

A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, JANUARY 25, 2016, AT 6:30 P.M. AT THE **BURR RIDGE POLICE DEPARTMENT TRAINING ROOM, 7700 COUNTY LINE ROAD, BURR RIDGE, DUPAGE COUNTY, ILLINOIS**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
  - a. Waive Reading of Minutes (APPROVE)
  - b. Minutes - Regular Board Meeting - January 11, 2016 (APPROVE)
  - c. Warrants - \$260,929.02 (APPROVE)
  - d. Ordinance - An Ordinance Amending the Village Code of the Village of Willowbrook Title 4 Chapter 2 Section 4-2-24 - Plumbing Code Adopted (PASS)
  - e. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal from Cameo Electric, Inc. for Materials and Labor Necessary to Directional Bore Two (2) Underground Conduits from the Police Building to the Community Resource Center Building to Provide for Communication System Interconnection Between the Two (ADOPT)
  - f. Resolution - A Resolution Appointing a Primary Delegate and Alternate Delegate to the Intergovernmental Risk Management Agency (IRMA) (ADOPT)
  - g. Motion - A Motion to Approve Application for a License to Hold a Raffle - Holy Trinity Catholic Parish (PASS)

- h. Plan Commission Recommendation - Zoning Hearing Case 15-07: Willowbrook Square Management Company - Amendment to Planned Unit Development (PUD) to Reduce the "Dwell Time" for each Message on an Approved Digital Sign from 20 seconds to 8 seconds (RECEIVE, also see Item No. 7 in New Business)
- i. Plan Commission Recommendation - Zoning Case 15-08: Petition Requesting a Special Use for a Planned Unit Development (PUD) that allows the Reuse of Part of the Existing Vacated K-Mart Building as a Multi-Tenant Building and Construction of a New Multi-Tenant Commercial Building, Including On-Site Improvements and Off-Site Improvements to Both Plainfield Road and Kingery Highway (Illinois Route 83) - Pete's Fresh Market (RECEIVE)

NEW BUSINESS

- 6. DELINQUENT WATER BILLS
- 7. ORDINANCE - AN ORDINANCE AMENDING THE SPECIAL USE PERMIT AUTHORIZED BY ORDINANCE 86-O-28 TO ALLOW A REDUCTION IN THE DWELL TIME FOR A DIGITAL GROUND SIGN AUTHORIZED PURSUANT TO ORDINANCE 14-O-24 WHICH AUTHORIZED A MAJOR CHANGE TO A PUD TO PERMIT AND REGULATE A DIGITAL GROUND SIGN - WILLOWBROOK CENTRE PUD
- 8. PRESENTATION - FISCAL YEAR 2016/17 BUDGET PREVIEW

PRIOR BUSINESS

- 9. COMMITTEE REPORTS
- 10. ATTORNEY'S REPORT
- 11. CLERK'S REPORT
- 12. ADMINISTRATOR'S REPORT
- 13. MAYOR'S REPORT

14. EXECUTIVE SESSION:

- a) DISCUSSION - Pursuant to 5 ILCS 120/2(c)(21) Regarding the Destruction of Audio or Video Recordings of Closed Meetings Under the Open Meetings Act For the Purpose of a Semi-Annual Review of Said Recordings As Mandated by 5 ILCS 120/2.06(3) (c) (1)
- b) DISCUSSION - Pursuant to 5 ILCS 120/2(c)(21) Regarding Previously Approved Minutes of Meetings That Were Lawfully Closed Under the Open Meetings Act For the Purpose of a Semi-Annual Review of Said Minutes As Mandated by 5 ILCS 120/2.06(d), For Purposes of Possible Release
- c) Consideration of Collective Negotiating Matters Between the Village and Its Employees and Their Representatives Pursuant to Chapter 5 ILCS 120/2(C)(2)

15. RESOLUTION - A RESOLUTION AUTHORIZING THE DESTRUCTION OF AUDIO OR VIDEO RECORDINGS OF CLOSED MEETINGS

16. RESOLUTION - A RESOLUTION MAKING A DETERMINATION RELATIVE TO THE RELEASE OF EXECUTIVE SESSION MINUTES PURSUANT TO THE ILLINOIS OPEN MEETINGS ACT

17. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, JANUARY 11, 2016 AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, VILLAGE OF BURR RIDGE, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Administrator Timothy Halik, Director of Finance Carrie Dittman, Chief Mark Shelton, Assistant to the Village Administrator Garrett Hummel, Deputy Clerk Cindy Stuchl, Planning Consultant JoEllen Charlton, and Administrative Intern Tiffany Kolodziej.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked Administrator Halik to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

None presented.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Regular Board Meeting - December 14, 2015 (APPROVE)
- c. Warrants - \$569,302.11 (APPROVE)
- d. Monthly Financial Report - December 31, 2015 (APPROVE)
- e. Ordinance - An Ordinance Declaring Surplus Property and Authorizing the Disposal of the Same - Ordinance No. 16-O-01 (PASS)
- f. Ordinance - An Ordinance Amending Title 3, Section 3-12-5(B)(1) of the Village Code - Classifications: Class B-1 License - Ordinance No. 16-O-02 (PASS)

- g. Resolution - A Resolution Authorizing a Representative to Sign Loan Documents - IEPA SRF Low Interest Loan in the Total amount of \$1,417,000 for the Painting and Maintenance of Two (2) Potable Water Storage Tank Structures - Resolution No. 16-R-01 (ADOPT)
- h. Resolution - a Resolution Authorizing the Execution of the Local Public Agency Agreement for Federal Participation in the Clarendon Hills Road Reconstruction Project - Resolution No. 16-R-02 (ADOPT)
- i. Motion - A Motion to Approve Application for a license to Hold a Raffle - Willowbrook/Burr Ridge Chamber of Commerce (PASS)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda.

MOTION: Made by Trustee Davi and seconded by Trustee Mistele to approve the Omnibus Vote Agenda as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

#### NEW BUSINESS

##### 6. DELINQUENT WATER BILLS

Administrator Halik advised that there were numerous delinquent water bills. Due to an error in the notification letters, any outstanding accounts would not be shut off until Monday, January 18<sup>th</sup>. Staff requested authorization to proceed in accordance with past practices, which was granted.

##### 7. ORDINANCE - AN ORDINANCE APPROVING A PRELIMINARY AND FINAL PLAT OF SUBDIVISION, AND GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL PLAT OF PUD, INCLUDING WAIVERS FROM THE ZONING ORDINANCE - ROC PUD, 7501 - 7601 QUINCY STREET

Planning Consultant Charlton related that after the December 14, 2015 Board meeting there were concerns voiced about this project. The applicant was asked to consider modifications to address the concerns. Staff and Trustee Mistele met with the applicant to come to an agreement with recommended changes. The result involved the increase of the building set back from

Quincy Street to 40 feet, add a masonry refuse enclosure, and changes to the design of the façade of the buildings.

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino to pass Ordinance 16-O-03 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

8. ORDINANCE - AN ORDINANCE AUTHORIZING AND GRANTING A FRANCHISE TO NORTHERN ILLINOIS GAS COMPANY (d/b/a NICOR GAS COMPANY) ITS SUCCESSORS AND ASSIGNS, TO CONSTRUCT, OPERATE, AND MAINTAIN A NATURAL GAS DISTRIBUTING SYSTEM IN AND THROUGH THE VILLAGE OF WILLOWBROOK, ILLINOIS

Administrator Halik related that this franchise agreement took approximately six (6) to negotiate. The previous agreement was 50 years old and had expired on August 16, 2010. This new agreement is for 25 years.

Compensation for the use of the Village's rights-of-ways provides for a 20% increase in therm allowance to be paid annually in cash, which is how the Village has always been compensated from NiCOR, or in free gas for all Village facilities. The Village has until March 1, 2016 to make the decision on which compensation option to use.

Administrator Halik advised that the Village should receive approximately \$44,000 from NiCOR for the year 2016.

Trustee Mistele requested that a comparison between the two compensation options be brought to the Board at a future meeting.

MOTION: Made by Trustee Mistele and seconded by Trustee Davi to pass Ordinance No. 16-O-04 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

9. RESOLUTION - A RESOLUTION EXPRESSING OFFICIAL INTENT REGARDING CERTAIN EXPENDITURES TO BE REIMBURSED FROM THE BUSINESS DISTRICT FUND FOR AND/OR FROM PROCEEDS OF AN OBLIGATION ISSUED, IF ANY, IN CONNECTION WITH A PROPOSED BUSINESS DISTRICT COMMONLY DESCRIBED AS ROUTE 83/PLAINFIELD ROAD

Administrator Halik related that this resolution is a precursor to a larger discussion that will occur on this project in the future. The Village is reviewing requests from two potential developers requesting public subsidies for the projects. Without the subsidies, these projects are not financial feasible to complete. A financial consultant was hired to review the financial data provided by the developers. Once the findings have been received, the report will be forwarded to the Board for review.

If the Board were to support a subsidy, the creation of a new business district would be a viable and preferred method to raise the revenue. This resolution expresses the Village's intent that if a new business district were created, the Village's general fund would be reimbursed from the future business district fund for any eligible expenses related to the review of the developers' request. If the business district was ultimately not created, this resolution would become inoperative.

Trustee Berglund asked how much money has been expended so far for this review. Administrator Halik advised that to date, approximately \$3,700 has been paid to the financial consultant. By the time that this project moves forward, expenses would be about \$10,000.

Administrator Halik related that if a business district is created, it would enable the Village to designate the limits of a district to include the Town Center and the new Pete's Fresh Market development where patrons would pay an additional 1% sales tax, for a total of 8¼%.

MOTION: Made by Trustee Davi and seconded by Trustee Mistele to adopt Resolution No. 16-R-03 as presented.

PREVIOUS ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRIOR BUSINESS

10. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele related that the Municipal Services Committee discussed accepting proposals for tree trimming throughout the Village. This project has not been completed in the Village since 2011.

Trustee Berglund had no report.

Trustee Davi had no report.

Trustee Oggerino had no report.

11. ATTORNEY'S REPORT

There was no attorney present to provide a report.

12. CLERK'S REPORT

Clerk Hansen had no report.

13. ADMINISTRATOR'S REPORT

Administrator Halik had no report.

14. MAYOR'S REPORT

Mayor Trilla had no report.

15. EXECUTIVE SESSION

Mayor Trilla stated that there was no need for Executive Session during tonight's meeting.

16. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Oggerino, to adjourn the Regular Meeting at the hour of 6:53 p.m.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

January 25, 2016.

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Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

## WARRANTS

January 25, 2016

GENERAL CORPORATE FUND	-----	\$130,196.08
WATER FUND	-----	130,492.99
POLICE PENSION FUND	-----	239.95
TOTAL WARRANTS	-----	\$260,929.02

  
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Carrie Dittman, Director of Finance

APPROVED:

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Frank A. Trilla, Mayor

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 01/12/2016 - 01/26/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/20/2016	APCH	7 (E)	DUPAGE WATER COMMISSION	PURCHASE OF WATER	02-50-420-575	127,729.60
01/15/2016	APCH	88018	BSA CUB SCOUT PACK 216	CADET PROGRAM	01-30-630-308	234.50
01/20/2016	APCH	88019	AIRGAS USA LLLC	EQUIPMENT RENTAL	01-35-750-290	62.32
01/20/2016	APCH	88020	ALEXANDER EQUIPMENT COMPANY INC	EQUIPMENT RENTAL	01-35-750-290	132.50
01/20/2016	APCH	88021	AMERICAN FIRST AID SERVICE INC	BUILDING MAINTENANCE SUPPLIES	01-10-466-351	83.55
		88021		OPERATING EQUIPMENT	01-30-630-401	16.25
						<u>99.80</u>
01/20/2016	APCH	88022	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES	01-30-630-247	13,485.00
		88022		RED LIGHT - MISC FEE	01-30-630-249	600.00
						<u>14,085.00</u>
01/20/2016	APCH	88023	ARAMARK UNIFORMS SERVICES	UNIFORMS	01-35-710-345	143.96
01/20/2016	APCH	88024	CAROLINE DITTMAN	SCHOOLS/CONFERENCES/TRAVEL	01-20-550-304	28.93
		88024		SCHOOL/CONFERENCES/TRAVEL	07-62-401-304	239.95
						<u>268.88</u>
01/20/2016	APCH	88025	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	01-10-466-228	2,515.74
01/20/2016	APCH	88026	COMMONWEALTH EDISON	RED LIGHT - COM ED	01-30-630-248	117.46
		88026		ENERGY - STREET LIGHTS	01-35-745-207	624.84
		88026		ENERGY - ELECTRIC PUMP	02-50-420-206	1,198.42
						<u>1,940.72</u>
01/20/2016	APCH	88027	DANIEL POLFLIET	UNIFORMS	01-30-630-345	232.72
01/20/2016	APCH	88028	DISCOVERY BENEFITS SIMPLIFY	EMP DED PAY - FSA FEE	01-00-210-221	39.60
		88028		EMPLOYEE BENEFIT - MEDICAL INSURANCE	01-10-455-141	10.40
						<u>50.00</u>
01/20/2016	APCH	88029	DUPAGE COUNTY CLERK	FEES/DUES/SUBSCRIPTIONS	01-30-630-307	10.00
01/20/2016	APCH	88030	DYLAN TRAINER	UNIFORMS	01-30-630-345	22.61
01/20/2016	APCH	88031	FITZGIBBONS, VICTORIA	CUSTOMER OVERPAYMENT	02-00-280-135	838.00
01/20/2016	APCH	88032	GADDIS DAVID	UNIFORMS	01-30-630-345	259.77

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/20/2016	APCH	88033	GOVT FINANCE OFCRS ASSN	FEES/DUES/SUBSCRIPTIONS	01-25-610-307	170.00
01/20/2016	APCH	88034	GROUNDHOG UTILITY CONSTRUCTION	CUSTOMER OVERPAYMENT	02-00-280-135	399.08
01/20/2016	APCH	88035	H AND R CONSTRUCTION INC.	SNOW REMOVAL CONTRACT	01-35-740-287	9,491.00
01/20/2016	APCH	88036	HEAT ENGINEERING CO	MAINTENANCE - BUILDING	01-10-466-228	266.00
01/20/2016	APCH	88037	HOME DEPOT CREDIT SERVICES	MAINTENANCE - BUILDING	01-10-466-228	327.36
		88037		BUILDING MAINTENANCE SUPPLIES	01-10-466-351	59.91
						<u>387.27</u>
01/20/2016	APCH	88038	HOVING PIT STOP	STREET & ROW MAINTENANCE	01-35-750-328	971.25
01/20/2016	APCH	88039	IEDA	FEES/DUES/SUBSCRIPTIONS	01-10-455-307	250.00
01/20/2016	APCH	88040	ILL. NOTARY DISCOUNT BONDING	FEES/DUES/SUBSCRIPTIONS	01-10-455-307	106.00
01/20/2016	APCH	88041	ILLINOIS PAPER COMPANY	OFFICE SUPPLIES	01-10-455-301	512.78
01/20/2016	APCH	88042	INTN'L CODE COUNCIL INC	PRINTING & PUBLISHING	01-40-810-302	57.00
01/20/2016	APCH	88043	IVAN COLAKOVIC	COMM. DEV. BOND & DEPOSITS PAYABLE	01-00-210-109	4,000.00
01/20/2016	APCH	88044	JOHN J. HANDZIK	OPERATING EQUIPMENT	01-30-630-401	70.27
01/20/2016	APCH	88045	KATHY PELSHA	BUILDING MAINTENANCE SUPPLIES	01-10-466-351	51.28
01/20/2016	APCH	88046	KING CAR WASH	FUEL/MILEAGE/WASH	01-30-630-303	325.00
01/20/2016	APCH	88047	KONICA MINOLTA BUSINESS SOLUTION	COPY SERVICE	01-10-455-315	376.71
		88047		COPY SERVICE	01-30-630-315	119.93
						<u>496.64</u>
01/20/2016	APCH	88048	LOGSDON OFFICE SUPPLY	OFFICE SUPPLIES	01-10-455-301	91.13
		88048		OFFICE SUPPLIES	01-35-710-301	44.76
						<u>135.89</u>
01/20/2016	APCH	88049	MARQUARDT PRINTING CO.	PRINTING & PUBLISHING	01-40-810-302	125.00
01/20/2016	APCH	88050	MUNICIPAL CLERKS OF DUPAGE CNTY	SCHOOLS/CONFERENCES/TRAVEL	01-05-410-304	54.00
01/20/2016	APCH	88051	NATIONAL FIRE PROTECTION ASSN	FEES/DUES/SUBSCRIPTIONS	01-40-810-307	300.00

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/20/2016	APCH	88052	OAK HILL BUILDERS & DEVELOPERS	COMM. DEV. BOND & DEPOSITS PAYABLE	01-00-210-109	1,000.00
01/20/2016	APCH	88053	OCCUPATIONAL HEALTH CENTERS	WELLNESS	01-10-480-276	246.00
01/20/2016	APCH	88054	ORKIN EXTERMINATING	MAINTENANCE - BUILDING	01-10-466-228	87.24
01/20/2016	APCH	88055	P.F. PETTIBONE & CO.	PRINTING & PUBLISHING	01-30-630-302	1,576.20
01/20/2016	APCH	88056	PARTNERS AND PAWS VETERINARY SER	OPERATING EQUIPMENT	01-30-630-401	98.75
01/20/2016	APCH	88057	PCS INTERNATIONAL	EDP SOFTWARE	01-25-615-212	348.48
01/20/2016	APCH	88058	PESSINA TREE SERVICE LLC	TREE MAINTENANCE	01-35-750-338	70,950.00
01/20/2016	APCH	88059	PETTY CASH C/O TIM HALIK	SCHOOLS/CONFERENCES/TRAVEL	01-05-410-304	25.00
		88059		OPERATING EQUIPMENT	01-30-630-401	16.57
		88059		SCHOOLS/CONFERENCES/TRAVEL	01-40-810-304	40.00
						<u>81.57</u>
01/20/2016	APCH	88060	RAGS ELECTRIC, INC	MAINTENANCE - BUILDING	01-10-466-228	102.50
		88060		MAINTENANCE - PW BUILDING	01-35-725-418	113.50
		88060		MAINTENANCE - STREET LIGHTS	01-35-745-223	244.50
						<u>460.50</u>
01/20/2016	APCH	88061	RAY O'HERRON CO., INC.	CADET PROGRAM	01-30-630-308	902.61
		88061		UNIFORMS	01-30-630-345	834.54
						<u>1,737.15</u>
01/20/2016	APCH	88062	RED WING SHOE STORE	UNIFORMS	01-35-710-345	232.24
01/20/2016	APCH	88063	REGIONAL TRUCK EQUIPMENT CO	MAINTENANCE - EQUIPMENT	01-35-740-411	60.55
01/20/2016	APCH	88064	ROBERT WHITE CONSTRUCTION	SNOW REMOVAL CONTRACT	01-35-740-287	600.00
01/20/2016	APCH	88065	RUTLEDGE PRINTING CO.	PRINTING & PUBLISHING	01-30-630-302	659.08
01/20/2016	APCH	88066	SATELLITE PHONE STORE	PHONE - TELEPHONES	01-10-455-201	65.76
		88066		PHONE - TELEPHONES	01-30-630-201	65.76
						<u>131.52</u>
01/20/2016	APCH	88067	SBOC	SCHOOLS/CONFERENCES/TRAVEL	01-40-810-304	500.00
01/20/2016	APCH	88068	SBOC	FEES/DUES/SUBSCRIPTIONS	01-40-810-307	75.00

Check Date	Bank	Check #	Payee	Description	GL #	Amount
01/20/2016	APCH	88069	SBOC	SCHOOLS/CONFERENCES/TRAVEL	01-40-810-304	500.00
01/20/2016	APCH	88070	SIGNS NOW	OFFICE SUPPLIES	01-10-455-301	25.70
01/20/2016	APCH	88071	SO SUBN BLDG OFFICIALS ASSN	FEES/DUES/SUBSCRIPTIONS	01-40-810-307	125.00
01/20/2016	APCH	88072	SPYKSMA, JEAN	CUSTOMER OVERPAYMENT	02-00-280-135	33.46
01/20/2016	APCH	88073	STAPLES	OFFICE SUPPLIES	01-10-455-301	93.79
		88073		COMMISSARY PROVISION	01-10-455-355	39.96
		88073		OFFICE SUPPLIES	01-25-610-301	54.47
		88073		OPERATING SUPPLIES	01-25-615-331	120.70
						<u>308.92</u>
01/20/2016	APCH	88074	T.P.I.	PLAN REVIEW - BUILDING CODE - REIMB.	01-40-820-258	2,997.08
		88074		PART TIME - INSPECTOR	01-40-830-109	3,234.00
		88074		PLUMBING INSPECTION - RIEMB.	01-40-830-115	945.00
						<u>7,176.08</u>
01/20/2016	APCH	88075	TAMELING GRADING	LANDSCAPE MAINTENANCE SERVICES	01-20-565-342	135.00
		88075		STREET & ROW MAINTENANCE	01-35-750-328	900.00
		88075		WATER DISTRIBUTION REPAIRS/MAINTENANC	02-50-430-277	157.75
						<u>1,192.75</u>
01/20/2016	APCH	88076	TOM & JERRY'S SHELL SERVICES	FUEL/MILEAGE/WASH	01-30-630-303	273.02
		88076		MAINTENANCE - VEHICLES	01-30-630-409	839.27
		88076		MAINTENANCE - VEHICLES	01-35-735-409	218.28
						<u>1,330.57</u>
01/20/2016	APCH	88077	UNIFIRST	MAINTENANCE - BUILDING	01-10-466-228	206.55
		88077		MAINTENANCE - PW BUILDING	01-35-725-418	194.92
						<u>401.47</u>
01/20/2016	APCH	88078	UNITED PARCEL SERVICE	POSTAGE & METER RENT	01-30-630-311	8.48
01/20/2016	APCH	88079	UNITED STATE POSTAL SERVICE	PREPAID POSTAGE	01-00-190-102	2,500.00
01/20/2016	APCH	88080	VERIZON WIRELESS	PHONE - TELEPHONES	01-05-410-201	59.91
		88080		PHONE - TELEPHONES	01-10-455-201	23.30
		88080		PHONE - TELEPHONES	01-30-630-201	464.03

