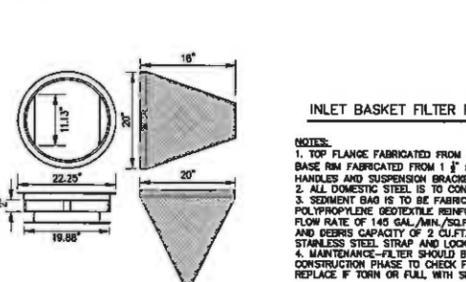
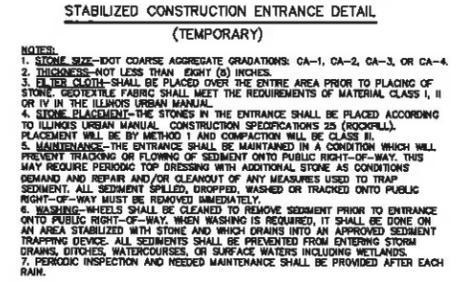
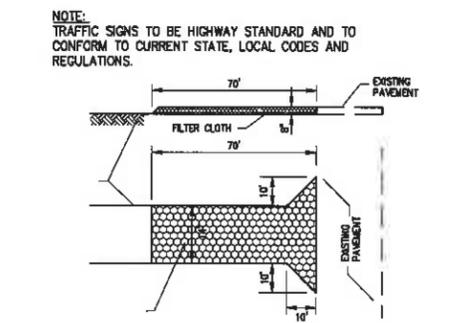
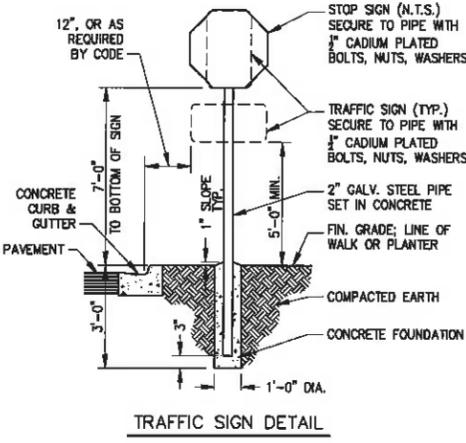
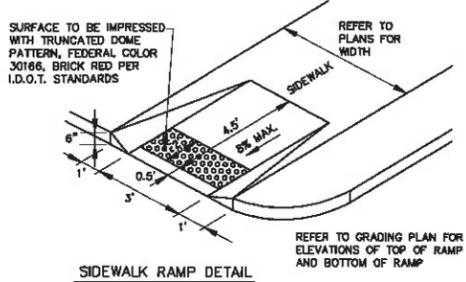
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CHICAGO, ILLINOIS 60638

NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SURVEY UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS				
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ENG PROJ #14-04	SURV PROJ #	FIELD BOOK:	DATE:	C-8