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
 CHECK DATE FROM 01/12/2016 - 01/26/2016

Check Date	Bank	Check #	Payee	Description	GL #	Amount
		88080		TELEPHONES	01-35-710-201	136.68
		88080		TELEPHONES	01-40-810-201	98.28
		88080		PHONE - TELEPHONES	02-50-401-201	136.68
						<u>918.88</u>
01/20/2016	APCH	88081	W.W. GRAINGER	MAINTENANCE - PW BUILDING	01-35-725-418	35.50
		88081		OPERATING EQUIPMENT	01-35-755-401	34.60
						<u>70.10</u>
01/20/2016	APCH	88082	WESTOWN AUTO SUPPLY COMPANY	MAINTENANCE - VEHICLES	01-35-735-409	48.75
01/20/2016	APCH	88083	WILLOWBROOK FORD INC.	MAINTENANCE - VEHICLES	01-30-630-409	650.00
			TOTAL - ALL FUNDS	TOTAL OF 67 CHECKS		260,929.02

CHECK REGISTER FOR WILLOWBROOK  
 Check Numbers 88011-88017  
 Payroll Liability Checks  
 (Not Appearing on Prior Warrant Listing)

Check Date	Bank	Check	Vendor Name	Amount
Bank APCHK ACCOUNTS PAYABLE CHECKING				
01/08/2016	APCHK	88011	COMMUNITY BANK OF WILLOWBROOK	604.15
01/08/2016	APCHK	88012	EFTPS	33,277.53
01/08/2016	APCHK	88013	I C M A RETIREMENT TRUST - 457	525.00
01/08/2016	APCHK	88014	ILLINOIS DEPT. OF REVENUE	5,277.25
01/08/2016	APCHK	88015	ILLINOIS STATE DISBURSEMENT UNIT	1,848.93
01/08/2016	APCHK	88016	NATIONWIDE RETIREMENT SOLUTIONS	3,150.88
01/08/2016	APCHK	88017	VILLAGE OF WILLOWBROOK	31,067.39
APCHK TOTALS:				
Total of 7 Checks:				75,751.13
Less 0 Void Checks:				0.00
Total of 7 Disbursements:				75,751.13

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<p style="text-align: center;"><b>ITEM TITLE:</b></p> <p>An Ordinance Amending the Village Code of the Village of Willowbrook Title 4 Chapter 2 Section 4-2-24 – Plumbing Code Adopted</p>	<p style="text-align: right;"><b>AGENDA NO.</b>                    <b>5d</b></p> <p style="text-align: right;"><b>AGENDA DATE:</b> <u>1/25/16</u></p>
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<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>Tim Halik</u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN TH</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>Tim Halik</u>
<b>REVIEWED &amp; APPROVED BY COMMITTEE:</b> YES <input checked="" type="checkbox"/> on <u>January 11, 2016</u> NO <input type="checkbox"/> N/A <input type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

In March of last year, the Village received a letter from the Illinois Department of Natural Resources (IDNR) advising of changes to the Lake Michigan Allocation Rules and Regulations. These new regulations required that the Village adopt two (2) new provisions within our plumbing code:

- 1) Require that all new and replacement plumbing fixtures be labeled WaterSense products.
- 2) Adopt water conservation requirements that restrict non-essential outside water use.

The Village’s plumbing code is an adoption of the Illinois State Plumbing Code (ISPC) minimum standards with several local amendments to make areas of the code more restrictive, such as in the area of protection from potable water contamination (i.e., backflow prevention). Any amendments made to the ISPC first requires approval from the Illinois Department of Public Health (IDPH). There is a pre-approval process that must be followed before a plumbing ordinance can be adopted locally. The Village submitted our proposed plumbing ordinance changes, including the IDNR required items, in August of 2015 but soon after learned that the IDPH staff’s application of the Illinois Plumbing License Law has changed and as a result our proposed amendments could not be approved. Staff felt that this response from the IDPH was unacceptable and an overreach by the department since their current position is not supported by the language in the state statute.

The issue was then raised with the DuPage Mayors and Managers Conference (FDMMC) Regulatory Issues Committee, two (2) state elected officials that represent our district, a representative from the International Code Council (ICC), and the lobbyist for the Suburban Building Officials Conference (SBOC). This effort ultimately led to contact with IDPH administrative officials to further discuss the matter. Shortly thereafter, the IDPH sought to clarify their authority through an administrative rule change. This action must follow the Joint Commission on Administrative Rules (JCAR) process, which includes a public comment period. The public comment period was open until December 21, 2015. Prior to the end of the comment period, several Councils of Government (COG) including the Illinois Municipal League (IML) and the DuPage Mayors and Managers Conference submitted comments letters opposing the proposed rule change by the IDPH.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

On January 4, 2016, the Village received the attached letter from the IDPH providing tentative approval of our proposed plumbing code amendments, including those amendments aimed at protecting the Village water system. The ordinance must now be considered by the Village Board. If the ordinance is passed, a certified copy must be sent to the IDPH to receive final approval.

**ACTION PROPOSED:**

Pass Ordinance.



525-535 West Jefferson Street • Springfield, Illinois 62761-0001 • [www.dph.illinois.gov](http://www.dph.illinois.gov)

January 4, 2016

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527

**RE: Draft Ordinance Submittal Review  
Village of Willowbrook**

Dear Mr. Halik,

The Illinois Department of Public Health (“IDPH” or “Department”) has reviewed the submittals provided by the Village of Willowbrook (the “Village”), received on September 10, 2015, for local ordinances related to the Illinois Plumbing Code (the “Code”; 77 Ill. Adm. 890). Pursuant to Section 36 of the Illinois Plumbing License Law (the “Law”; 225 ILCS 320/36) and Section 750.800(b) of the Illinois Plumbers Licensing Code (68 Il. Adm. Code 750.800(b)), IDPH is authorized to review and approve proposed ordinances of governmental units related to the design of plumbing materials and the operation and maintenance of plumbing systems. The Village’s proposed ordinances have been individually reviewed and the following are tentatively approved by the Department:

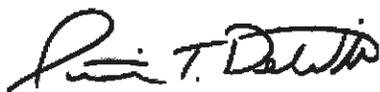
- Amendment of Section 890.630 by adding a new section “j” to read as follows: “j) A safe pan will be required for water heaters, furnaces and clothes washers located above living/occupied areas.”
- Deletion of Section 890.1130 c) Backflow in its entirety, and in lieu thereof substitute and insert the following: “c) Backflow. A Reduced Pressure Zone (R.P.Z.) will be required on all new commercial buildings on both fire and domestic water service.”
- Amend Section 890.1340 Determination of Sizes for Drainage Systems by deleting paragraph (b) (2) in its entirety and in lieu thereof substitute with the following new paragraph (b)(2):  
  
“(b)(2) Any dwelling containing any floor (including basement floors) below grade at foundation is required to have an overhead sewer. All fixtures located below grade shall drain to an ejector pit with pump. Approval of the Building Official shall be required for any other type of installation. Pressure-building drains shall be sized in accordance with the ejector pump manufacturer’s recommendation, but shall not be less than 2 inches in diameter.”
- In Section 890.1380 Storm Water Drainage within a Building. Amend by adding a new section “a” to the end of the paragraph: “a) Sizing of piping and appurtenances related to building storm drainage shall conform to building standards as reference-d in the Village of Willowbrook Ordinance, 4-2-24 (C)(8), Storm Drainage.”

- Section 890.1410 Materials amend by adding the following new subsection “c”: “c) Refer to Village of Willowbrook chart indicating approved materials for piping.”
- Delete Section 890. Appendix A – Table A: Approved Building Drainage/Vent Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping.
- Delete Section 890. Appendix A – Table A: Approved Materials for Water Service Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping and add: “Minimum 5’-6” of cover on all outside water mains/services is required.”
- Delete Section 890. Appendix A – Table A: Approved Materials for Water Distribution Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping.
- Section 890. Appendix A – Table P: Demand at Individual Water Outlets shall be amended by adding the following new subsections “a” and “b”:
  - a) All fixtures shall bear the “WaterSense” product label, as specified by the U SEPA.
  - b) All new and/or replacement law irrigation sprinkler systems shall be equipped with a “WaterSense” labeled irrigation controller and be in compliance with Section 2.5(g) of the Illinois Plumbing License Law [225 ILCS 320].

To proceed please provide your tentatively approved local ordinances to your village council for adoption. Once adopted the Village of Willowbrook shall provide a certified copy of the adopted ordinance, accompanied by a letter acknowledging that IDPH-approved ordinances are subject to Section 750.800 of the Plumbers Licensing Code, to IDPH. Whereupon, IDPH will issue Certificates of Approval for the IDPH-approved local ordinance amendments.

Please refer any questions concerning the approval process to Darrah Dunlap, Public Health Policy Analyst, at [darrah.dunlap@illinois.gov](mailto:darrah.dunlap@illinois.gov) or 217-785-2065.

Best Regards,



Justin DeWitt, P.E., LEED AP  
Chief, General Engineering

**4-2-24: PLUMBING CODE ADOPTED:**

Approved Materials for Piping Chart:

<b>VILLAGE OF WILLOWBROOK</b>		
<b>APPROVED MATERIALS FOR PIPING</b>		
<b>MATERIAL TYPE:</b>	<b>RESIDENTIAL</b>	<b>COMMERCIAL</b>
<b><u>UNDERGROUND WASTE &amp; VENT</u></b>		
Cast Iron Soil	X	X
PVC Schedule 40 (No Cell Core)	X	X
<b><u>ABOVE GROUND WASTE &amp; VENT</u></b>		
Cast Iron (Lead Joints / Repair Only)	X	X
Cast Iron No Hub	X	X
Galvanized Pipe	X	X
PVC Schedule 40 (No Cell Core)	X	X
Copper Type M, L, & K	X	X
<b><u>ABOVE GROUND STORM</u></b>		
Cast Iron (Lead Joints / Repair Only)	X	X
Cast Iron no Hub	X	X
Galvanized Pipe	X	X
PVC Schedule 40 (No Cell Core)	X	X
Copper Type M, L, & K	X	X
<b><u>UNDERGROUND WATER</u></b>		
Ductile Iron Class 52	X	X
Copper Type K	X	X
<b><u>ABOVE GROUND WATER</u></b>		
Copper Type L	X	X
Copper Type K	X	X

Revised 08/06/2015

ORDINANCE NO. 16-O-\_\_\_\_\_

AN ORDINANCE AMENDING THE VILLAGE CODE OF THE VILLAGE OF WILLOWBROOK  
TITLE 4 CHAPTER 2 SECTION 4-2-24 – PLUMBING CODE ADOPTED

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**BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Village Code of the Village of Willowbrook be amended as follows:

**SECTION ONE:** That Title 4, Chapter 2, Section 4-2-24 of the Village Code of the Village of Willowbrook entitled “Plumbing Code Adopted” is hereby deleted in its entirety and, in lieu thereof, the following language shall be substituted:

**“4-2-24: PLUMBING CODE ADOPTED:**

- (A) Code Adopted:** There is hereby adopted by reference as if fully set out herein that certain code known as the Illinois State Plumbing Code, prepared and published by the Illinois Department of Public Health (IDPH), together with the additions, insertions, deletions and changes hereinafter set forth, three (3) copies of which have been on file for a period of more than thirty (30) days prior to the adoption of this section and are now on file in the office of the Village Clerk.

**The design and installation of plumbing systems, including sanitary and storm drainage, sanitary facilities, water supplies and storm water and sewage disposal in buildings shall comply with the requirements of this section and accepted engineering practices as defined in the Illinois State Plumbing Code.**

- (B) Amendments:** The following additions, insertions, deletions and changes are hereby made to the Illinois plumbing code:
- 1. Amendment of Section 890.630 by adding a new section “j” to read as follows: “j) A safe pan will be required for water heaters, furnaces and clothes washers located above living/occupied areas.”**
  - 2. Deletion of Section 890.1130 c) Backflow in its entirety and in lieu thereof substitute and insert the following: “c) Backflow. A Reduced Pressure Zone (R.P.Z.) will be required on all new commercial buildings on both the fire and domestic water service.”**
  - 3. Amend Section 890.1340 Determination of Sizes for Drainage Systems by deleting paragraph (b)(2) in its entirety and in lieu thereof substitute with the following new Paragraph (b)(2):**

**“(b)(2) Any dwelling containing any floor (including basement floors) below grade at foundation is required to have an overhead sewer. All fixtures located below grade shall drain to an ejector pit with pump. Approval of the Building Official shall be required for any other type of installation. Pressure-building drains shall be sized in accordance with the ejector pump manufacturer’s recommendation, but shall not be less than 2 inches in diameter.”**

- 4. In Section 890.1380 Storm Water Drainage within a Building. Amend by adding a new section “a” to the end of the paragraph: “a) Sizing of piping and appurtenances related to building storm drainage shall conform to building standards as referenced in the Village of Willowbrook Ordinance, 4-2-24(C)(8), Storm Drainage.”**
- 5. Section 890.1410 Materials amend by adding the following new subsection “c”: “c) Refer to Village of Willowbrook chart indicating approved materials for piping.”**
- 6. Delete Section 890. Appendix A – Table A: Approved Building Drainage/Vent Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping.**
- 7. Delete Section 890. Appendix A – Table A: Approved Materials for Water Service Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping and add: Minimum 5’-6” of cover on all outside water mains/services is required.**
- 8. Delete Section 890. Appendix A – Table A: Approved Materials For Water Distribution Pipe in its entirety and in lieu thereof substitute the Village of Willowbrook chart indicating approved materials for piping.**
- 9. (Appendix A/Page-53) Section 890 Appendix A- TABLE P: Demand at Individual Water Outlets. Amend by adding the following new subsections “a, b & c”:**
  - a) All Fixtures shall bear the “WaterSense” product label, as specified by the USEPA.**
  - b) All new and/or replacement lawn irrigation sprinkler systems shall be equipped with a “WaterSense” labeled irrigation controller and be in compliance with Section 2.5(g) of the Illinois Plumbing License Law [225ILCS 320].”**

**SECTION TWO:** That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION THREE:** That this Ordinance shall be in full force and effect ten (10) days from and after its passage, approval, and publication in pamphlet form as provided by law.

PASSED and APPROVED this 25<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal from Cameo Electric, Inc. for Materials and Labor Necessary to Directional Bore Two (2) Underground Conduits from the Police Building to the Community Resource Center Building to Provide for Communication System Interconnection Between the Two

AGENDA NO. 5e

AGENDA DATE: 1/25/16

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: TEHLIK

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: TEHLIK

REVIEWED & APPROVED BY COMMITTEE: YES  NO  N/A

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

In accordance with several updates on the status of the police renovation project provided by Chairman Mistele, the schematic design phase of the project is now complete. However, the project architect has provided an updated cost estimate for the project, based on the schematic design input, which exceeds the project budget. As a result, we are now attempting to identify areas within the scope of work that can be reduced to lower the project cost before it is brought before the Board for authorization to proceed.

One such area is the originally planned phased construction to complete the project. At the time, there was no ability for the police department to completely move out of the 7760 Quincy building to allow the renovation to be completed at once. This was due to the fact that there was no available facility to use as a temporary police station. Therefore, it was decided that the project would be completed in two (2) separate phases to allow the police department personnel to remain in the building while renovation work was completed. This is an expensive plan which also will result in an overall delay in project completion, since the construction trades must complete their work twice, on two separate occasions. However, in December the business tenant within the 825 Midway Drive building found a new home early (their lease expiration was June of 2016) and vacated the building. A subsequent review of the available space in the building revealed that it could be converted into a temporary police station relatively easily and meet the police department's needs.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

One important area as part of the required conversion is that of communication. Since the telephone system and internet system originate at the 7760 Quincy building, these utilities must be run to the 825 Midway building in much the same manner they were run to the new Village Hall. Staff contacted the electrician that completed the underground bore installation for the Village Hall and requested a proposal to run similar conduits to the 825 Midway building. The project architect estimated that the installation of these conduits would cost approximately \$8,400. Cameo Electric's proposal to complete this work is \$6,898. Staff would recommend that this work be completed now so that the remainder of the required items as part of the conversion can progress.

### ACTION PROPOSED:

Adopt Resolution.

RESOLUTION NO. 16-R-\_\_\_\_\_

A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal from Cameo Electric, Inc. for Materials and Labor Necessary to Directional Bore Two (2) Underground Conduits from the Police Building to the Community Resource Center Building to Provide for Communication System Interconnection Between the Two

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BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor and Village Clerk be and the same are hereby authorized and directed to accept the proposal from Cameo Electric, Inc. to install two (2) underground conduits via directional bore from the Village Police Building, located at 7760 Quincy Street, to the Village Community Resource Center Building, located at 825 Midway Drive, for an amount not to exceed \$6,898.00 in accordance with the proposal attached hereto as Exhibit "A" which is, by this reference, expressly incorporated herein.

ADOPTED and APPROVED this 25<sup>th</sup> day of January, 2016

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# CAMEO ELECTRIC, INC

10526 W. Cermak Rd., Suite 113  
Westchester, Illinois 60154  
Phone 708-836-1870 Fax 708-836-1873

To: Village of Willowbrook  
Attn: Tim Halik  
Date: 12/28/15

Re: Directional Bore & Conduit for LV

We are pleased to submit our proposal with the following clarifications:

1. Furnish and install approx 160 L.F of (2) 3" conduits. (Refresh Julie markings)
2. Furnish and install rigid 90's to accommodate existing trough and new outdoor rated j-box at new building
3. Furnish and install (20 4" cores at new building to accommodate (2) 3" conduits
4. Furnish and install (1) indoor rated j-box and (20 3" EMT conduit stubbed above ceiling to accommodate low voltage
5. Furnish and install pull string for low voltage contractor

--EXCEPTION--

1. Seeding and patching of grass by others
2. If bushes need to be removed reinstall by others
3. Permit and inspection fees by others

Total-----\$6,898.00

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<p style="text-align: center;"><b>ITEM TITLE:</b></p> <p>A RESOLUTION APPOINTING A DELEGATE AND ALTERNATE DELEGATE TO THE INTERGOVERNMENTAL RISK MANAGEMENT AGENCY ("IRMA")</p>	<p><b>AGENDA NO.</b> <span style="float: right;">5f</span></p> <p><b>AGENDA DATE:</b> <u>1/25/16</u></p>
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<b>STAFF REVIEW:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>Tim Halik</u>
<b>LEGAL REVIEW:</b> Thomas Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN TH.</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>Tim Halik</u>
<b>REVIEWED &amp; APPROVED BY COMMITTEE:</b> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

The Village of Willowbrook is represented on the Intergovernmental Risk Management Agency ("IRMA") Board of Directors through an appointed delegate and alternate delegate. The IRMA Board meets on a quarterly basis to review and discuss relevant risk management related matters affecting municipalities. The designated alternate delegate would attend meetings in the event that the primary delegate could not. The appointment to serve on the IRMA Board of Directors is made by Resolution adopted by the Village Board.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

One of the duties assigned to the position of Assistant to the Village Administrator within the Administration Department is that of risk management. Therefore, Garrett Hummel is currently appointed to serve as the primary delegate to IRMA, and will remain the primary delegate. With the prior absence of a full-time finance director also performing some H.R. functions, Deputy Chief Mark Altobella currently serves as the appointed alternate delegate, in times when Garrett is unavailable to attend meetings. Now that Carrie Dittman has been hired as our full-time finance director and is performing some H.R. functions, and given that Garrett will be on an extended leave to donate a kidney to his son Calvin, it is recommended that Carrie be appointed as the designated alternate delegate to IRMA.

**ACTION PROPOSED:**

Adopt the attached resolution.

RESOLUTION NO. 16-R-\_\_\_\_\_

A RESOLUTION APPOINTING A PRIMARY DELEGATE AND ALTERNATE DELEGATE TO THE  
INTERGOVERNMENTAL RISK MANAGEMENT AGENCY ("IRMA")

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WHEREAS, the Village of Willowbrook adopted the Contract and By-Laws of the Intergovernmental Risk Management Agency by Ordinance and thereby became a member of said cooperative; and,

WHEREAS, said contract provides that member units of local government shall by majority vote of its corporate authorities select one (1) individual to represent that body on the Board of Directors of said Intergovernmental Agency ; and,

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, Du Page County, Illinois, as follows:

SECTION ONE: That Garrett Hummel, Assistant to the Village Administrator, Village of Willowbrook, is hereby appointed to represent the Village of Willowbrook as the primary delegate on the Board of Directors of said Intergovernmental Risk Management Agency.

SECTION TWO: That Carrie Dittman, Director of Finance, Village of Willowbrook, is hereby appointed as the alternate delegate to serve if Garrett Hummel is unable to carry out his aforesaid duties as the representative of the Village of Willowbrook to said Intergovernmental Agency.

SECTION THREE: That this Resolution shall be in full force and effect from and after its adoption and approval as provided by law.

ADOPTED and APPROVED this 25<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

A MOTION TO APPROVE APPLICATION FOR A LICENSE TO HOLD A RAFFLE – HOLY TRINITY CATHOLIC PARISH

**AGENDA NO.****5g****AGENDA DATE:** 01/25/16**STAFF REVIEW:** Cindy Stuchl**SIGNATURE:** Cindy Stuchl**LEGAL REVIEW:** Thomas Bastian, Village Attorney**SIGNATURE:** THOMAS BASTIAN TA**RECOMMENDED BY VILLAGE ADMIN.:****SIGNATURE:** TE Held**REVIEWED & APPROVED BY COMMITTEE:** YES  N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

Holy Trinity Catholic Parish has submitted an application to hold a raffle at their fund raising event. This event will help raise money for the parish. This event will be held on April 23, 2016 at Arabian Knights Farm, 6526 Clarendon Hills Road, Willowbrook, Illinois.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)**

This is the first application for this organization.

**ACTION PROPOSED:** Approve Application to hold a Raffle.



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## LICENSE TO HOLD A RAFFLE

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton

### Director of Finance

Carrie Dittman

1. The name of the Licensee:  
Holy Trinity Catholic Parish
2. The aggregate retail value of all prizes or merchandise awarded by the licensee in a single raffle.  
\$8,500
3. The maximum retail value of each prize awarded by the licensee in a single raffle.  
1 - \$5,000; 1 - \$2,500; 1 - \$1,000
4. The maximum price which may be charged for each raffle chance issued or sold.  
\$25.00
5. The days during which chances may be issued or sold.  
January 26 – April 23, 2016
6. The date on which the drawing is to be held.  
April 23, 2016
7. The place at which the drawing is to be held.  
Arabian Knights Farm, 6526 Clarendon Hills Road, Willowbrook

APPROVED BY THE MAYOR AND BOARD OF TRUSTEES AT THEIR REGULAR MEETING HELD ON THE 25<sup>th</sup> DAY OF January, 2016.

\_\_\_\_\_  
Leroy R. Hansen  
Village Clerk



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5594

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## APPLICATION FOR LICENSE TO HOLD A RAFFLE

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton



Proud Member of the  
Illinois Route 66 Scenic Byway

1. Name, age and address of the applicant in the case of an individual or in such other case of the duly authorized representative of the applicant, the date of incorporation of any corporation, the date of formation of any other organization, the object for which an organization or corporation was formed, the names and addresses of the officers and directors of any organization or corporation.

Name	Address	Age
Rafal Wasilewski, Rev.	25 E. Richmond St.	34 years
Parish Administrator	Westmont, IL 60559	
Holy TRINITY PARISH		

Date of incorporation, if corporation: 1938

Date of formation of organization: \_\_\_\_\_

Object for which organization or corporation was formed: Religious Services.

2. The area or areas within the Village in which raffle chances will be sold or issued and the time period during which raffle chances will be sold or issued.  
Arabian Knights Farm, 6526 Clarendon Hill Road  
6pm - 10pm on Saturday, April 23, 2016
3. The date on which the drawing is to be held  
Saturday, April 23, 2016
4. The place at which the drawing is to be held.  
Arabian Knights Farm
5. Has the applicant ever been convicted of a felony and been disqualified to receive a license by reason of any matter or thing contained in Chapter 3-17 of the Village of Willowbrook Code of Ordinances, laws of the State or of the United States of America.

Yes: \_\_\_\_\_ No: X

If yes, explain: \_\_\_\_\_

6. The aggregate retail value of all prizes or merchandise awarded by the licensee in a single raffle.

\$ 8,500

7. The maximum retail value of each prize awarded by the licensee in a single raffle.

\$ 5,000 , \$ 2,500 , \$ 1,000

8. The maximum price which may be charged for each raffle chance issued or sold.

\$ 25 per ticket

9. Has a previous license issued by any state or subdivision thereof or by the Federal government ever been revoked:

Yes: \_\_\_\_\_

No: X

If yes, state reasons: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10. Affirm that the applicant will not violate any of the laws of the State or of the United States or any ordinances of this Village in the conduct of raffles.

Affirm

11. Affirm that the applicant will not allow gambling devices or gambling on the premises where the drawing will be held.

Affirm

12. Attach a sworn statement attesting to the not-for-profit character of the prospective licensee organization signed by the presiding officer and secretary of that organization.

Signature:

Pentafal Wawilenski, C.E.

Date

1/11/2016

NON-PROFIT CERTIFICATE

It is hereby certified and attested by the presiding officer and secretary of Holy Trinity Catholic Parish, that it is a non-profit organization, organized and conducted on a not-for-profit basis, with no personal profit inuring to any one as a result of operation.

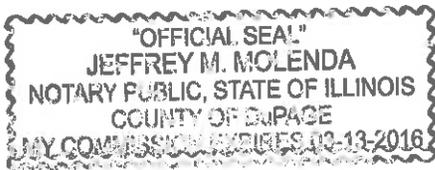
Rev. Rafal Wasilewski, C.R. 1/11/2016  
Presiding Officer

STATE OF ILLINOIS

COUNTY OF DUPAGE

The foregoing instrument was acknowledged before me this 11<sup>th</sup> day of January, 2016 by REV. RAFAŁ WASILEWSKI, C.R. (name of officer or agent, title of officer or agent) of HOLY TRINITY CATHOLIC PARISH (name of organization acknowledging) a ILLINOIS (state or place of organization) non-profit organization, on behalf of the organization.

Jeffrey M. Molenda  
Notary Public



Printed Name: JEFFREY M. MOLEND

My Commission Expires:  
03-13-2016

**Internal Revenue Service  
P.O. Box 2508  
Cincinnati, OH 45201**

**Department of the Treasury**

**Date: May 29, 2015**

**Person to Contact:**

R. Meyer ID# 0110429

United States Conference of Catholic  
Bishops  
3211 4<sup>th</sup> Street, NE  
Washington, DC 20017-1194

**Toll Free Telephone Number:**  
877-829-5500

**Employer Identification Number:**  
53-0196617

**Group Exemption Number:**  
0928

Dear Sir/Madam:

This responds to your May 19, 2015, request for information regarding the status of your group tax exemption.

Our records indicate that you were issued a determination letter in March 1946, that you are currently exempt from federal income tax under section 501(c)(3) of the Internal Revenue Code, and are not a private foundation within the meaning of section 509(a) of the Code because you are described in sections 509(a)(1) and 170(b)(1)(A)(i).

With your request, you provided a copy of the *Official Catholic Directory for 2015*, which includes the names and addresses of the agencies and instrumentalities and the educational, charitable, and religious institutions operated by the Roman Catholic Church in the United States, its territories, and possessions that are subordinate organizations under your group tax exemption. Your request indicated that each subordinate organization is a non-profit organization, that no part of the net earnings thereof inures to the benefit of any individual, and that no substantial part of their activities is for promotion of legislation. You have further represented that none of your subordinate organizations is a private foundation under section 509(a), although all subordinates do not all share the same sub-classification under section 509(a). Based on your representations, the subordinate organizations in the *Official Catholic Directory for 2015* are recognized as exempt under section 501(c)(3) of the Code under GEN 0928.

Donors may deduct contributions to you and your subordinate organizations as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to them or for their use are deductible for federal estate and gifts tax purposes if they meet the applicable provisions of section 2055, 2106, and 2522 of the Code.

Subordinate organizations under a group exemption do not receive individual exemption letters. Most subordinate organizations are not separately listed in Publication 78 or the EO Business Master File. Donors may verify that a subordinate organization is included

in your group exemption by consulting the *Official Catholic Directory*, the official subordinate listing approved by you, or by contacting you directly. IRS does not verify the inclusion of subordinate organizations under your group exemption. See IRS Publication 4573, *Group Exemption*, for additional information about group exemptions.

Each subordinate organization covered in a group exemption should have its own EIN. Each subordinate organization must use its own EIN, not the EIN of the central organization, in all filings with IRS.

If you have any questions, please call us at the telephone number shown in the heading of this letter.

Sincerely,

A handwritten signature in black ink that reads "Tamera Ripperda". The signature is written in a cursive style with a large, prominent initial "T".

Tamera Ripperda  
Director, Exempt Organizations

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

<b>ITEM TITLE:</b> Receive Plan Commission Recommendation – Public Hearing 15-07 – Amendment to a PUD to allow for the reduction in “dwell time” on an approved digital sign for each message from 20 seconds to 8 seconds. 15-106 W. 63 <sup>rd</sup> Street	<b>AGENDA NO.</b> <b>5h</b>  <b>AGENDA DATE:</b> <u>1/25/16</u>
--	---

<b>STAFF REVIEW:</b> Jo Ellen Charlton, Planning Consultant	<b>SIGNATURE:</b> <u></u>
<b>LEGAL REVIEW:</b> Tom Bastian, Village Attorney	<b>SIGNATURE:</b> <u>THOMAS BASTIAN JR.</u>
<b>RECOMMENDED BY:</b> Tim Halik, Village Administrator	<b>SIGNATURE:</b> <u>Tim Halik</u>
<b>REVIEWED &amp; APPROVED BY COMMITTEE:</b> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A <input checked="" type="checkbox"/>	

**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The original PUD, which includes the shopping center, the bank, and the vacant parcel north of the bank, was approved in 1986. An amendment to that PUD was authorized by Ordinance 14-O-24 to allow and regulate a new digital sign for the shopping center. One of the conditions of that approval was a “dwell time” that required each message be displayed for no less than 20 seconds before changing to the next message. This petition requests approval to reduce the dwell time to 8 seconds.

The requested amendment would only impact the shopping center parcel within the PUD.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The Plan Commission conducted public hearings for this petition at their December 2, 2015 and January 13, 2016 meetings. The applicant submitted documentation in a 9 tab binder in support of his request at the December meeting and the Plan Commission continued the public hearing to January to provide staff an opportunity to review and comment on the information submitted. A copy of the binder is available in Village Hall for review.

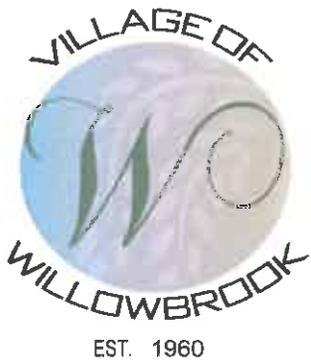
Staff’s summary of the information concluded that while the information provided by the applicant did reveal that there was no causal relationship between dwell times and crashes, the reports went on to state that just because there is no relationship doesn’t mean digital signs don’t cause distractions. Additional findings in the studies suggested that digital signs in “complex” driving environments such as the subject property are more problematic than on an open road, and that there appears to be some justification that motorist distraction increases when they can view more than two messages in one passing movement. Staff further commented that the State of Illinois and the City of Chicago both had done some research before settling on a 10 second dwell time.

The Plan Commission discussed the difference between 10 seconds and the requested 8 seconds and ultimately settled on the 8 seconds, noting that the formula provided in the testimony that suggests dwell time based on the distance the sign can be seen and travel speed supports the 8 seconds.

There were five of seven commissioners present at the January meeting. By a 5-0 vote of the members present, the Plan Commission voted to recommend approval of a reduction in the dwell time from 20 seconds to 8 seconds.

**ACTION PROPOSED:**

January 25, 2016: Receive Plan Commission Recommendation.



# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## MEMORANDUM

**MEMO TO:** Frank A. Trilla, Mayor  
Board of Trustees

**MEMO FROM:** Daniel Kopp, Chairman, Plan Commission

**DATE:** January 14, 2016

**SUBJECT:** Zoning Hearing Case 15-07: Willowbrook Square Management Company-Amendment to Planned Unit Development (PUD) to Reduce the "Dwell Time" for each Message on an Approved Digital Sign from 20 seconds to 8 seconds

At the regular meeting of the Plan Commission held on January 13, 2016, the above referenced application was discussed and the following motion was made:

**MOTION:** Made by Commissioner Kaucky, seconded by Vice-Chairman Wagner that based on the submitted petition and testimony presented, I move that the Plan Commission accept and forward the findings of fact reviewed and discussed as part of PC 15-07 to the Village Board and recommend that the Village Board approve an amendment to the previously approved Planned Unit Development for the subject property to allow for a reduction in the dwell time for the digital sign from 20 seconds to 8 seconds.

**ROLL CALL:** AYES: Commissioners Lacayo, Soukup, Kaucky, Vice-Chairman Wagner and Chairman Kopp. NAYS: None. ABSENT: Commissioners Remkus and Ruffolo.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton



Proud Member of the  
Illinois Route 66 Scenic Byway

# VILLAGE OF WILLOWBROOK

## STAFF REPORT TO THE VILLAGE BOARD

**Village Board Receive and Village Board Consideration:** January 25, 2016

**PC 2<sup>nd</sup> Meeting Date:** January 13, 2016

**PC 1<sup>st</sup> Meeting Date:** December 2, 2015

**Prepared By:** Jo Ellen Charlton, Planning Consultant

**Case Title:** Zoning Hearing Case Number 15-07  
Willowbrook Square PUD Amendment/Digital Sign  
14-106 W. 63<sup>rd</sup> Street, Willowbrook, IL

**Petitioner:** David Froberg for Willowbrook Square Management Co.  
6262 S. Rte 83 #302, Willowbrook, IL 60527

**Action Requested by Applicant:** Amendment to PUD to reduce the "dwell time" on approved digital sign for each message from 20 seconds to 8 seconds

**Location:** North side of 63<sup>rd</sup>, west of Route 83

**Purpose:** Provide passing motorists with more than one tenant display

**Existing Zoning:** B-2 Community Shopping/PUD

**Existing Land Use:** Willowbrook Square Shopping Center

**Property Size:** 1.807 Acres

**Shopping Center Size:** 29,060 square feet of retail tenant space

<b>Surrounding Land Use:</b>	<i>Use</i>	<i>Zoning</i>
<i>North</i>	The Knolls Condos	R-5
<i>South</i>	Bank	B-2 PUD
<i>East</i>	Ruth Lake	Unincorporated
<i>West</i>	Lake	B-2 PUD

**Necessary Action by Village Board:** Receive Plan Commission Recommendation and consideration of Ordinance.

**Background/History:**

On May 7, 2014, the Plan Commission held a public hearing and considered this applicant's request to amend the PUD to allow for the construction and operation of a digital sign at the shopping center located on 63<sup>rd</sup> Street west of Route 83 as shown in the picture below.



Given that the Village did not allow any digital signs at the time of the application, staff did some initial investigation of the regulations and materials available at that time and came up with some guidelines to allow the digital sign, but to provide limitations aimed at limiting possible nuisances and safety concerns. Specifically, controlling the brightness and regulating how messages are displayed and transitioned, and the “dwell time” each message must be displayed before changing to the next were discussed. Staff research at the time suggested that static messages and longer dwell times would minimize the distraction to motorists, which could potentially prevent auto and pedestrian related accidents at the signalized intersection that is proximate to this sign.

Based on the applicant's testimony at the public hearing, the Plan Commission supported the applicant's request to reduce the “dwell time” from a conservative 30 seconds to 20 seconds, which was ultimately approved by the Village Board. Not too long after the sign was installed, code enforcements cited the owner for not complying with the 20 second “dwell time” requirements. The applicant and the “Do It Yourself Dogwash” tenant in the center both contacted the Village that the “dwell time” was too long, and that for it to be effective, more than one message needed to be displayed while motorists were passing by in one trip. The applicant asked whether they could “experiment” with different times, and was informed

that he would need to comply with the ordinance that had been approved on his behalf unless he revised it again or the Village adopted amendments to its sign code to allow and regulate digital signs Village wide.

The applicant submitted the petition for this case requesting the “dwell time” condition in the ordinance that allowed the digital sign be reduced from 20 seconds to 8 seconds. The applicant provided testimony at the public hearing which was opened on December 2, 2015 in support of his request. The Plan Commission was provided with a binder that contained 9 tabs and included data and summaries of various historical reports and/or local codes that regulate digital signs. The applicant’s verbal testimony included a review of a memo from the applicant that summarized the information in the binder. The Plan Commission continued the public hearing to January 13, 2016 to provide an opportunity to review the documentation submitted.

Staff has evaluated this information in more detail in Exhibit 1, with a summary provided below. As mentioned in the previous staff report to the Plan Commission, the longer dwell times were initially approved by the Village so that motorists would not divert too much attention to a sign that displayed multiple messages during one trip past the sign. Clearly, the goal of the applicant’s request to reduce the dwell time is to provide motorists with more than one message, so it is important to weigh that benefit to the applicant and his tenants against any possible safety risk of drawing the motorists’ attention away from the road.

The applicant used information in the first three studies (Tabs 1 through 3) to make a point that there is no causal relationship between electronic signs and automobile crashes. The first two studies, however, went on to acknowledge that while this is true, electronic signs are a distraction to drivers, and that the lack of such a research finding does not preclude a causal relationship between electronic billboards and crashes. Both studies pointed to the need for more research. There are many factors that are distracting besides dwell time, and drivers in “complex” driving environments (on curvy roads, at intersections, in the presence of other signs, etc.) are more at risk. Other relevant data in these reports pointed to suggestions that glances longer than 2 seconds were problematic and that perhaps presenting a driver with more than 2 different messages should be avoided. This latter thought was the basis for the dwell time formula presented in Tab 9. The problem with applying the formula used in Tab 9 might be that the formula appears to be intended for billboards along limited access roads...not for a digital sign on a local street with a traffic signal. Applying the formula to the Willowbrook Square location suggests a dwell time of about 6 seconds...which given the 40 mile per hour speed zone should allow a passing motorist to see 2 messages from about 350 feet away...unless they get stopped by a red light, where they could see several messages based on a 6 second interval. This could be a problem if people spend time waiting to see the next message instead of watching for the green light and moving forward in a timely fashion. Understanding that these reports appear to be geared toward billboards, the data suggests it might be important to be more careful at the subject site given its “complex” surroundings (a stop light, cross walks, turn lanes, other commercial signage, etc.). Staff’s opinion is that these reports do little to support the applicant’s request.

Although no information is available about why some of the other communities who regulate digital signage use the dwell times provided in their codes, this testimony is more compelling than the information from the studies discussed above. Of the community data provided, Chicago and Countryside allow 10 second dwell times, while Hinsdale and Westmont allow 5 second dwell times. It is important to note that Hinsdale only allows digital signs for government information signs. All communities provided in the analysis have adopted or revised these codes fairly recently. Westmont, for example, recently reduced their dwell time to 5 seconds and according to their Village staff, they have not

experienced any problems with that reduction, although it is not clear what studies if any they have based the reduction on or what kind of police or traffic reports that comment might be based on.

**Staff Summary to the Plan Commission:**

At the January meeting, staff provided an overview of the staff report which summarized a review of the documents provided at the December meeting. Staff summarized that it is clear that the trend for dwell times is lower since the Village approved the original PUD amendment for Willowbrook Square. While 20 seconds may now be considered a long dwell time given recently approved ordinances shared with the Village, the applicant's original request for 8 seconds and subsequent request to reduce even further to 6 seconds at the first public hearing may be excessive, particularly given the lack of supporting data. Chicago, Countryside and the State of Illinois all utilize 10 second dwell times, so if the Plan Commission wishes to consider something less without a lot of documentation, staff suggests that 10 seconds would be more acceptable than 8 or 6 second dwell times requested by the applicant. The Chicago and Countryside ordinances both relate to local signs on local roads, which is consistent with the sign location under consideration. No data was provided that addresses whether any reduction in dwell time will provide for a safe environment for motorists that drive past the sign. Staff reported that it is unclear whether that data exists.

A draft of the standards was provided to the Plan Commission, and staff indicated that if the Plan Commission completes the hearing and finalizes its vote, that comments from the testimony and the discussion would be incorporated into the final "findings" presented to the Village Board.

**Plan Commission Hearing Summary:**

The Plan Commission conducted a public hearing for this case at their December 2, 2015 and January 15, 2016 meetings. At the first hearing, the applicant provided documentation in support of his case, and the Plan Commission continued the hearing in order to allow staff time to analyze the documents. At the second hearing, staff provided the analysis presented in this report and the applicant responded and restated the request.

Public comments on this petition were only received by the Plan Commission from one person at the December meeting. Nancy Brown asked for clarification about the location of the sign and was provided with the information she needed.

The Plan Commission closed the public hearing at their January meeting. A summary of the comments raised by commissioners at both meetings is summarized below:

Lacayo:

- Asked whether decisions on this case would be applied consistently with other similar cases. Staff responded that similar requirements are anticipated for the Pete's Fresh Market sign, and that similar requirements would also be utilized on an actual amendment to the Sign Code if and when the Village Board provided direction to allow the signs more generally throughout the community in certain instances.
- Based on another question, staff also clarified that if this ordinance was approved at 10 seconds, and the Village later adopted a standard that allowed for shorter dwell times, the shorter dwell time would apply.
- In response to general discussion about where these signs might be appropriate throughout town, he likes the thought that each sign could be analyzed individually, as he believes there are certain areas and/or certain conditions under which a digital sign might be inappropriate, such as along

Clarendon Hills Road. He does, however appreciate the efficiency the signs provide for business owners.

- Noted that a reduction from 20 seconds to 10 seconds cuts the timing in half, and that was fair. He further emphasized a desire that the Village ensure that whatever is approved should be enforced, as he would not like a situation as reported by the applicant where communities approved a certain amount of time on the book and then don't enforce when signs display for lesser time.

Wagner:

- Asked whether the Village had further considered amending its Sign Ordinance to allow these signs generally. Staff responded that there has been no direction from the Village Board for a general Sign Ordinance amendment.
- Noted that while the digital sign by Hinsdale Central may be located in a similar situation, that it's a different type of sign. It's a wordier/text type of sign instead of a digital image/tv type of sign.
- Commented that a driver coming from Route 83 at 30 mph would probably not see more than 2 messages as recommended in the reports, but also acknowledges that 10 seconds would be the conservative approach.