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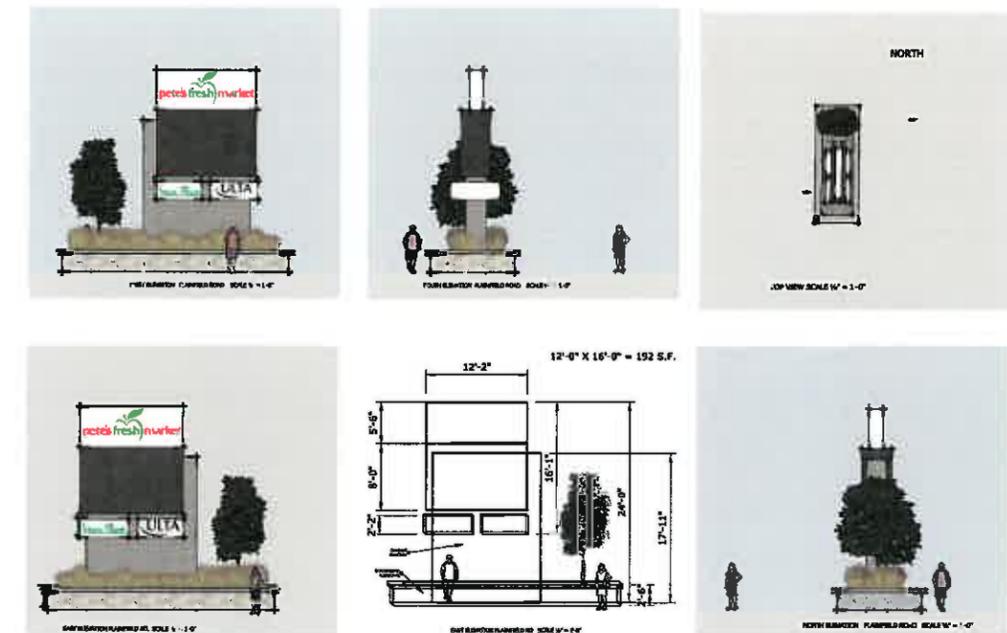
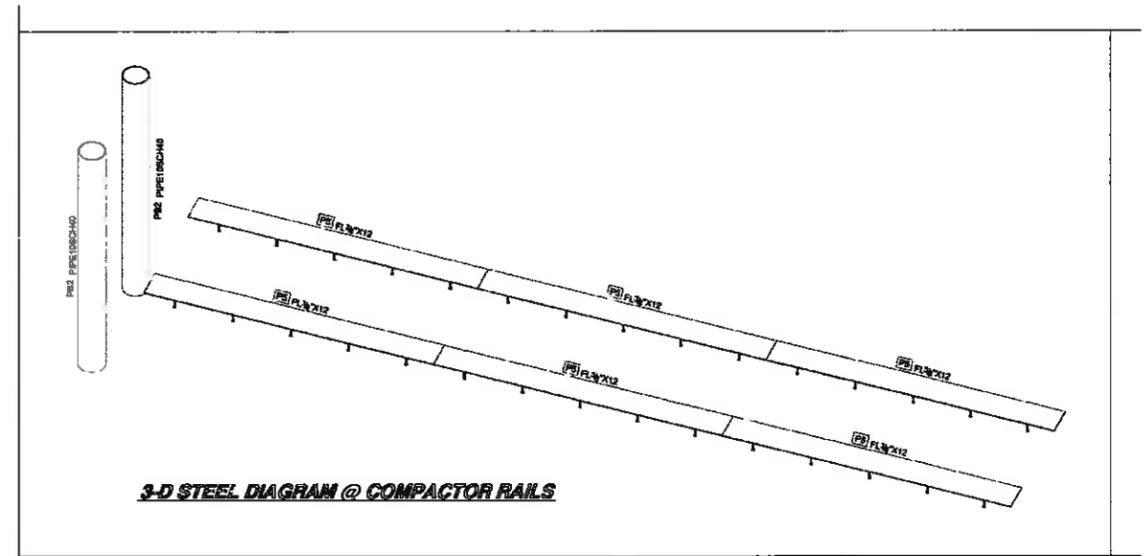
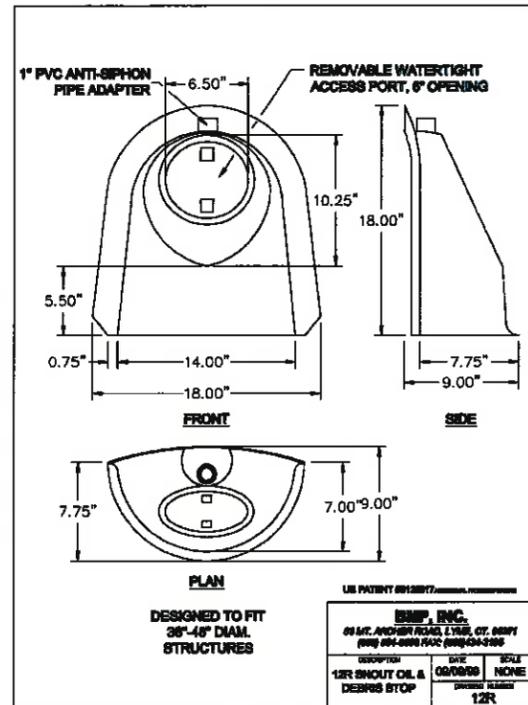
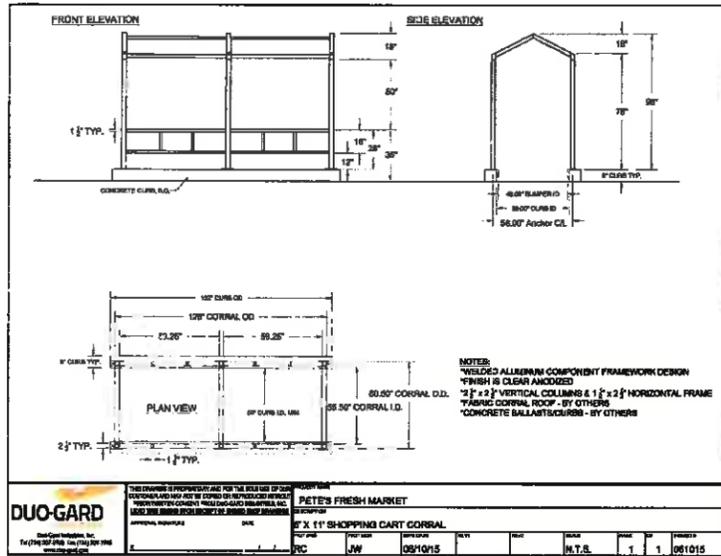
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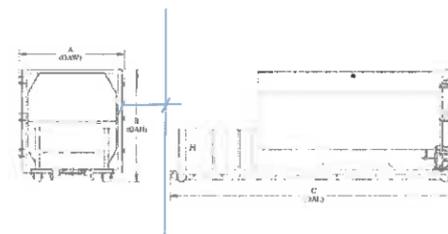
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840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS

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ENG PROJ #14-04 SURV PROJ # FIELD BOOK: DATE:



Specifications



MODEL	A (CMH)	B (CMH)	D (CM)	WEIGHT (LB)
SC-T1-10	8'-1"	7'-0"	12'-11"	6,500
SC-T1-15	8'-1"	7'-0"	16'-9"	7,200
SC-T1-20	8'-1"	7'-0"	19'-7"	7,500
SC-T2-20	8'-0"	6'-7"	17'-1"	9,900
SC-T2-25	8'-0"	6'-7"	19'-6"	10,200
SC-T2-30	8'-0"	6'-7"	21'-10"	10,800
SC-T2-34	8'-0"	6'-7"	23'-4"	10,800
SC-T2-38	8'-0"	6'-7"	25'-7"	11,000
SC-02-20	8'-0"	6'-7"	18'-9"	10,000
SC-02-25	8'-0"	6'-7"	21'-4"	10,400
SC-02-30	8'-0"	6'-7"	23'-6"	10,600
SC-02-34	8'-0"	6'-7"	25'-2"	11,000

J.V. MANUFACTURING, INC

SC-02, SC-T1 and SC-T2 SPECIFICATIONS

General Equipment Specifications	SC-02	SC-T1	SC-T2
Waste: Charge Size Rating	1.31 cuyd	7.3 cuyd	1.52 cuyd
Clear Top Opening	34"x36"	31"x46"	41"x56"
Cycle Time (sec)	37	28	42
System Pressure (psi)	Normal	2,000	2,000
	Maximum	2,400	2,400
Compaction Force (lb)	Normal	28,200	44,200
	Maximum	47,100	63,000
Non-Force Pressure (psi)	Normal	22.8	40
	Maximum	27.1	48
Run Penetration	Motor Top	5.9"	6"
	Motor (voltage)	15	10
Pump Capacity (gpm)	Motor (voltage)	300/330/440 gph	330/360/440 gph
	Receiver capacity (gal)	10.5	10.5
Cylinder	Stroke	23	22
	Rad	4"	4"
Cooperation	Flare	1 1/2" steel plate	1 1/2" steel plate
	Sides	4" x 12" Channel	4" x 12" Channel
Pan	Breaker Bar	3/16" steel plate	3/16" steel plate
	Flare	1 1/2" steel plate	1 1/2" steel plate

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ENG PROJ #14-04		SURV PROJ #		FIELD BOOK:		DATE:	
						SHEET: C-10	

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