Kopp:

- Feels that ten seconds is a "slam dunk" given that is the dwell times used by the State of Illinois and the City of Chicago, but questioned whether something less than that warranted.

Kaucky:

- Noted that drivers already deal with and manage many distractions such as looking at cell phones, and that lower dwell times help tenants. Supports 8 seconds.

**Motion:**

The following motion by Kaucky was seconded by Wagner and approved by a unanimous roll call vote of the members present at the January 2016 meeting.

**Based on the submitted petition and testimony presented, I move that the Plan Commission accept and forward the findings of fact reviewed and discussed as part of PC 15-07 to the Village Board and recommend that the Village Board approve an amendment to the previously approved Planned Unit Development for the subject property to allow for a reduction in the dwell time for the digital sign from 20 seconds to eight (8) seconds.**

Kaucky	Yes	Wagner	Yes	Kopp	Yes
Soukup	Yes	Lacayo	Yes		
Ruffolo	Absent	Remkus	Absent		

Exhibit 1

Prior Ordinance approved 20 second dwell time

Application requested 8 second dwell time

Testimony during first public hearing requested 6 seconds dwell time

Public notice referenced "a reduction in time"

Applicant's testimony: Base request on "more thorough survey of the literature and current practice for the operation of signs of this type". Conclude that findings "would safely allow Willowbrook to accept a reduction in dwell time to 6 seconds per panel.

Applicant provided a binder that included documentation in 9 tabs. Applicant's testimony about the information in the tabs is summarized below, along with further staff summary of the resource.

**Tab 1. Study prepared for the Village of Minnetonka, Minnesota in 2007 by SRF Consulting Group**

**Applicant summary:** "Study concluded that while driver distraction is a significant factor in car crashes...no causal relationship has been identified between electronic signs and crashes."

2 pages of a 42 page report were provided in Tab 1 of the binder. The full report is attached.

**Staff Summary:**

- Study conducted as a result of a lawsuit filed by a billboard company when the City turned off the power to an electronic billboard that was in violation of a "stop work order" due to the fact that the City's ordinance prohibited "flashing signs". A moratorium on further signage of this type was established by the City after the court's response to the legal action was to allow limited use of the LED billboard.
- Focus of the study was on billboards (not local digital signs)...and particularly "dynamic signs", which is defined as a change in the sign by means other than manual changes.
- Study did not "conclude" as stated. Rather, it is believed that the statement was part of a comment made by an expert that was interviewed. Please see the comments from Greg Davis on Page A6, which are as follows..."Davis stated that while no research has established a direct cause and effect relationship between electronic outdoor advertising signs and crash rates, the lack of such a research finding does not preclude a causal relationship between electronic billboards and crashes." He advocates for more study.
- Other "experts" provided the following input:
  - A University of Minnesota researcher believes electronic billboards "pose a driver distraction threat"...particularly in areas where there are curves, exits, entrances or similar changes in roadway features.
  - An Engineering Psychologist and highway safety expert, who was a lead author for a 1980 study on electronic billboards. He concluded that "it is neither feasible...nor necessary...to demonstrate a causal relationship between digital billboards and road safety. Rather, he believes that...there is support to develop guidelines and ordinances for the design, placement, and operation of digital billboards so as to lessen their potentially adverse impact on road safety and traffic operations. He noted that "drivers

spend more time looking at the unfamiliar signs than at familiar ones, suggesting digital billboards are more dangerous than traditional fixed billboards because of changing messages

- Studies from the 50's through the 70's concluded that "correlation between crash rates and roadside advertising (static signs during those times) is strongest in 'complex' driving environments." Complex driving environments are those that intersections or other areas where multiple decisions are required.
- The study concluded that "driver distraction plays a significant role in traffic safety. Driver distraction is a factor in one in four crashes. Major findings of the study include (Page A28):
  - Drivers subjected to digital advertising may be distracted enough to cause a crash
  - Dynamic signs hold drivers' attention for longer than static signs
  - There is a high correlation between crashes and the complexity of the driving environment. Intersections, curves, entrances, exits, etc. are all examples of complex driving environments.
  - While many studies may have not established a causal relationship between outdoor advertising signs and crash rates, it is not necessary to establish a relationships to show that they can make the driving task less safe. Some situations will likely contribute to more crashes than others if more studies were undertaken.

#### Regulatory Recommendations

1. Limit location of dynamic signs to "higher level commercial districts, by zoning overlay or for specific purposes, or to specific roadway types.
2. Regulate sign transitions and movement
3. Sign display time should correspond to the operation roadway speed (not the posted speed), allowing at most one image transition during the time that the sign is visible to a driver. This is the only recommendation in the report related to message length.
4. If possible, distinguish when dynamic signs should be allowed by right, versus when they should be regulated by special use or other special approvals.
5. Consider reasonable separation between dynamic signs.
6. Consider size limitations by zoning district
7. Consider regulations that dictate whether a dynamic sign can stand on its own, or whether it should be incorporated as part of a static sign.
8. Require light dimmers and provide authority to disable or turn of device if it malfunctions in a way that violates the code or is a nuisance.

#### **Tab2. "Effects of Outdoor Advertising Displays on Driver Safety", produced by CTC and Associates for Caltrans Division of Research and Innovation.**

**Applicant summary:** Study concludes there is no definitive research showing increase in car crashes due to the presence of billboard or digital billboards, although there is an increased crash risk based on the effects of billboards on driver attention and driver distraction. While there is significant research on the effects of outdoor advertising on driver distraction, there is little research definitively showing outdoor advertising affects crash rates.

**Staff Summary:**

- Focus on billboards, not local signs.
- Report conducted because California was considering generating income with advertisements on changeable message signs and outdoor advertising displays on state-owned rights of way outside the operational highway.
- Notes that a 2007 FHWA memo makes recommendations for 8 second message duration.
- References a 2009 report by Jerry Wachtel, who believes message duration should be based on site distances to the sign and speed limits. Again, these studies are all referencing billboards.
  - Billboards can have a significant effect on driver speed, lateral control, mental workload, ability to follow road signs, and eye movements and fixations, with older drivers affected.
  - Digital billboards attract more attention than regular billboards, with larger number of glances and longer glances.
  - The shorter the message duration, the longer the driver's glance in anticipation of the next message.
  - Glances of more than 2 second can double the crash risk.
  - The use of accident data in evaluating the impacts of billboard is ill-advised.
- Post 2009/Wachtel study summaries.
  - A 2010 study concludes that among distractions external to vehicles, roadside advertisements have the strongest correlation to collision frequency
  - Video billboards draw longer and more frequent glances than static advertisements, with drivers showing greater variation in lateral positing, driving more slowly and braking harder.
  - A 2011 study shows that video billboards also lead to more rear-end collisions when there is a hard-braking lead vehicle
  - A 2010 study showed no impact on driver performance after the installation of a digital billboard, and a 2009 study shows no correlation between hazardous intersection and the presence of digital billboards in Los Angeles
  - Preventing distraction by digital billboards requires controlling lighting at nighttime, lengthening message duration time, simplifying message information and prohibiting message sequencing.
  - Controlling lighting levels is just as important as controlling timing.
  - An undated chart from the Outdoor Advertising Association of America summarizes state regulations on changeable message advertising signs. Message duration ranges from 4 to 10 seconds, with 6 and 8 seconds most common. Again, these regulations reference billboards.

Study concluded that while driver distraction is a significant factor in car crashes...no causal relationship has been identified between electronic signs and crashes.”

2 pages of a 42 page report were provided in Tab 1 of the binder. The full report is attached.

**Tab3. California State University student project that evaluated the traffic and safety impact of a new electronic billboard near Sacramento State adjacent to Highway 50.**

**Applicant summary:** The presence of electronic billboards “does not appear to have a significant impact on traffic incidents in this section of highway.” No changes in measurable impact on road safety after the installation of the electronic billboard were observed.

**Staff Comments:**

- Again references billboards
- Report comments that because many of the road users at this segment are probably commuters, they may be familiar with the electronic billboard, and it does not appear to affect their driving.

**Tab 4. City of Chicago.**

- 2014 Amendment
- Regulates local digital signs
- No more than one message every 10 seconds
- Prohibits within 125 feet of residential districts
- Size restrictions (lesser of 25% of the face area or 32 square feet) in neighborhood commercial districts (lesser of 25% of the face area or 64 square feet) in larger commercial areas).
- Prohibits video displays except in sports stadiums and convention centers.
- Set maximum light levels
- Require automatic dimmer
- Must be turned off between midnight and 5AM, except when business open
- Must have automatic shut-off in the event of malfunction.

**Tab 5 Hinsdale.**

- Only regulates “Public Service Signs” when authorized by special use
- Dwell time for these signs is 5 seconds...although the applicant noted that Hinsdale South cycles with a 3 second dwell time, and that conditions along that road relative to the sign are similar to the Willowbrook Square Shopping Center.

**Tab 6 Countryside**

- Adopted in 2015
- Dwell time approved at 10 seconds
- Applicant notes government entities in Countryside cycle their signs at 3 second dwell time
- Cannot exceed 50 percent of allowable sign area
- Cannot be closer than 200 feet from residential properties
- Can't flash, dissolve, scroll, or blink.
- Only 1 digital sign per lot
- Brightness controls are utilized (5000 NIT during day, 1000 NIT during night, or 30 foot candles 4 feet from sign)
- Only operate during business hours of operation
- Must sign an affidavit agreeing to abide by the terms of the provisions of the code and stating that applicant understands all requirements and restrictions of the regulations

**Tab 7 Westmont**

- 5 second dwell time
- Allowed only in certain districts by special use permit
- Can't exceed 40 percent of the sign's total sign surface area, or 75 percent if a ground sign in a monument style
- Electronic board must be located below the primary business sign
- No flashing, animation, movement
- Live video is prohibited
- No transitions
- Light level requirements apply
- Text displays shall appear with a solid black background
- Dimmers are required and proof must be presented at time of permit application.

**Tab 8 Undated State Changeable Message Chart**

Dwell Time Statistics

4 seconds: 4 states

5 seconds: 2 states

6 seconds: 14 states, including Illinois....although the IDOT website references a 10 second requirement.

8 seconds: 17 states

10 seconds: 4 states

Other: 3 states

Not reported: 6 states

**Tab 9 FHWA Guidelines**

Formula for minimum "dwell time" according to Wachtel.

Not sure if this is intended for all signs or just billboards, although he indicates that the intent is so that a motorist will not see more than two successive messages.

Dwell time =

Feet to sign divided by speed limit (feet/second)

So If 350' and 40 mph

$$350 \div ((40 * 5280) / 60) / 60 = \text{dwell time}$$

$$350 \div 58.67 = 5.96$$

So If 1000' and 60 mph....as on

$$1000 \div 88 = 11.36$$

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

Receive Plan Commission Recommendation – Public Hearing 15-08 – Consideration of a special use authorizing a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building on the northeast corner of Plainfield and Route 83 as a multi-tenant building (current plans for Pete’s Fresh Market, Steinmart and Ulta), and construction of a new multi-tenant commercial building that parallels Plainfield Road, including both on-site improvements and offsite improvements to both Plainfield Road and Route 83, and approval of a preliminary and final plat of subdivision.

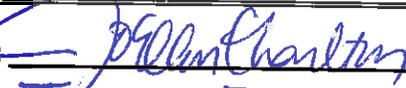
AGENDA NO.

5i

AGENDA DATE: 1/25/16

STAFF REVIEW: Jo Ellen Charlton, Planning Consultant

SIGNATURE:



LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE:



RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE:



REVIEWED & APPROVED BY COMMITTEE:

YES

NO

N/A

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

The subject property was previously occupied by K-Mart, which has been vacant for a number of years. Pete’s Fresh Market acquired the property and is requesting approval of a PUD to allow the reuse of the existing K-Mart building for its business as well as a Steinmart and an Ulta. An additional outlot building is also requested for smaller commercial users and restaurants. This building is at the south end of the property and will parallel Plainfield Road. With a location along Plainfield Road and Route 83, this project has required considerable coordination with both DuPage County and the State of Illinois.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Most discussion during the hearing focused on the existing bad traffic on Plainfield Road. While there was an acknowledgement that the applicant is doing everything that the County and State has asked of him, residents and the Plan Commission feel strongly that the Village should take an active role working with both entities toward finding solutions to the existing traffic problems that currently exist beyond the boundaries of this project. Most agreed that the development was good and had many positive qualities. Topics within the development focused on issues along the north property line regarding proper fence and landscape screening, and some landscape details that will be required to mitigate the impacts of removing a lot of existing mature evergreen trees to accommodate the new northern access. A full summary of the hearing is provided in the attached report.

The Plan Commission agreed that while there are landscaping and engineering details to work out, and that additional coordination between owners to the north and east are required, as well as coordination with the State and the County, that all of those items could be handled at the staff level before the plans are forwarded to the Village Board for formal consideration. They approved a motion recommending approval of the project as recommended by staff and as shown in the attached report.

### ACTION PROPOSED:

January 25, 2016: Receive Plan Commission Recommendation.



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

## MEMORANDUM

**MEMO TO:** Frank A. Trilla, Mayor  
Board of Trustees

**MEMO FROM:** Daniel Kopp, Chairman, Plan Commission

**DATE:** January 14, 2016

**SUBJECT:** Zoning Hearing Case 15-08: (Pete's Fresh Market) Petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building as a multi-tenant building and construction of a new multi-tenant commercial building, including on-site improvements and offsite improvements to both Plainfield Road and Route 83.

At the regular meeting of the Plan Commission held on January 13, 2016, the above referenced application was discussed and the following motion was made:

**MOTION:** Made by Commissioner Lacayo, seconded by Commissioner Soukup that based on the submitted petition, the testimony provided by the applicant, and the staff report prepared for PC 15-08 at the January 13, 2016 Plan Commission meeting, I move that the Plan Commission recommend and forward to the Village Board the findings of fact presented and discussed by the Plan Commission at the January 13th meeting, and further recommend that the Village Board approve the following:

1. A special use for a planned unit development associated with PC 15-08, including the "proposed exceptions" outlined in the staff report.
2. Special uses for one 70,435 square foot grocery store (26,935 for storage), and four separate restaurant uses not exceeding 11,479 square feet.
3. Approval of the Preliminary and Final Plat of Subdivision and PUD Plats for "The Willows Subdivision", except for revisions required by the Village Engineer to be revised prior to forwarding to the Village Board for consideration.

### Mayor

Frank A. Trilla

### Village Clerk

Leroy R. Hansen

### Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

### Village Administrator

Tim Halik

### Chief of Police

Mark Shelton



Proud Member of the  
Illinois Route 66 Scenic Byway

Subject to the following conditions:

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the January 13, 2016 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration.
2. Evidence of written authorization from the property owner to the north shall be provided prior to being forwarded to the Village Board for final consideration.
3. Written authorization from IDOT and DuPage County that approvals will be granted pending receipt of plans that conform to certain requirements.
4. Conformance to the statements, requirements and operational conditions listed in the staff report for the January 13, 2016 meeting.

ROLL CALL: AYES: Commissioners Lacayo, Soukup, Kaucky, Vice-Chairman Wagner and Chairman Kopp. NAYS: None. ABSENT: Commissioners Remkus and Ruffolo.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

# VILLAGE OF WILLOWBROOK

## STAFF REPORT TO THE VILLAGE BOARD

**Village Board Receive:** January 25, 2016

**Plan Commission Hearing Dates:** January 13, 2016, Hearing Continued from December 2, 2015

**Prepared By:** Jo Ellen Charlton, Planning Consultant

**Case Number and Title:** PC 15-08: The Willows PUD (Pete's Fresh Market)

**Petitioner:** Pete's Fresh Market

**Action Requested:** Conduct public hearing for a petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building on the northeast corner of Plainfield and Route 83 as a multi-tenant building (current plans for Pete's Fresh Market, Steinmart and Ulta), and construction of a new multi-tenant commercial building that parallels Plainfield Road, including both on-site improvements and offsite improvements to both Plainfield Road and Route 83, and approval of a preliminary and final plat of subdivision.

**Location:** Northeast corner of Plainfield Road and Route 83

**Existing Zoning:** B-2

**Existing Land Use:** Vacant building formerly occupied by K-Mart and parking lot

**Surrounding Land Use:**

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Willowbrook Office and Single Family	LOP and R-1
<i>South</i>	Willowbrook Town Center	B-2 PUD
<i>East</i>	Chase Bank/Office	LOP
<i>West</i>	Binnys, Burger King Radio Shack Center, Shell	B-2 and B-3

**Necessary Action by Village Board:** Receive Plan Commission recommendation.

## **Documents Attached At End of Report**

- Engineering Review comment letter from Dan Lynch, CBBEL dated 1/5/16.
- E-mail from Sequoia Realty (Management company for office property to the north), dated

## **Numbered Plan Documents**

1. Colored Elevations of the larger Principal Building Including Wall Signage Illustration ( 2 Sheets), prepared by Douglas Design and Associates, Not Dated. Two additional sheets for the outlot building will be provided at the meeting.
2. Site Plan, prepared by Angelo Stamatoukos, latest revision dated 10/5/15
3. Landscape Plan, prepared by Angelo Stamatoukos, latest revision dated 10/5/15
4. Entrance Connection Proposed Easement Exhibit, prepared by Manhard Consulting, Ltd., latest revision dated 10/6/15.
5. Landscape Impact Exhibit, prepared by Manhard Consulting, Ltd, dated 11/23/15.
6. Off-Site Improvement Exhibit, prepared by Manhard Consulting, Ltd, latest revision dated 9/4/15.
7. Preliminary Plat of Subdivision, "The Willows Subdivision", prepared by Geopool, consisting of five sheets and latest revision dated 9/18/15.
8. Planned Unit Development, "The Willows Subdivision", prepared by Geopool, consisting of 7 sheets and latest revision dated 9/18/15.
9. Final Plat of Subdivision, "The Willows Subdivision", prepared by Geopool, consisting of 2 sheets, and latest revision dated 9/18/15.
10. On Site Engineering, prepared by Geopool, consisting of 16 Sheets, and latest revision dated 9/18/15.
11. Engineering Review comment letter from Dan Lynch, CBBEL dated 1/5/16.
12. E-mail from Sequoia Realty (Management company for office property to the north), dated December 28, 2015.

It should be noted that all plan documents are still under review and require modifications, and that final documents forwarded to the Board will need to all be newly revision dated and identified "For Board Approval".

## **Site Description:**

The subject property is located on the northeast corner of Plainfield and Route 83. The site contains about 10.5 acres and is currently improved with one building, formerly occupied by K-Mart. The existing building has a non-conforming setback as it is situated at the far north end of the lot, not far from the north property line. The rear service drive behind the building is also non-conforming as it is located approximately ten feet from the north property line. Immediately north of the north property line is 69<sup>th</sup> Street, with single family residential lots on the north side of 69<sup>th</sup> Street. There is no direct access from the property to 69<sup>th</sup> Street, which has quite a bit higher elevation than the rear service drive at the east end of the Subject Property.

Existing access to the property includes one drive on Route 83 and two drives on Plainfield Road. The only drive that will remain in the same location is the drive on Plainfield that currently aligns with the Plainfield Road access to the Willowbrook Town Center across the street, which will be signalized as part of this project. Nearly all of the balance of the lot is paved with a parking lot.

The gas station property on the immediate northeast corner of the intersection is NOT included with the project.



### History and Proposal:

The applicant, Pete's Fresh Market, wishes to subdivide and receive PUD approval so that the existing building can be re-purposed for a multi-tenant commercial building that will accommodate their grocery store business, a Steinmart and an Ulta cosmetic store. An additional 15,000 square foot outlot building is planned on the south side of the property to be aligned parallel with Plainfield Road and west of the Plainfield Road access drive. The second existing driveway on Plainfield Road will be closed. The existing driveway on Route 83 will be shifted to the south, and a new driveway is planned just north of the subject property's property line to align with 69<sup>th</sup> Street median break, on property owned by the office project to the north. The developer must secure easements from that owner for the use of that property. These proposed easements are shown in the attached documents numbered 4 and 5 above and discussed further below in the "North Access Issues" section of this report.

As mentioned above, the developer will be installing a new traffic signal at the Plainfield Road access that is shared by the Town Center. In addition to this signalization, significant off-site improvements are required by both IDOT and DuPage County as a result of the traffic generated by this project, and will be installed by the developer as part of this project. The traffic study is over 100 pages long and is on-file in the Department for review. The off-site improvements are shown in the attached document numbered 6 above.

Tenants in the new commercial building will include a mix of restaurants, retail and service uses. The entire parking lot will be completely reconstructed and the site will be upgraded with new landscaping and amenities.

## Staff Analysis

### Use:

The grocery, department, cosmetic, restaurant, retail and personal service store uses are appropriate in a B-2 Zoning District. The grocery and restaurant uses are special uses and can be accommodated as part of the Planned Development process, which must be utilized in order to allow more than one principal building on the lot.

### Bulk Regulations and PUD Standards

PUDs may depart from the strict conformance with the required density, dimension, area, height, bulk and other regulations for the underlying zoning district and other provisions of the Zoning Ordinance to the extent specified in the preliminary plat and document authorized the PUD so long as it will not be detrimental to or endanger the public health, safety and general welfare, except that there are no exceptions for complying with 7 of the 12 PUD Standards (discussed later). The departures are identified as “exceptions” and outlined in any approving ordinance. A list of the underlying bulk requirements for which “exceptions” are being requested is provided in the table below.

### Proposed Exceptions

Ordinance Section	Description of Requirement	Ordinance Requirement	Proposed and Restrictions
9-3-3	Number of Buildings on 1 lot	1	2, with PUD conditions imposed
9-3-7	Specific Setback from Plainfield Road	100'	82'11" (although it appears some parts of building closer)
9-6-1B	All sales/service indoors	Outdoor seating not allowed	Allow in designated areas with proper enclosure
9-6-1B	All sales/service indoors	Outdoor “market” display not allow	Allow on west side of building in designated area
9-6-1C	Commercial Truck Parking	Required in rear but not within 150' of residential without approval	Accept trucks within 150' of residential with improved screening, operational and timing restrictions.
9-6-1C	Commercial Truck Parking	Not in front of Principal Structure	Identify designated area where commercial vehicles can park as condition of PUD
9-6-B3-E5	Transitional Setback from Residential	100' Required	31'7" to accommodate enclosed truck dock for existing building. Provide appropriate fence and landscaping
9-10-4A	Location of Loading Berths not within 100' of residential property	100'	31' for unenclosed screening and 31'7" for enclosed loading area
9-10-5	Parking	552 for proposed uses	547 for proposed uses
9-10-5L2(d)	Driveway distance to a lot line	Minimum 70'	North driveway is off site/closer

9-10-5G	Parking lot setback from Route 83 and Plainfield	25'	Mostly 10', but as little as 9'3" (Previously 0). Provide improved landscaping
9-10-5G	Parking Lot setback from east "interior" property line	10'	0'
9-10-5G	Parking Lot Setback from residential to north	40'	10'10"
9-10-5G3	Interior Parking Lot Landscaping Islands/Landscaping	1 every 20, each one with 1 tree and shrubs	Mostly complies, but will acknowledge landscaping as part of PUD approval as shown in plan
9-11	Digital Signs	Not Allowed	Allow on both sides of 2 monument signs not to exceed dimensions presented in this report and including operational conditions
9-14-2.23(B)3(d)	Minimum Foundation Landscape Area	7'	Approved Per Plan
9-16-6	Non-Conforming Structures	Discontinued if vacant greater than 1 year	Continue and improve with PUD approval modifications to mitigate impacts.
Various Sections	Landscaping		Per Plan

### Site Access

As mentioned earlier, the Plainfield Road access will be signalized. Additionally, significant changes to the grade are proposed at the Plainfield Road entrance that will reduce the severity of the existing grade coming in at that location. This entrance will also be improved with a median separating ingress and egress lanes for greater than the minimum 100' of distance required. This entrance is unobstructed by parking all the way north to the existing building, which will provide ample room for cars to enter the site and make turns before selecting a parking space.

Two access drives are planned along Route 83. The existing Route 83 drive will be removed and a new right-in/right-out drive constructed just south of the existing drive location. This access is also improved with a median separating ingress and egress lanes for greater than the 100' of distance required. This realignment to the south helps minimize backups along the drive aisle lane in front of the principal commercial building that would have occurred if the access would have remained in its current location. The relocation to the south also allowed for the appropriate distance between drives that allowed them to seek approval from the State for a secondary full access in to the property from the north. This drive will allow south bound Route 83 traffic into the site without having to go to the Plainfield Road entrance. Exiting at this northern Route 83 driveway will be right out only.

Delivery trucks for the principal building will access via Route 83 for direct east bound only access to the service drive behind the north building. After unloading, they will continue east to the east side of the building, travel south and exit the property at the Plainfield Road entrance.

Fire truck turning templates have also been requested to show movement to and through the site and are expected to be provided by the applicant at the Plan Commission meeting.

### North Access Issues

The northern access on Route 83 is on property not owned by the applicant. They are communicating with Sequoia Realty Group, who manages the office property, in order to secure an easement for that improvement. Engineering for that work is still under way, and the applicant has not yet secured approval from the owner. Staff requested an update from Sequoia, who indicated in the attached e-mail document that they do not object to the concept, but are awaiting engineering, landscaping and other details including how that improvement affects their approved PUD before they will approve the deal. This is still a work in progress, and although the details haven't been worked out, staff agrees with the concept and the proposed design. Final approval, however, cannot be forwarded to the Village Board for a vote until these issues are worked out and the Village has something in writing from the ownership that they have or will agree to the easement. If desired, the Plan Commission could forward a recommendation subject to details being completed that conform to the concept design.

### Site Circulation and Parking Design:

Circulation and parking lot design has been carefully planned to accommodate an efficient and safe flow for both cars and pedestrians. Landscape islands and sidewalk connections have been designed to create six smaller "parking fields". For example the parking field on the west side of the Pete's building contains 106 parking spaces. 144 parking spaces are located on the south side of the Pete's store, with some of the spaces likely to be used by Steinmart customers. Ulta customers and center employees will likely park in the east parking field, which contains 154 parking spaces. Customers for the retail outlot building will park in one of two parking fields in that area. There are 98 parking spaces immediately adjacent that building, with another 45 parking spaces west, in a separate area just south of the southern Route 83 entrance. This small area was originally being planned for possible construction of another drive-through restaurant outlot, but overall parking in the center was deficient and effective circulation was a problem. The developer dropped these plans, with the idea to complete this improvements, evaluate actual parking requirements once the project is up and operational, and possibly resurrect another building in that location in the future as part of a later amendment to the PUD.

### Pedestrian Access:

Sidewalks in both Route 83 and Plainfield are being added and/or reconstructed. The Route 83 sidewalk is comfortably set back from travel lanes. Due to the addition of travel and turn lanes in the Plainfield Road right-of-way, however, the sidewalks being added in that location are both carriage walks (immediately back of curb east of the entrance), or no more than seven feet from the curb west of the entrance. While this is less than desirable separation, two sidewalk connections into the development from the new Plainfield Road sidewalk provide opportunities for pedestrians to enter the development more quickly. These sidewalk connections align with both sides of the outlot building and continue on a separately designed path all the way to the main building. Some of these sidewalk areas need to be preserved by adding wheel stops to the adjoining parking spaces to prevent overhang into the sidewalk areas.

### Parking Requirements

Parking for this use is regulated by the Zoning Ordinance as the sum of the individual uses planned. The following table on the next page summarizes the proposed uses and the associated parking requirements. Note that there appears to be a parking deficiency of five (5) parking spaces, and is noted as an exception as part of the PUD. Overall parking is 3.94 spaces per 1,000 gross square footage, and about 4.9 when not considering the 26,935 square footage of storage at the back of the Pete's store.

Tenant	SqFt	Req	Total Req
Ulta	10,671	1/250	42.68
SteinMart	31,278	1/250	125.11
Pete's Retail	43,500	1/200	217.50
Pete's Storage	26,935	1/1500+4	21.96
Petes Mezzanine	9,528	1/1500+4	10.35
Common	1,864	1/1500+4	5.24
Pizza Restaurant	2,942	1/100	29.42
Pink Nails	1,074	1/250	4.30
Retail	2,470	1/250	9.88
Restaurant	1,662	1/100	16.62
Firehouse Sub	1,812	1/100	18.12
Lumes Restaurant	5,053	1/100	50.53
Total Required			551.71
Total Provided			547
Different			-4.71

### Loading Requirements

Sufficient loading areas are being provided for each of the tenants in the main building. Both the loading and the garbage areas for the grocery store will be roofed to minimize visual and noise nuisances to the residential neighbors to the north. Ulta and Steinmart will share a loading area that will be screened with an eight foot (8') tall masonry wall. This loading area will also be screened by a new eight foot tall fence between the north property line and the 69<sup>th</sup> Street right-of-way. A common loading and garbage area for the retail outlot building is provided on the north side of the building and is screened with an 8' tall masonry screen wall.

### Deliveries and Truck Parking

Deliveries to the principal building are planned as a one-way west to east movement. Trucks will access the site from Route 83 and will travel east behind the building to a designated loading or garbage area. Delivery trucks will not be allowed to stop, stage or park in the north delivery drive aisle except in designated loading areas in order to maintain the fire lane, and the area will be signed and regulated as such in the ordinance regulating the PUD. Delivery hours are proposed to exclude any time between 9PM and 7AM as a condition for allowing the continuation of the non-conforming building and parking lot setback between a business and residential properties.

The parking of other commercial vehicles (vans, small box truck, etc.) on the site will also be regulated in the ordinance given that the site's design does not allow for the parking/staging of trucks behind the principal building as required by Ordinance. Staff recommends that commercial vehicles of any kind be allowed to park only in designated areas, and that the best areas for these vehicles would be in the parking field east of the principal building, but no closer than 100' from the north property line. Another area that might make sense is behind (north) of the outlot commercial building. The applicant will be asked to designate sufficient space for such commercial vehicles to be allowed to park. Staff will also be recommending that parking of any commercial vehicle will be expressly prohibited anywhere within 150' of the Route 83 or Plainfield rights-of-way.

North Property Line Setbacks

Some of the most significant exceptions identified as part of this project are those that already exist. Both the building and parking lot setbacks from the north property line do not meet the requirements of being next to residentially zoned property. These locations, however, are fixed. In an effort to address possible concerns and meet the spirit of the ordinance, the applicant located its grocery store operation as far away from residents as possible at the west end of the building, and is proposing to fully enclose its loading and garbage areas. Deliveries and garbage for the department store and the cosmetic store are much less frequent and intense, so the area is not being fully enclosed, but is being screened with new loading area screen walls. In addition, the applicant is proposing to replace the existing slatted 5' tall chain link fence with a new 8' tall screen wall. The existing fence is shown in the two pictures below. Note the higher elevation of the fence at the east end of the property, which is closer to the residents. The fence at the west end of the property gets closer to matching the grade of the property to the north. The effects of these grades on how people view the development is shown in the illustrations on the next page. The top of the building can be seen over the fence at the west end, but not at the east end, which is why loading areas are roofed at the west end and not the east end.



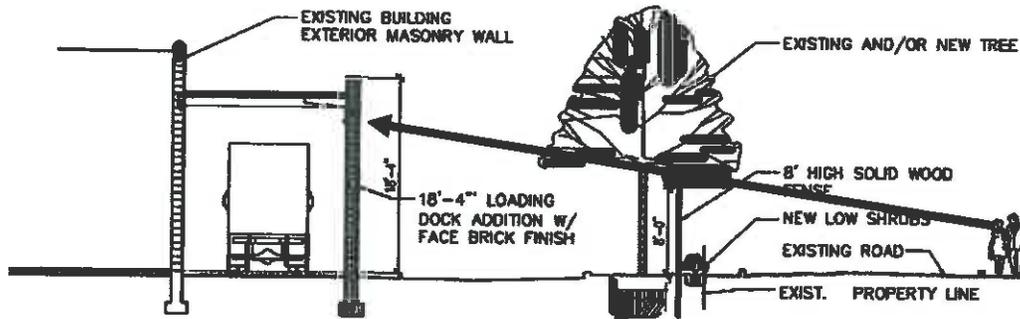
West End of Property



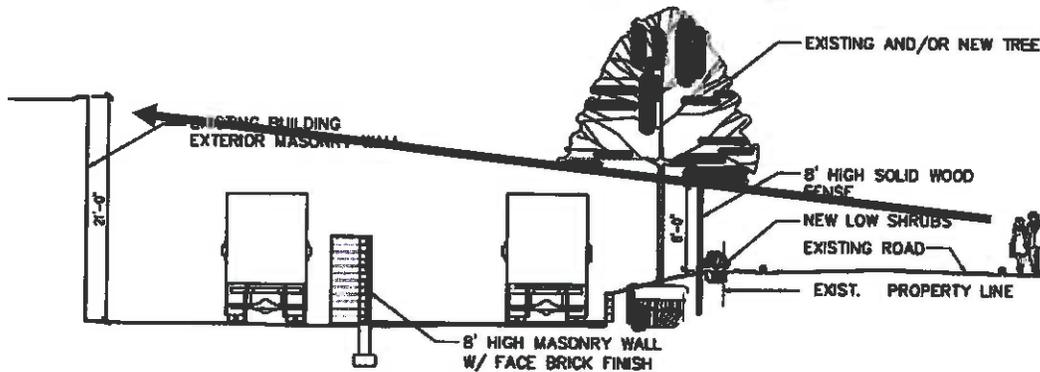
East End of Property

### West End of Property

(Additional screening of loading required to accommodate flatter grades between properties)



### East End of Property (Views will go over top of building)



The existing fence is on the property line as opposed to being set back ten feet (10') as the Ordinance would now require for new conditions. The applicant has agreed to provide new landscaping on both sides of the fence to provide additional screening and buffer the visual impact of a tall fence. Staff is also recommending that the fence be modified from its current proposed wooden board on board styled fence to something that weathers well. The applicant may select to utilize stained cedar, a "wood-like" solid composite or a simulated stone fence similar to one of the fences in the pictures below. These will not only be more attractive visually, but will also require less maintenance over time.



### Parking Lot Setbacks

Parking lot setbacks are also being varied in all four yards, although it is important to note that the existing parking lot extends all the way to property lines. There is no parking lot setback in the east yard between the subject property and the Chase Bank property, while a 10' setback is required by ordinance. The proposed north, west and south parking lot setback yards provide nearly ten feet of landscaped setback from the right-of-way instead of the respective 40', 25' and 25' setback as required by ordinance. While less than required by Ordinance, this seems reasonable given existing conditions provided no landscaped setback, and assuming they proceed with heavy landscaping in these areas as planned.

### Stormwater Management/Engineering

Stormwater control on redevelopment sites is not required if the net new impervious area is less than 25,000 square feet. The threshold for Best Management Practices (BMPs) is 2,500 square feet of net new impervious surface. A stormwater submittal for the on-site improvement has been submitted for the on-site improvements, but not the off-site improvements, which is required before final approval by the Village Board can be granted. A January 5, 2016 review letter by the Village Engineer is attached to this report and indicates that engineering approval is still pending required additions and revisions to both the stormwater reports and engineering plans for both on and off-site improvements.

The engineer has also reviewed the submitted preliminary, PUD and final plats, and finds them acceptable except as noted. These changes are required and should be made. Should the Plan Commission wish to finalize and forward its recommendation prior to engineering being completed, it must include the condition that revised plans and plats documents must be submitted and approved by the Village Engineer before being forwarded to the Village Board on an agenda for their vote.

### Summary of required and proposed right-of-way improvements

Negotiating the off-site roadway improvements between a state and county government is not an easy task. Making one entity happy often involves changing a plan that has already been submitted to the other agency, requiring additional reviews. Both the State and the County are requiring roadway improvements in addition to the Plainfield Road signal, which was a given going into the project. A summary of the proposed improvements along each roadway are provided below. As possible, both the applicant and the Village have tried to coordinate with impacted business and property owners. It is important to remember that while the State and County are requiring improvements that will be an "overall" improvement to the roadway network, local impacts to individuals or groups of properties are not always viewed as positive.

Plainfield Road (starting at east end and moving west)

1. Add new sidewalk north side of Plainfield all the way to Route 83.
2. Add west bound to north right turn into new shopping center. Developer is coordinating with bank property on possible relocation/consolidation of their driveway entrances since the taper for this improvement begins in front of their property. The bank property currently has two entrances, neither of which operates without interference from the signal that already exists as Route 83. The proposed new signal will be much close to their entrances.
3. Add traffic and pedestrian signals and crosswalks at Town Center/Willows entrance.

4. West bound Plainfield to north bound Route 83 right turn lane to be expanded so that it begins at new signalized Plainfield Road entrance. This new lane will impact the corner gas station property adjoining the development site.
5. West bound Plainfield to south bound Route 83 turn lane to be increased from one lane to two lanes with roughly the same queue length. Increased pavement width required on north in front of gas station to accommodate new lanes.
6. East bound Plainfield to north bound Route 83 turn lane to be increased from one lane to two lanes with queue length extended west past Crest. The County is requiring a new barrier median which will no longer allow north bound Crest to west bound Plainfield left turning movements. Increased pavement width required on north in front of gas station to accommodate new lane. New taper extends west all the way past first two houses on the north side of Plainfield

#### Route 83 (starting south and moving north)

1. Developer proposing modification of the existing north bound Route 83 to east bound Plainfield right turn lane to become a through lane only, creating 3 through lanes of north bound Route 83 traffic along the entire project. Although not yet shown, IDOT correspondence is requesting/requiring the installation of a new north bound Route 83 to east bound Plainfield right turn lane. Applicant is working with IDOT to eliminate that requirement.
2. Slight modification to Route 83 median on south side of intersection to better accommodate west bound Plainfield to south bound Route 83 turning movements from new dual left turn lanes.
3. Installation of a new north bound to west bound turn lane to 69<sup>th</sup>.
4. Installation of a new south bound to east bound turn lane at 69<sup>th</sup> into the shopping center. This access is planned on property owned by the office condominium property to the north. Approval from that owner as well as an amendment to their PUD is required from the Village in order to implement this proposed improvement.

#### Landscaping:

A significant amount of new landscaping is being provided site wide. All three entrances will be heavily landscaped, as will all perimeter parking lot setbacks. The perimeter landscaping along Route 83 and Plainfield Road, while not to code, will be as heavily landscaped as the space will allow with 3" caliper shade trees and a thick row of shrubs that are intended to block headlight glare out onto the roadway. These areas historically had no landscaping, as the pavement extended all the way to the property line. The existing landscaping along the northern property line will be removed and replaced in its entirety, as most of what is there has either died or is not been very attractively maintained. Current plans show an alternating combination of deciduous State Street and Marmo Maples, with a continuous line of evergreen mission arborvitae between each tree, all located on the south side of a new 8' tall privacy fence that will be installed all along the north property line. Plans also show some unidentified plant material on the north side of the new privacy fence, although it is not labeled, and needs to be selected for its ease of maintenance, tolerance to salt and limited growing conditions. The exact material planted on the south side of the fence can be flexible if nearby residents prefer an alternative, but the intent is to landscape this area heavily to provide a solid screen that mitigates the impacts of the non-conforming setbacks. The images below show the type of trees currently proposed.



Marmo Maple



Mission Arborvitae



State Street Maple

Recent conversations with the resident who lives in the western most home on the north side of 69<sup>th</sup> Street resulted in his request that trees across from his house and west include a dense row of evergreen trees instead of the alternating evergreen/deciduous combination discussed above. Staff has no objection and the applicant has expressed willingness to install landscape material that is acceptable to the neighbors. A varietal evergreen mix is recommended in case of disease. This resident also expressed concerns about the amount of landscaping that will be removed as a result of the new northern access. He intends to be at the hearing to provide additional information to the Plan Commission on that and possible other issues.

Landscape islands in the parking lot are also to be landscaped with shade trees, shrubs and/or ground cover materials. Shorter ornamental trees instead of normal deciduous trees are proposed closer to the main building to accommodate parking lot lighting standards and to allow for visibility to wall signage. Staff supports this request, but only in the islands that contain light poles and only if the installed size of these ornamental trees is a minimum of 10' in height at the time of installation.

The tables in the landscape plan need to be revised so that all plant material listed in the tables includes each of the following items: 1) symbol, 2) plant name/identification, 3) the number of that variety used, 4) the size at installation, and 5) the size at maturity. Except as noted and/or as may be changed as a result of additional resident feedback, generally staff supports what is shown, but the plans will need to be revised and approved by staff prior to forwarding to the Village Board for a formal vote.

Monument Signage

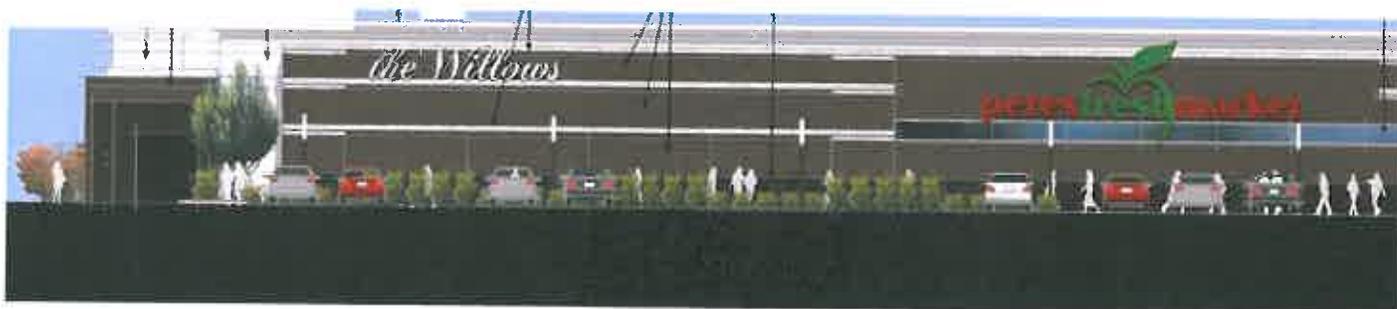
Two monument Signs are proposed. One at the Plainfield Road entrance and one at the southern Route 83 entrance. The sign staff last discussed with the applicant is shown below. It is designed to generally the height (24') and area requirements of the ordinance. The "Pete's Fresh Market, including the digital sign underneath is 8' x 12'8". The overall width of the sign (including cantilever) is 16'. The digital portion of the sign is proportionate to the rest of the sign. It will be important that documentation is added that specifies that no part of the sign from top to bottom (including the portion of the sign that cantilevers out from the rest of the sign) is closer than five feet (5') to any lot line.

Eight sign panels are shown under the sign, and staff has recommended on more than one occasion that they not utilize such small panels to identify so many users, as they are hard to read and ineffective. Staff has instead encouraged the applicant to utilize the digital sign to advertise the smaller tenants in the outlot building. Given, however, that the sign meets size requirements, staff

does not object to the multiple sign panels if that is how the applicant would like to proceed. The only other suggestion on the monument sign is to add a town and/or shopping center identifier. Adding "The Willows of Willowbrook" individual indirectly lit lettering as allowed by the code underneath the tenant panel area would provide motorists with a common identifier for the shopping center. This would be identification in addition to what the applicant has proposed, which is to add "The Willows" on the west elevation facing Route 83 and the north end of the building as shown in the picture below the monument sign below.



West Elevation Shopping Center Identification Signage (Visible from Route 83)



The proposed monument sign incorporates digital technology, which is currently not allowed by the Sign Ordinance. The applicant would like to incorporate this technology as part of their PUD consideration, much like the shopping center recently approved for a digital sign on 63<sup>rd</sup> Street west of Route 83. Similar to that approval, language will be incorporated into the ordinance that will

restrict brightness, how messages are displayed, and the length of time required between changing messages. These included restrictions that provided only for static messages (no animation of any kind), and dwell time that will be consistent with whatever provision is in place at the time a recommendation is forwarded to the Village Board. It is recommended that all digital technology be treated the same unless and until a comprehensive amendment is made to the code to regulate them village wide, as opposed to regulating them as part of PUD approvals.

Finally, the plans should provide clarification as to how the overhead wires along Plainfield are located or being re-located so as not to interfere with the monument sign at that entrance.

Please note that the latest Engineering Plans (Page C-10) submitted for this review, have proposed a different monument sign than discussed above and that has not been discussed with staff. Staff does not support this revised sign for several reasons. It extends above the base of the sign and the digital portion of the sign is too dominant based on the general parameters discussed as part of the Willowbrook Square sign. Staff recommends something more in line with the sign shown above instead.

*Wall Signage:*

Wall signs are generally limited by the sum of all gross square foot measurements; meaning the height and width dimensions used are to the farthest edges of the sign, which includes “dead” space. The use of capital letters in signs or graphics (such as the Pete’s apple) that extend beyond letters can limit overall signage based on the “gross square footage” calculation. As part of a PUD, however, signage can be evaluated as to the quality of its design and whether it is effectively incorporated into the building’s architecture. Staff has evaluated wall signage as can be seen in the elevation drawings and generally finds the appearance to be acceptable, likely because the net square footage of the proposed signs meet the code requirements. Approvals based on gross square footage, however, can be problematic later when considering signs for new tenants. For example the gross square footage generated for Stein Mart, with a big “S” and a big “M” could allow a later tenant to a sign where all the letters were the same size as the “S” and the “M”, which would not be appropriate. Therefore, staff will be requiring the provision of both gross and net square footage information on revised plans, with future approvals referencing both numbers.

It should be noted that signage on the “back” of the outbuilding is being utilized to provide identification for those businesses by those who park in the lot north of the building. These are smaller signs than on the frontage, and are approximately equally spaced across the back of the building. The elevation drawings for this building will be provided to the Plan Commission at the hearing as they were not available at the time of this report.

*Other Issues and Proposed Operational Conditions:*

1. The north service drive must be signed as a fire lane, and must remain clear at all times. Trucks and service vehicles may utilize only for immediate access to designated loading areas.
2. Trucks and trailers may not utilize the north service drive between the hours of 9PM and 7AM and must leave the loading dock areas immediately after loading and unloading is complete.
3. Vehicles with commercial advertising are not allowed anywhere within 150 feet of the Route 83 and Plainfield Road right-of-way.
4. Special uses (restaurants) identified on plans approved, however future requests must be approved by special use process.

5. Outdoor seating areas allowed only in designated areas, and only if screened in a manner that is approved by the Village. Screening details should be added to the plans.
6. The outdoor "Farmers Market" area on the west side of the grocery store allowed only in designated area.
7. The plans must designate sound preventative screens for rooftop mechanicals located on the north 100' of the north building.
8. An easement between the property and the north property line of the gas station shall be provided for possible future use.
9. A written agreement from the owner to the east is required prior to the issuance of construction permits for the work along that common property line.

### Plan Commission Public Hearing and Recommendation

The Plan Commission held public hearings on this petition at their December 2, 2015 and January 13, 2016 meetings.

Testimony from the public is summarized as follows:

Jim Brown.

Lives on 69<sup>th</sup> and is the furthest west lot. He is concerned about the fence, landscape screening, deliveries and everything on the north side of the building. He lived with K-Mart's impacts for a lot of years and wants the Village to make sure impacts are minimized on the north side of the building. The applicant responded that there is a new 8' wood fence, new landscaping, and covered delivery docks, all to minimize impacts on his house. Mr. Brown expressed his desire to utilize all pine trees across from his house because with deciduous trees, there is no screen for six months out of the year.

Also concerned that the 8' fence will not be effective given the change in grades in front of his house, and asked about a 10' fence. The applicant responded that 10' is hard to do, and that it might not comply with Village Code. Instead, additional or taller evergreens could be utilized like Mr. Brown suggested. The applicant also confirmed that there will be landscaping on both sides of the fence, with smaller shrubs on the north side, and the taller materials on the south side of the fence. The applicant confirmed there is enough room to put materials on both side of the fence.

In response to questions about the north retaining wall, the applicant responded that all of that would be replaced with a new block retaining wall until it comes back down to grade moving west.

With regard to pushing the fence back (south), the applicant said he would talk to the Village, but pushing the fence south may result in the fence appearing lower given the slopes.

Mr. Brown and the applicant also discussed loading docks and garbage screening. The applicant noted deliveries would be between 7 am and 4pm. There was a desire that garbage also not be allowed before 7am.

At the second meeting, Mr. Brown provided pictures showing how the existing evergreen trees that will be removed to provide for the new northern access screen Citgo and Binny's. Copies of these pictures are available at Village Hall. He is concerned that the removal of these mature 20' tall trees will uncover what he worked so hard to get when the office project was approved. He asked whether the 20' tall trees could be relocated to provide similar

screening. The applicant responded that he would work with staff to add taller, more mature trees to provide similar screening, including the use of existing trees if that was possible.

Mr. Brown also asked if stairs could be added at the east end of the project to provide access from 69<sup>th</sup>. The applicant responded that he would prefer to keep the sidewalk between the cul-de-sac and the west end of his building as the main access for these residents. Mr. Brown agreed.

Phillip Voorhees.

Expressed his concerns about Plainfield Road when traveling east and entering the existing left turn lane to go to north bound Adams. This is the site of accidents given many people use the lane incorrectly when going west bound Plainfield Road to gain access to Town Center. Many Plan Commissioners agreed that the County needs to consider impacts all the way to Adams. The applicant noted, however, that it was not his call as to extend improvements to that area, as the County has determined they are outside the scope of the project.

Dave Pendill.

Lives east of Adams on Plainfield. The studies done for Town Center said the improvements there would make getting in and out of their driveway better. Instead, it has been worse. Noted that IDOT prevented this stop light last time indicating it would make the situation worse. He wanted to know why it was OK now. The applicant's traffic engineer responded that the reason they never got the signal was because traffic didn't meet warrants. Those warrants will be met with the proposed development. The additional improvements required by the County to add lanes and make improvements will allow everything to work together. The traffic engineer commented that while the improvements may not help an already bad situation, they are designed to keep it from getting any worse. Mr. Pendill is still concerned because the improvements are designed to add volume for people turning south on Route 83, while many people continue west on Plainfield. The traffic consultant noted that they've been working with both the State and DuPage County and providing the improvements that are required. Mr. Pendill responded that he heard many of the same things about Town Center, and while he likes the project, it will affect him. Current traffic at 6PM is stacked from Route 83 all the way to Madison. The applicant responded that he would talk to the County about this issue and see what they say. Wagner commented that the light might help create gaps in traffic which may make it easier for Mr. Pendill to get out.

The Plan Commission reiterated their desire for the Village to take a stronger role in pushing the County for improvements that will help areas east of this development even if they aren't required of the applicant. There is a feeling that if the State would allow more green time on Plainfield Road, there would be an improvement.

Dave and his wife Windy both provided additional testimony at the second hearing regarding traffic on Plainfield that was similar to earlier testimony.

Ray Royce

Also lives on Plainfield and commented that maybe businesses on the south side of Plainfield could be involved in coming up with a solution to the existing problem.

Dennis (didn't catch last name).

Lives two lots north of Mr. Brown off of 68<sup>th</sup> Place, also commented about his concerns over the removal of existing mature evergreen trees that have grown since the office project installed them and now finally provide adequate screening to the Citgo and Binny's. He commented that much of this landscaping also provides noise screening from tractor trailers. He commented that there are often 2 or more accidents per day, with sirens, all of which can be heard from his yard given prevailing winds.

Nancy Brown.

Asked questions about delivery times and the impacts on residents. The applicant provided data and encouraged her to visit their store in Oakbrook Terrace to see the interaction there, as they have no complaints from residents in that neighborhood.

Staff provided the Plan Commission with the proposed findings provided in this report in case the Plan Commission wished to finalize a recommendation.

After hearing all testimony, the Plan Commission provided the following specific feedback before considering the sample motion provided by staff:

1. The Plan Commission feels strongly that while the development may not have a role in the additional improvements to Plainfield Road that would help existing problems to the east, that the Village should take an active role with the County and the State to identify and push for improvements that are necessary.
2. The Plan Commission will rely on staff and the applicant to work on landscaping along the north property line that addresses the concerns raised by residents and the Plan Commission.
3. The monument signage shown in the staff report (not in the engineering plans) is supported.
4. Stained cedar material is acceptable for the 8' tall fence along the north property line.

Motion:

The following motion by Lacayo, was seconded by Soukup and approved by a unanimous vote of the members present:

Based on the submitted petition, the testimony provided by the applicant, and the staff report prepared for PC 15-08 at the January 13, 2016 Plan Commission meeting, I move that the Plan Commission recommend and forward to the Village Board the findings of fact presented and discussed by the Plan Commission at the January 13th meeting, and further recommend that the Village Board approve the following:

1. A special use for a planned unit development associated with PC 15-08, including the "proposed exceptions" outlined in the staff report.
2. Special uses for one 70,435 square foot grocery store (26,935 for storage), and four separate restaurant uses not exceeding 11,479 square feet.
3. Approval of the Preliminary and Final Plat of Subdivision and PUD Plats for "The Willows Subdivision", except for revisions required by the Village Engineer to be revised prior to forwarding to the Village Board for consideration.

Subject to the following conditions:

1. All plans and documents shall be revised and resubmitted as required by Village staff and the Plan Commission as indicated in the staff report or as discussed during the January 13, 2016 meeting, and approved by staff prior to being forwarded to the Village Board for final consideration.
2. Evidence of written authorization from the property owner to the north shall be provided prior to being forwarded to the Village Board for final consideration.
3. Written authorization from IDOT and DuPage County that approvals will be granted pending receipt of plans that conform to certain requirements.
4. Conformance to the statements, requirements and operational conditions listed in the staff report for the January 13, 2016 meeting.

ROLL CALL: AYES: Commissioners Lacayo, Soukup, Kaucky, Vice-Chairman Wagner and Chairman Kopp. NAYS: None. ABSENT: Commissioners Remkus and Ruffolo.

MOTION DECLARED CARRIED

Next Steps:

The Plan Commission and the applicant was advised that the next steps include the applicant's revision to the plans, after which staff will complete reviews and inform the applicant of additional modifications (if any), before the item is schedule for consideration by the Village Board for a formal vote.

Standards and Findings  
Pete's Fresh Market

Special Use and Planned Unit Development Standards:

The Willowbrook Zoning Ordinance requires special uses and PUDs to meet certain standards. These standards are listed below, along with proposed findings for the Plan Commission's consideration and refinement.

**Special Use Standards:**

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

**Finding:** As a PUD, the proposed special use development has been reviewed by traffic and civil engineers from both the applicant and the Village to ensure that the proposed development will not endanger the public health, safety, morals, comfort or general welfare. DuPage County and the Illinois Department of Transportation have both reviewed the plans, and both entities have made off-site improvements to the adjoining roads a requirement of this development in order to accommodate traffic to and by the site safely.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

**Findings:** The proposed PUD incorporates modifications to an existing building that previously existed in its proximity to nearby uses for many years. Existing residents to the north of the proposed project testified about their concerns regarding the close proximity of the building to the north property line and remember how trucks and other users of the loading dock areas impacted their properties. In response to those concerns, the proposed PUD incorporates improvements over the previous design and use intended to mitigate those concerns. These improvements include the addition of a new solid 8' tall fence with new landscape on both sides of the fence, better screening of the loading and garbage areas, including roofed screening of the loading and garbage areas for the grocery store use, and timing restrictions on deliveries. These improvements are intended to allow the reuse/repurposing of the existing building without impacting the property values of residential neighbors to the north. Additionally, the developer and the Village has provided information and opportunities for nearby commercial uses to comment on the project, and has worked cooperatively with those entities to mitigate concerns given the off-site right-of-way improvement requirements imposed by both the State of Illinois and DuPage County.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

**Findings:** All properties in the immediate vicinity of the proposed project are development. The proposed re-use and redevelopment of this site includes significant off-site improvements in the adjoining rights-of-way that will promote or at least compliment further redevelopment of underutilized sites.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

**Findings:** The Village Engineer will ensure that the site is provided with adequate utilities and stormwater requirements pursuant to local codes. Off-site improvements to Route 83 will be

confirmed by the State of Illinois, while off-site improvements will be confirmed by DuPage County. The 69<sup>th</sup> Street right-of-way is under the jurisdiction of the Village of Willowbrook, and the improvement of that right-of-way will include the installation of a new curb on the south side of that existing street surface.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Findings:** Both the Illinois Department of Transportation and DuPage County have jurisdiction over the streets that provide access to this property and have imposed requirements to provide ingress and egress that is intended to minimize traffic congestion on their respective streets and collectively.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Findings:** Except as modified by the PUD, the special uses conform to all other regulations of the Village of Willowbrook.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

**Findings:** The Village Board has not denied any request for a special use request within the last one year.

#### **Planned Unit Development Standards:**

The planned unit development must meet the following standards:

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

**Findings:** As one of the major commercial intersections in the Village, the Comprehensive Plan designates this property as “Community Commercial”. The Comprehensive Plan includes several pages of development objectives and design guidelines that have been incorporated into the proposed project including the attention to landscaping, signage, pedestrian connection, façade materials, and “public space” details. Given its proximity to the Town Center, which is discussed in detail in the Comprehensive Plan, many of the same types of recommendations utilized for the Town Center have also been incorporated into the proposed Willows development plan.

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

**Findings:** This site is under common ownership and about 10.5 acres in size.

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

**Findings:** The proposed and permitted uses are consistent with similar uses in nearby shopping centers.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

**Findings:** On-site and off-site engineering have been prepared and reviewed by the Village Engineer for compliance with stormwater regulations.

(E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.
2. Equal to the height of the taller buildings in the case of freestanding, unattached buildings other than one-, two- or two and one-half story buildings.

**Findings:** The space between the two proposed buildings meets this requirement.

(F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

**Findings:** The adjoining zoning districts to the north and east are both LOP, which requires a front and exterior yard setbacks of 50', and interior and rear yard setbacks of the greater of 30' or 150% of the height of the principal structure. Height is defined by the Willowbrook Zoning Ordinance to be the height in feet from average grade to the highest point of the building. Exceptions are granted to flat top roofed buildings with parapets that extend above the roofline, except when the parapet exceeds 3' in height. Most of the parapets at the building's edge are not greater than 3' in height. The parapet on the southwest corner of the building near the Pete's entrance, however, extends about 8' in height above the 24' tall roof deck of the building as an architectural feature. Therefore, technically, the height of the building is 32', with 150 percent of that height equal to 48'.

All setbacks to the original principal structure exceed 48'. The project includes minimum front yard setback of over 82 feet, an exterior side yard setback of over 138', an interior side yard setback of over 67' and a rear yard setback from the principal structure of over 49' for all of the rear setback except for the western most 113' feet of the building, where an addition to the original building extends to within 32' of the rear yard property line. This last setback does not comply with this standard, however standard (L) below provides that the PUD may depart from strict conformance with this requirement as long as the PUD is not detrimental to or endangers the public health safety and general welfare. And, for the reasons stated in the Special Use Standard labeled "A" above, this limited area where the new setback exceeds the required 48' will not be detrimental to or endanger the public health safety and general welfare.

(G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

**Findings:** The total parking required based on the proposed mix of uses is 552 spaces, where the site is providing 547 spaces, or five (5) spaces short of the requirement. Given slight variations in square footage calculations and possible tenant mix, this parking is adequate for the proposed uses.

(H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Findings:** As stated in Special Use standard E, adequate provisions have been made to provide ingress and egress so designed to minimize traffic congestion in the public streets.

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

**Findings:** The site is paved virtually lot line to line, therefore most existing trees, if any, are in the public right-of-way. Increased landscaping areas and new landscaping are being provided in compliance with the objectives of the Comprehensive Plan.

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

**Findings:** The provisions of the Willowbrook Subdivision ordinance are being adhered to relative to the Plat of Subdivision and Plat of PUD that have been prepared.

- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

**Findings:** No request has been made for permitted or special uses in any other zoning district. The recommended approval includes approval of special uses for one 70,435 square foot grocery store (of which 26,935 is storage), and four separate restaurant uses not exceeding 11,379 square feet. Future requests for additional special uses must be made through a new special use process.

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section. (Ord. 06-O-12, 5-8-2006)

**Findings:** The planned unit development will conform to the requirements of the underlying zoning district and other provisions of this title except as modified in this approval. Modifications are identified as exceptions, which also includes an exception from PUD Standard F, as described herein.

#### **Planned Unit Development Findings:**

The plan commission shall, after the public hearing, set forth to the board of trustees the reason for the recommendation, and said recommendation shall set forth with particularity what respects the proposal would be in the public interest, including, but not limited to, findings of fact on the following: (Ord. 75-O-3, 3-10-1975)

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

**Findings:** This Planned Unit Development provides relief from the ordinance that is required in order to re-purpose and re-use an existing building on an otherwise irregularly shaped lot that has non-conforming setbacks to residentially zoned properties, while introducing improvements

that help mitigate negative impacts. The project takes an otherwise nearly fully paved lot and provides increased pavement setbacks with attractive landscaping. This site has remained vacant for a number of years after the closing of the K-Mart store, which has significantly reduced the sales tax revenue that could have otherwise been generated by the site. The proposed Planned Development will provide rational economic development for the community.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations. (Ord. 97-O-05, 1-27-1997)

**Findings:** For the reasons stated in these Special Use and Planned Unit Development findings and the staff report prepared for the January 13, 2016 meeting, the proposed plan meets the requirements and standards of the Planned Unit Development

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

**Findings:** The plan departs from the regulations otherwise applicable as provided in the Special Use and Planned Unit Development findings and the staff report prepared for the January 13, 2016 meeting and are in the public interest as they provide for the re-purposing of an existing building, thereby saving resources. The project also adds new square footage to an otherwise underutilized property in order to provide improved economic stimulus for the community.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

**Findings:** For the reasons already stated, the proposed project is adequately served by transportation improvements. It also increases the amount of green space on the site, and provides pedestrians with an opportunity to reach destinations within the site on-foot, and without necessarily having to use their car. In addition to landscaping, the site includes other visual enhancements such as an interesting water feature at the Route 83 entrance and attractive façade materials and signage, geared to pedestrian and shopping traffic.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood. (Ord. 75-O-3, 3-10-1975)

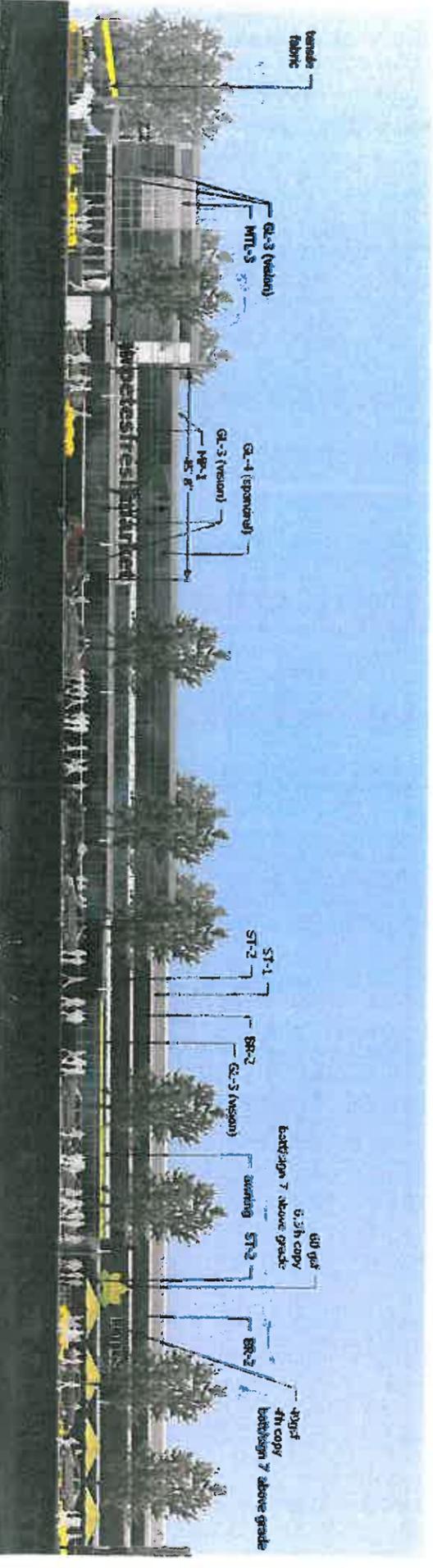
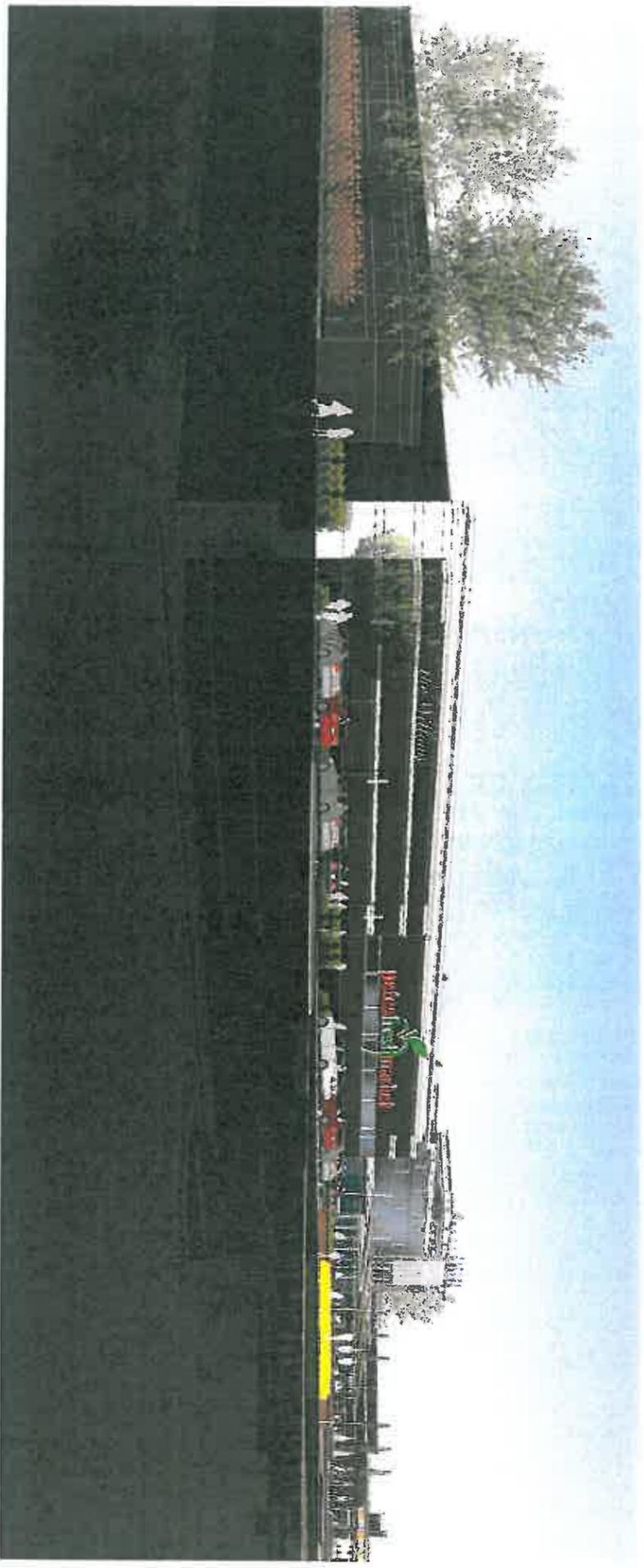
**Findings:** The proposed project is most similar to the Willowbrook Town Center development located immediately south, which is the most recent development. Both developments are consistent with the objective and recommendations of the Comprehensive Plan. Both projects can either co-exist with surrounding properties, or set the stage for possible future redevelopment of nearby properties.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

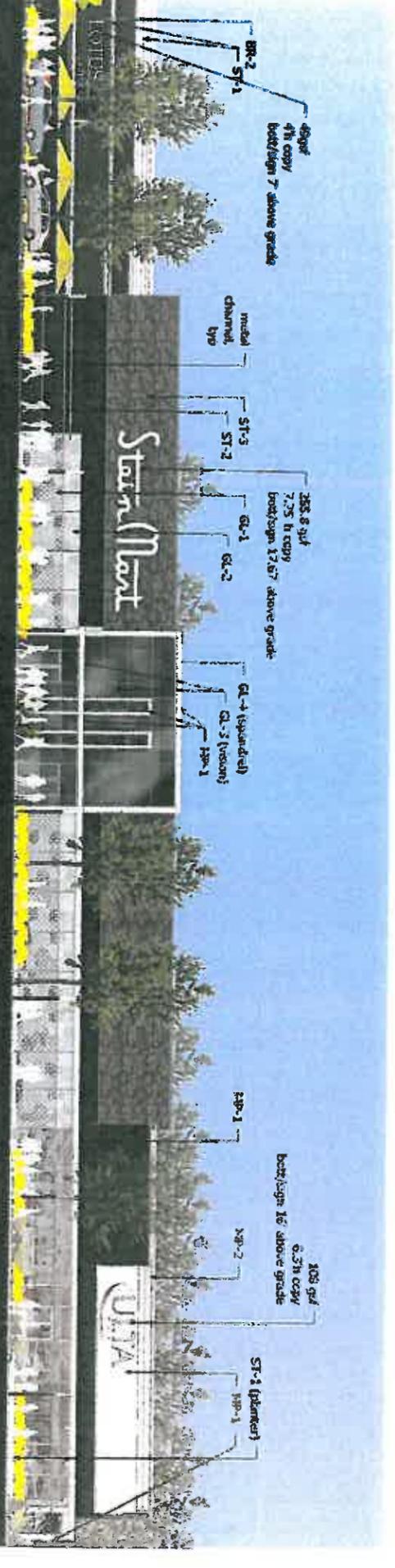
**Findings:** The project is planned with an attractive design and will provide sales tax revenue for the Village for many years to come.

- (G) The conformity with the intent and spirit of the current planning objectives of the village. (Ord. 97-O-05, 1-27-1997)

**Findings:** This project conforms to the intent and spirit of the current planning objectives of the Village as outlined in the Comprehensive Plan and as provided as a model, with the development of the Town Center property located immediately to the south.



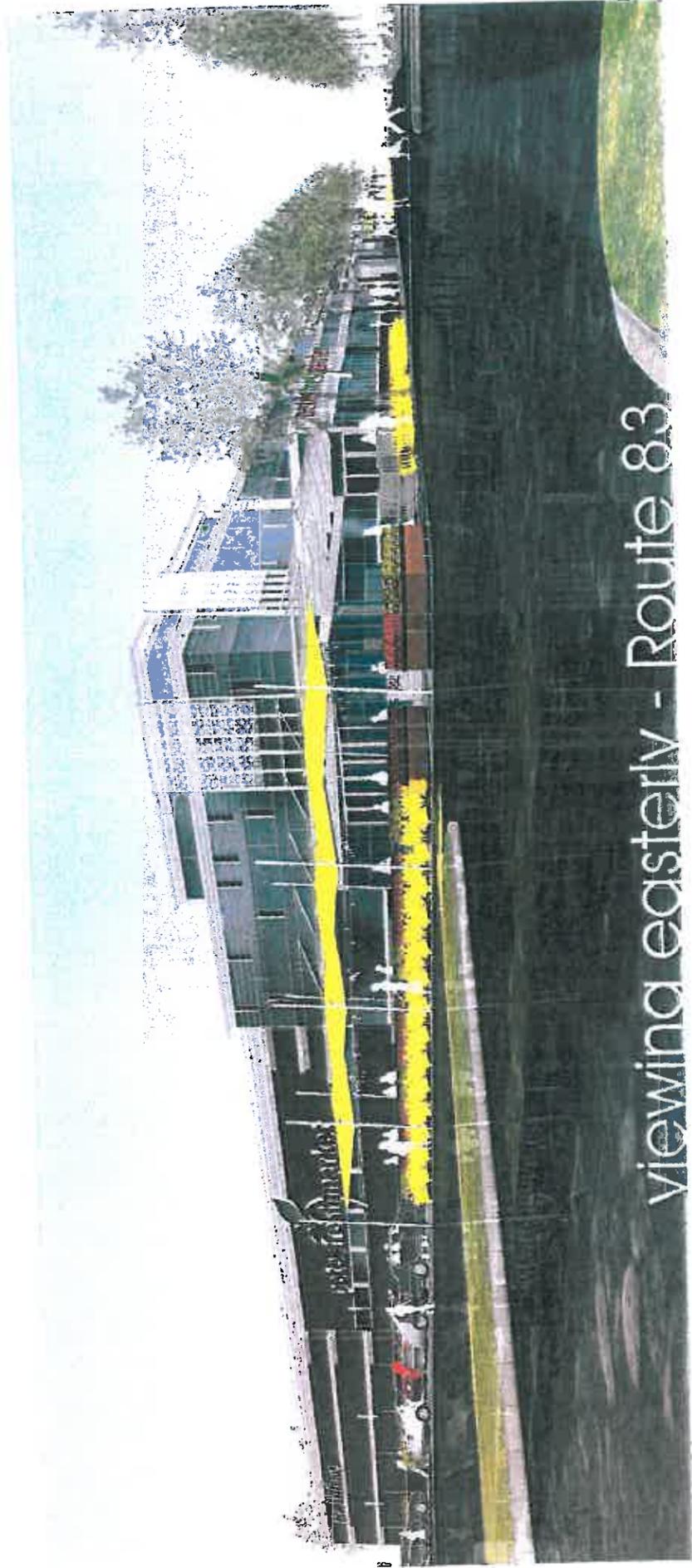
South elevation - west end



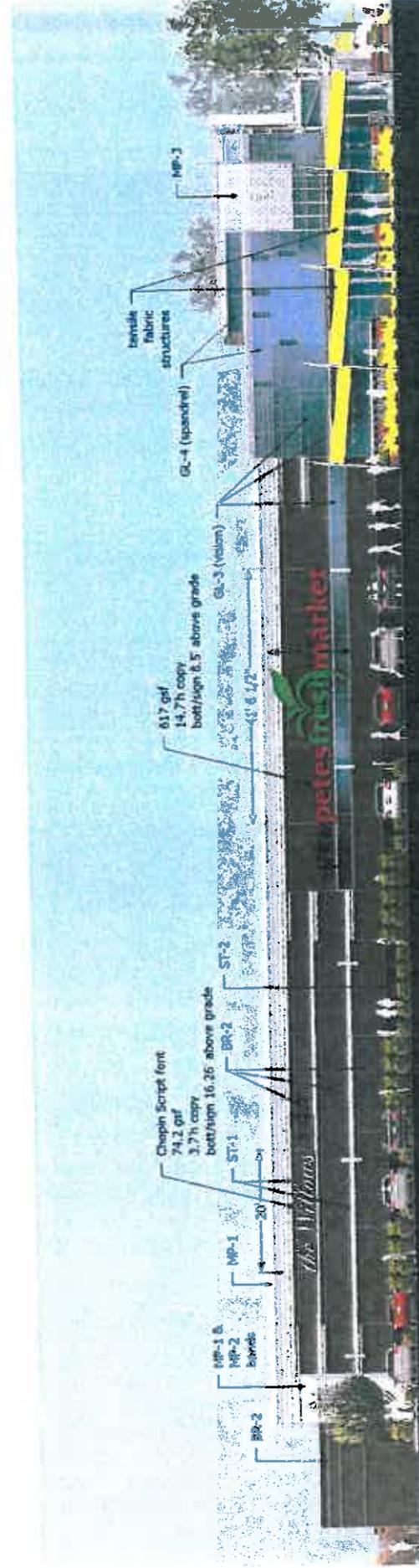
South elevation - east  
Regional Retail Center

*The Meadows*, *Willowbrook*

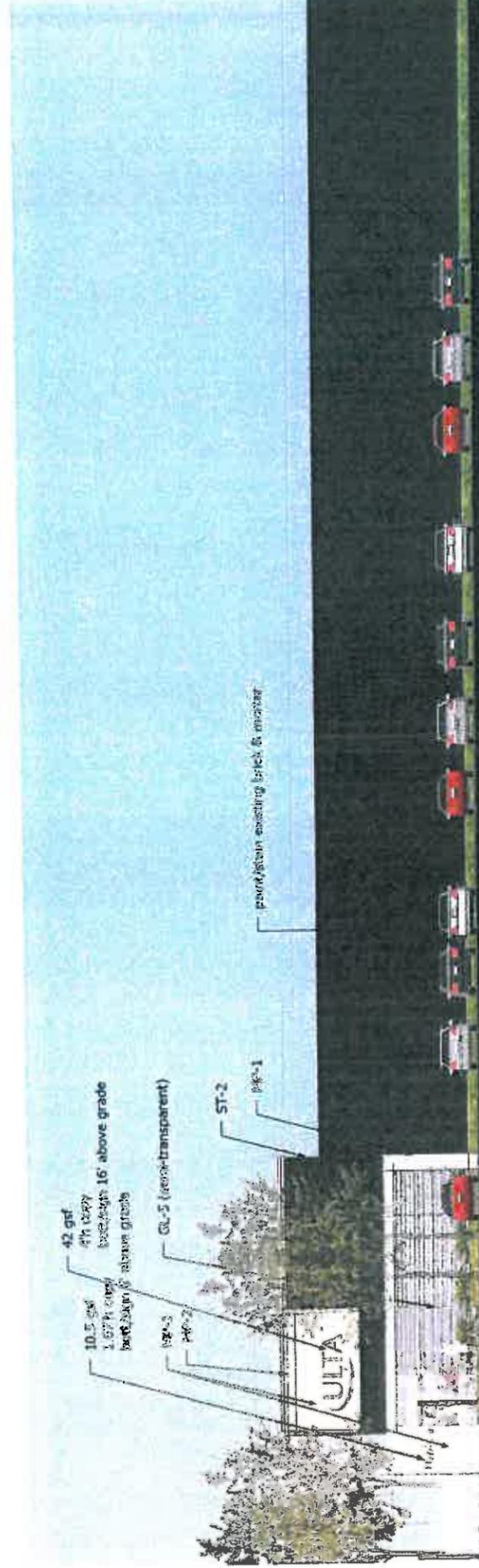




viewing easterly - Route 83



west elev Bldg A - Route 83



©28Nov15



*the Willows* Willowbrook

east elev - Bldg A  
Regional Retail Center

1. The first part of the document discusses the importance of maintaining accurate records of all transactions.

2. It is essential to ensure that all entries are supported by appropriate documentation.

3. This includes receipts, invoices, and other relevant financial statements.

4. Proper record-keeping is crucial for the preparation of financial reports.

5. It also helps in identifying trends and anomalies in the data.

6. The second part of the document focuses on the role of internal controls.

7. These controls are designed to prevent errors and fraud within the organization.

8. Key elements include segregation of duties and regular audits.

9. Implementing strong internal controls is vital for the integrity of the financial system.

10. The document concludes by emphasizing the need for ongoing monitoring and improvement.

11. Regular reviews and updates to policies are necessary to adapt to changing circumstances.

12. Finally, the document highlights the importance of transparency and communication.

13. Stakeholders should be kept informed of financial performance and any issues that arise.

14. This fosters trust and ensures that the organization remains on a sound financial path.

15. In summary, the document provides a comprehensive overview of financial management best practices.

16. It serves as a valuable resource for anyone involved in the financial operations of an organization.

17. The information presented here is intended to guide and inform, not to constitute professional advice.

18. For more detailed information, please consult with a qualified financial advisor.

19. Thank you for your attention, and we look forward to your feedback.

20. The document is subject to change without notice.

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27. We are always here to help you achieve your financial goals.

28. Thank you again for your interest in our services.

29. We hope this document has been helpful to you.

30. Please do not hesitate to reach out if you have any questions.

31. We are dedicated to your success and well-being.

32. Your partnership with us is highly valued.

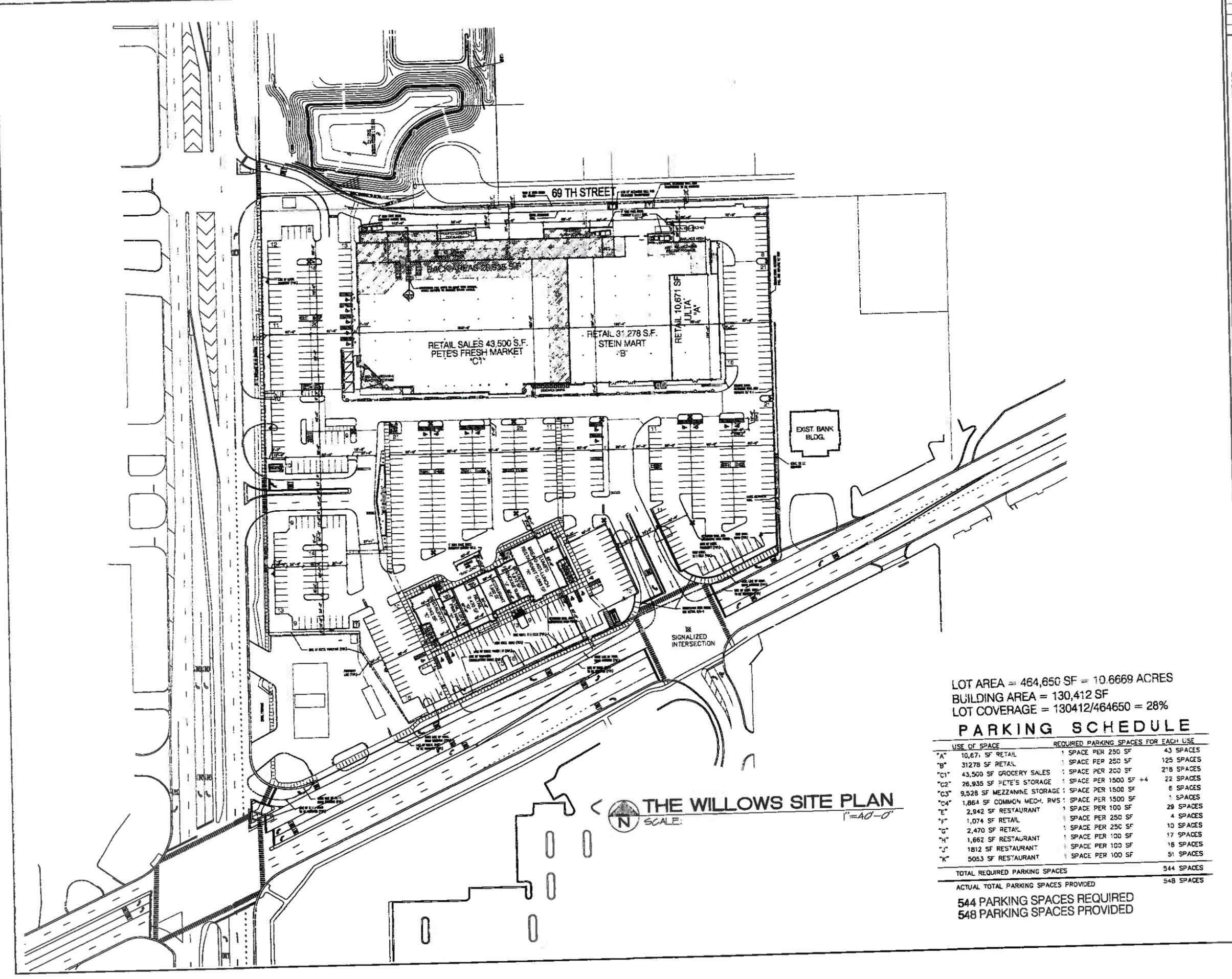
33. We look forward to a long and successful relationship.

34. Thank you for choosing us as your financial partner.

35. We are confident that we will continue to meet your needs.

36. We are committed to excellence in everything we do.

37. Thank you for your time and attention.



LOT AREA = 464,650 SF = 10.6669 ACRES  
 BUILDING AREA = 130,412 SF  
 LOT COVERAGE = 130412/464650 = 28%

**PARKING SCHEDULE**

USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE	
"A" 10,671 SF RETAIL	1 SPACE PER 250 SF	43 SPACES
"B" 31,278 SF RETAIL	1 SPACE PER 250 SF	125 SPACES
"C1" 43,500 SF GROCERY SALES	1 SPACE PER 200 SF	218 SPACES
"C2" 26,935 SF PETE'S STORAGE	1 SPACE PER 1500 SF +4	22 SPACES
"C3" 9,528 SF MEZZANINE STORAGE	1 SPACE PER 1500 SF	6 SPACES
"C4" 1,864 SF COMMON MECH. RMS	1 SPACE PER 1500 SF	1 SPACES
"E" 2,842 SF RESTAURANT	1 SPACE PER 100 SF	29 SPACES
"F" 1,074 SF RETAIL	1 SPACE PER 250 SF	4 SPACES
"G" 2,470 SF RETAIL	1 SPACE PER 250 SF	10 SPACES
"H" 1,662 SF RESTAURANT	1 SPACE PER 100 SF	17 SPACES
"J" 1,812 SF RESTAURANT	1 SPACE PER 100 SF	18 SPACES
"K" 5053 SF RESTAURANT	1 SPACE PER 100 SF	51 SPACES
<b>TOTAL REQUIRED PARKING SPACES</b>		<b>544 SPACES</b>
<b>ACTUAL TOTAL PARKING SPACES PROVIDED</b>		<b>548 SPACES</b>

**544 PARKING SPACES REQUIRED**  
**548 PARKING SPACES PROVIDED**

**THE WILLOWS SITE PLAN**  
 SCALE: 1"=40'-0"

ANGELO STAMATOPOULOS ARCHITECT  
 113 CENTRAL WILLOWBROOK, ILLINOIS 60527  
 Telephone: (630) 788-2314 Fax: (630) 461-0860 E-mail: angelo@stamatopoul.com

SITE PLAN  
 PROPOSED DEVELOPMENT  
 THE WILLOWS OF WILLOWBROOK  
 NORTH-EAST CORNER OF ROUTE 83 AND PLAINFIELD ROAD, WILLOWBROOK, IL

Date: 10/5/15  
 Scale: NOTED  
 Sheet: 100420  
 A-1



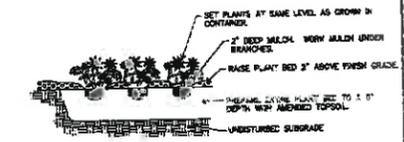
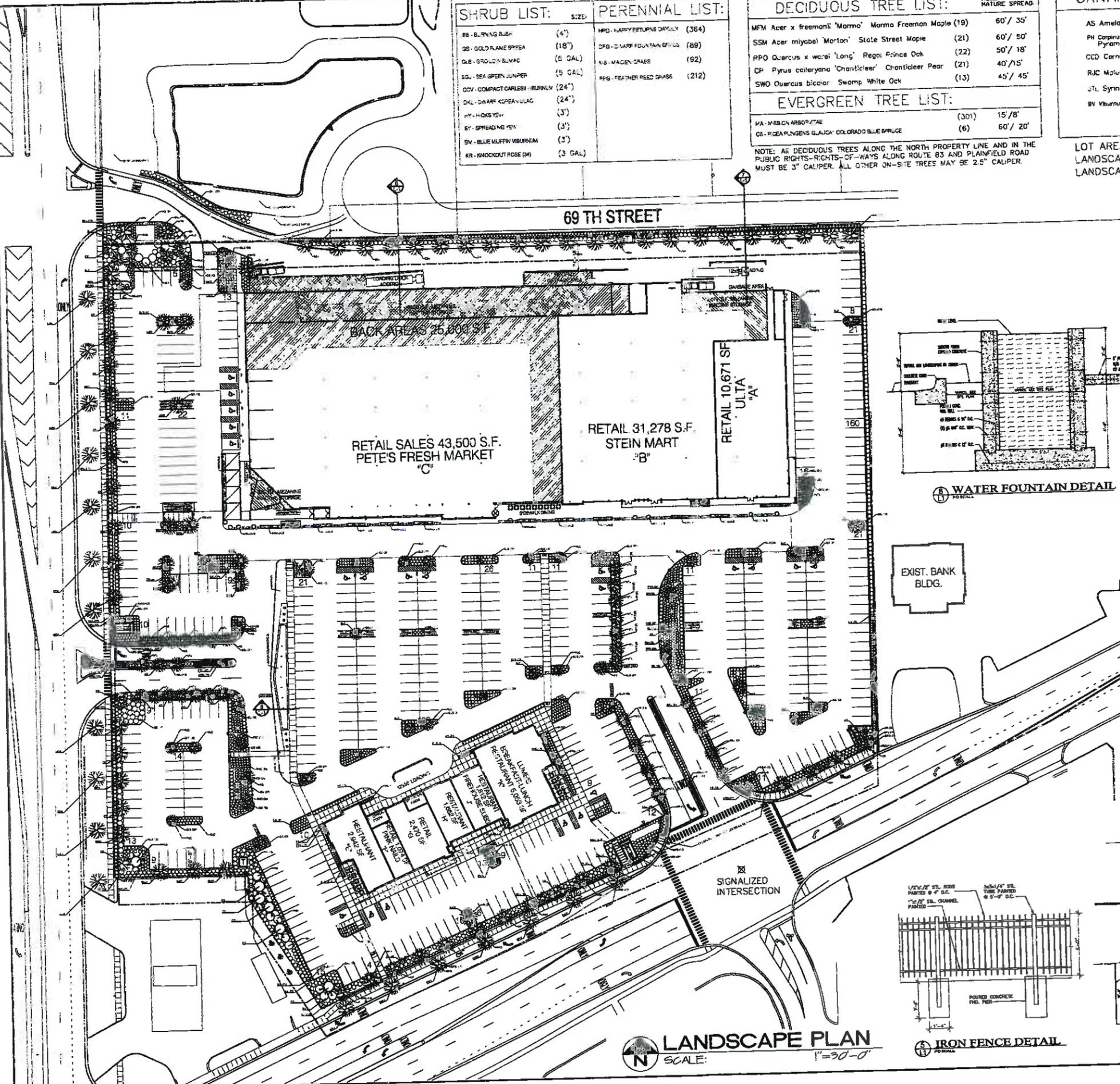
SHRUB LIST:	SIZE:	PERENNIAL LIST:	HEIGHT / MATURE SPREAD
BB - BURNING BUSH	(4')	HRD - HARRY POTTERS ORCHID	(364)
GS - GOLD FLAME SPREA	(18")	DFG - DWARF FOUNTAIN GRASS	(89)
GLS - GOLDEN SILVAC	(5 GAL)	MS - MANDEN GRASS	(92)
SG - SEA GREEN JUNPER	(5 GAL)	FRG - FEATHER REED GRASS	(212)
CDV - COMPACT CARLESS BURNING	(24")		
DKL - DWARF KOPPELULAC	(24")		
HY - HOKS YE W	(3')		
BY - SPREADING YEN	(3')		
BY - BLUE MUFFIN VIBURNUM	(3')		
KR - KNOCKOUT ROSE (M)	(3 GAL)		

DECIDUOUS TREE LIST:	HEIGHT / MATURE SPREAD
MFM Acer x freemanii 'Marmo' Marmo Freeman Maple	(19) 60' / 35'
SSM Acer miyabei 'Morton' State Street Maple	(21) 60' / 50'
RPO Quercus x walcoti 'Long' Regal Prince Oak	(22) 50' / 18'
CP Pyrus calleryana 'Chanticleer' Chanticleer Pear	(21) 40' / 15'
SWO Quercus bicolor Swamp White Oak	(13) 45' / 45'
MA - MASSACHUSETTS ARBORVITAE	(301) 15' / 8'
CS - COLORED PRINCENS GLAUKA COLORADO BLUE SPRUCE	(6) 60' / 20'

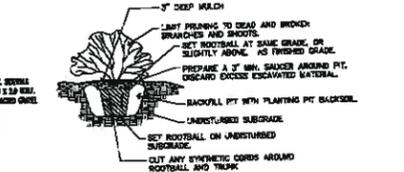
NOTE: ALL DECIDUOUS TREES ALONG THE NORTH PROPERTY LINE AND IN THE PUBLIC RIGHTS-OF-WAYS ALONG ROUTE 83 AND PLAINFIELD ROAD MUST BE 3" CALIPER. ALL OTHER ON-SITE TREES MAY BE 2.5" CALIPER.

ORNAMENTAL TREE LIST:	HEIGHT / MATURE SPREAD
AS Amelanchier x grandiflora Apple Serviceberry	(18) 30' / 20'
PH Cornus betulus 'Fastigiata' Pyramidal European Hornbeam	(32) 25' / 15'
CCD Cornus mas 'Cornelian Cherry Dogwood'	(13) 20' / 20'
RJC Malus x Red Jewel Red Jewel Crab	(25) 15' / 12'
JL Syringa reticulata Japanese Tree Lilac	(28) 20' / 15'
BV Viburnum Prunifolium Blackhaw Viburnum	(17) 10' / 15'

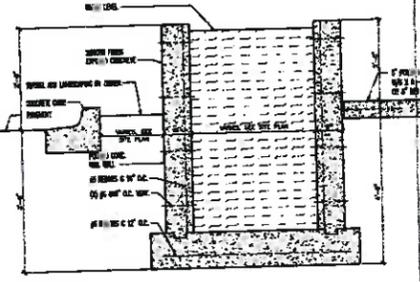
LOT AREA = 464,650 S.F. (10.6669 ACRES)  
 LANDSCAPE AREA (GREEN SPACE) = 46,822 S.F.  
 LANDSCAPE LOT COVERAGE = 10%



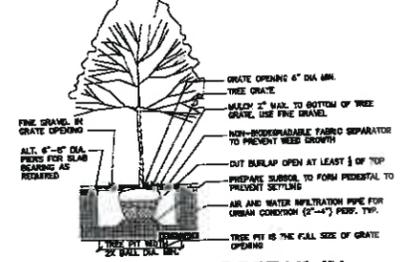
ANNUAL, PERENNIAL, AND GROUND COVER DETAIL



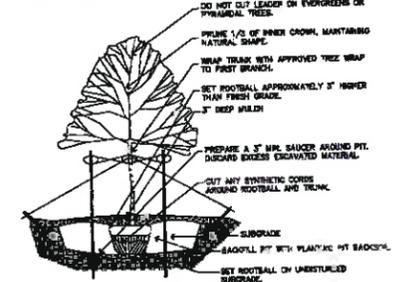
SHRUB PLANTING DETAIL



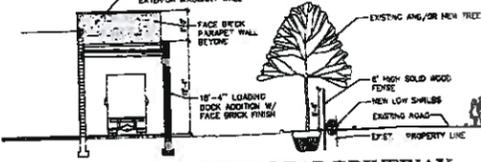
WATER FOUNTAIN DETAIL



TREE PLANTING DETAIL IN PAVEMENT/METAL GRATE



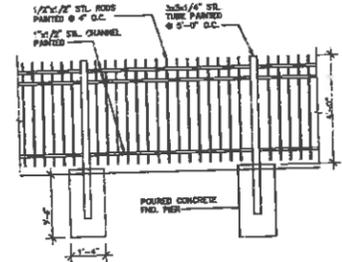
TREE PLANTING DETAIL



SECTION THRU REAR DRIVEWAY



SECTION THRU REAR DRIVEWAY



IRON FENCE DETAIL

LANDSCAPE PLAN  
 SCALE: 1"=30'-0"

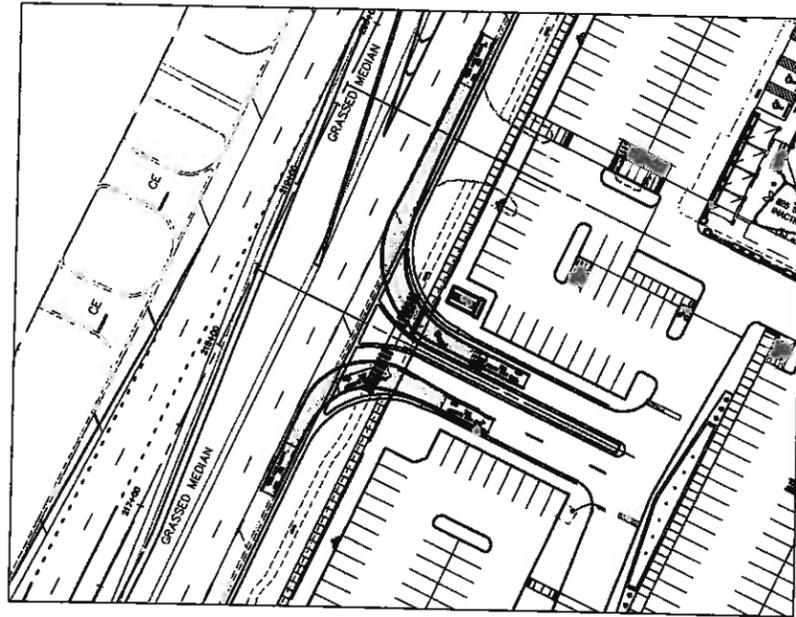
ANGELO STAMATOUKOS ARCHITECT  
 113 CENTRAL WILLOWROCK, ULMUR 60527  
 Telephone: (815) 798-2514 Fax: (815) 798-2514  
 Email: angelo@angelo-stamatoukos.com

LANDSCAPE PLAN AND DETAILS  
 PROPOSED DEVELOPMENT  
 THE WILLOWS OF WILLOWROCK  
 NORTH-EAST CORNER OF ROUTE 83 AND PLAINFIELD ROAD, WILLOWROCK, IL.

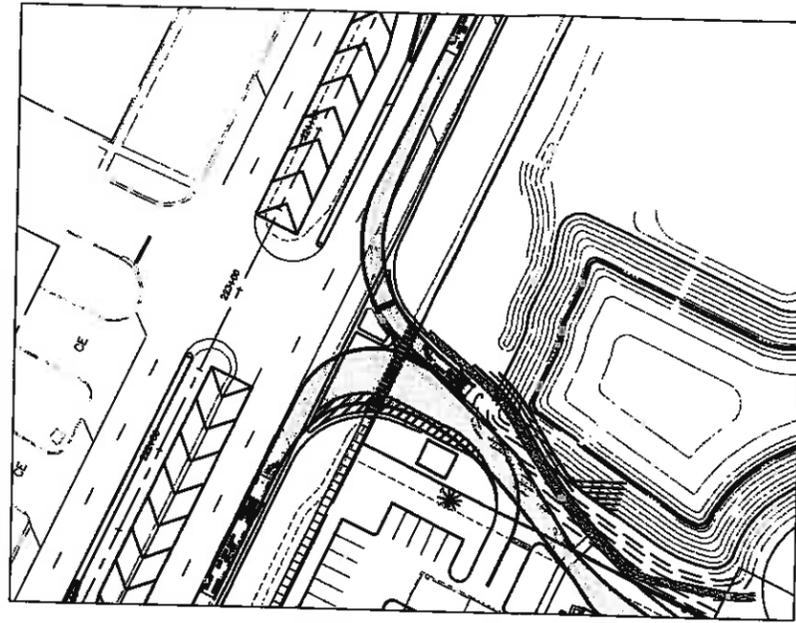
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 Job: 100420  
 Sheet:



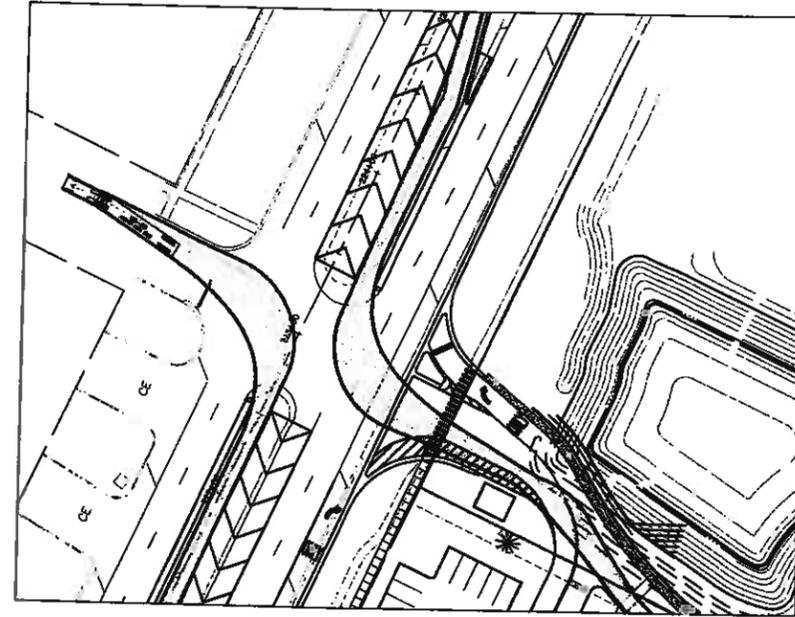




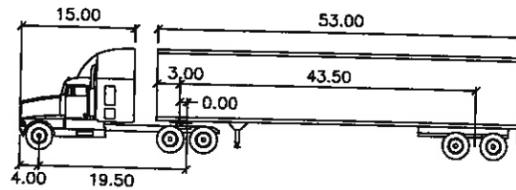
IL 83 AT SITE ENTRANCE  
RIGHT IN & OUT



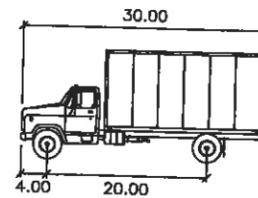
IL 83 AT TRUCK ENTRANCE  
RIGHT IN & OUT



IL 83 AT TRUCK ENTRANCE  
LEFT IN

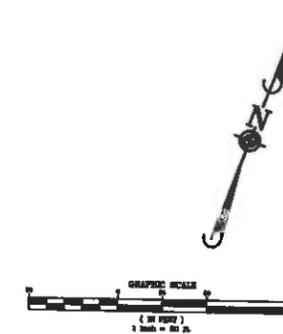


WB-65	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



SU	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

**DESIGN VEHICLES**



DATE	DESCRIPTION
8-1-15	REVISED PER FOOT COMMENTS
8-25-15	REVISED PER FOOT COMMENTS
9-1-15	REVISED PER FOOT COMMENTS
7-22-15	REVISED PER NEW ENTRANCE LOCATION ON IL 83

**Manhard CONSULTING**  
 822 Woodside Drive, Willow Brook, IL 60181  
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

**PETE'S FRESH MARKET  
 WILLOWBROOK, ILLINOIS  
 DESIGN VEHICLE TURNING MOVEMENTS**

PROJ. NO.	DA
PROJ. ASSOC.	RW
DRAWN BY	AS
DATE	8-25-14
SCALE	1"=50'
SHEET	
<b>4</b>	<b>OF 4</b>
PMRWB	130106

September 15, 2015 - 13:18 Des. Name: P:\Projects\Year\Em\WillowBrook\Graphics\Concept\_Corrections\_2015-09-09.dwg Updater: Epc\_00000000

6









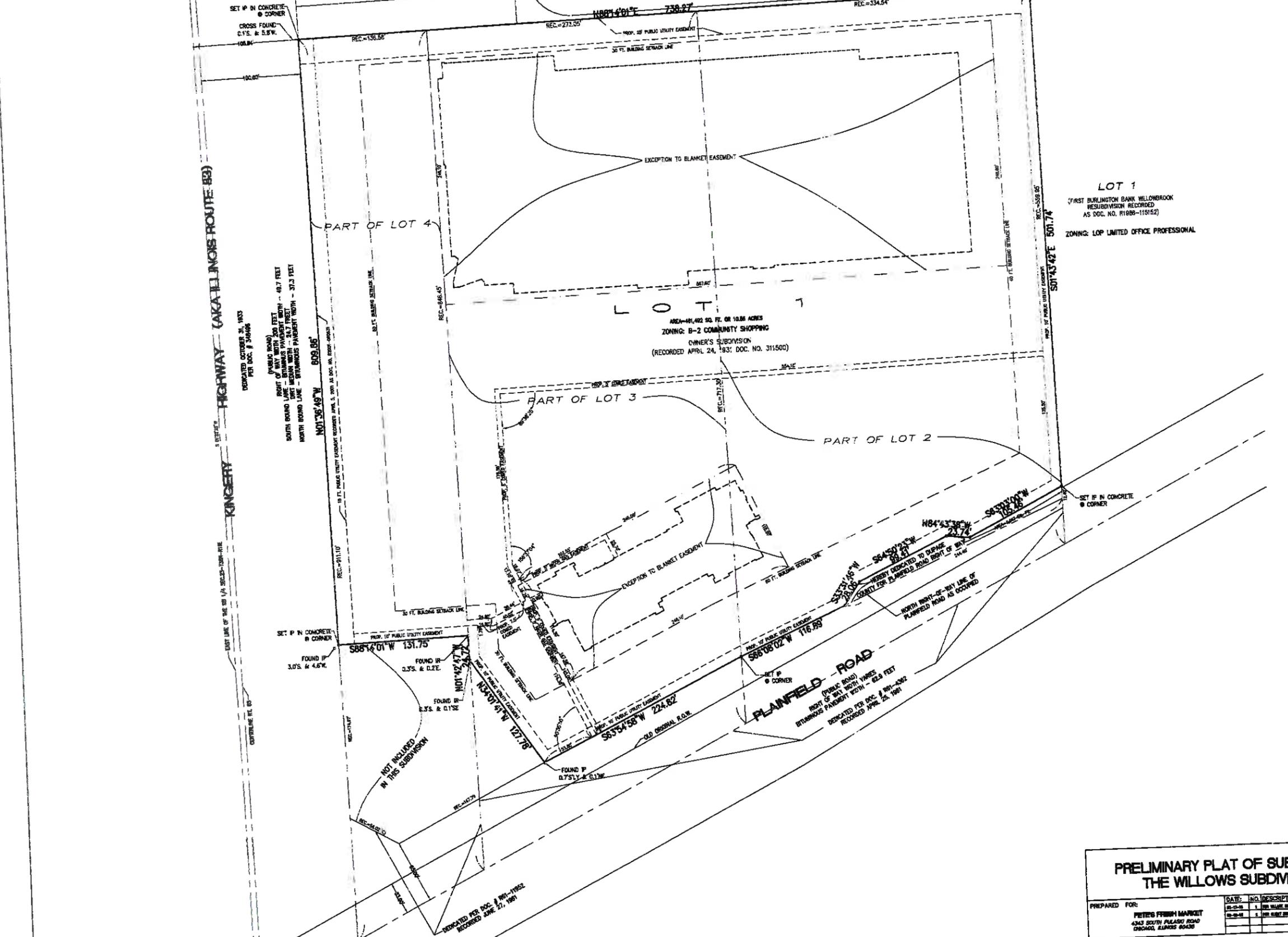
# PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

**ECOPOOL SURVEYORS**  
 125305 LEMONT RD. LEMONT, ILLINOIS 60438  
 PHONE: (630) 759-0707 FAX: (630) 759-8080  
 CHICAGO METRO AREA: (773) 981-9477 PHONE  
 PROFESSIONAL DESIGN FIRM NO. 184-005273  
 EMAIL: ECOPOOL@COMCAST.NET

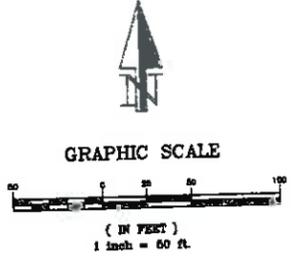
ZONING: LOP LIMITED OFFICE PROFESSIONAL  
 (WILLOWBROOK OFFICE PARK LOT 12  
 ASSESSMENT PLAT  
 RECORDED AS DOC. NO. P2005-157465)

ZONING: R 1 SINGLE FAMILY

POINT OF BEGINNING  
 NORTHEAST CORNER LOT 2  
 (OWNER'S SUBDIVISION)  
 FOUND IN  
 ● CORNER



HIGHWAY (AKA ILLINOIS ROUTE 89)  
 KINGSERY

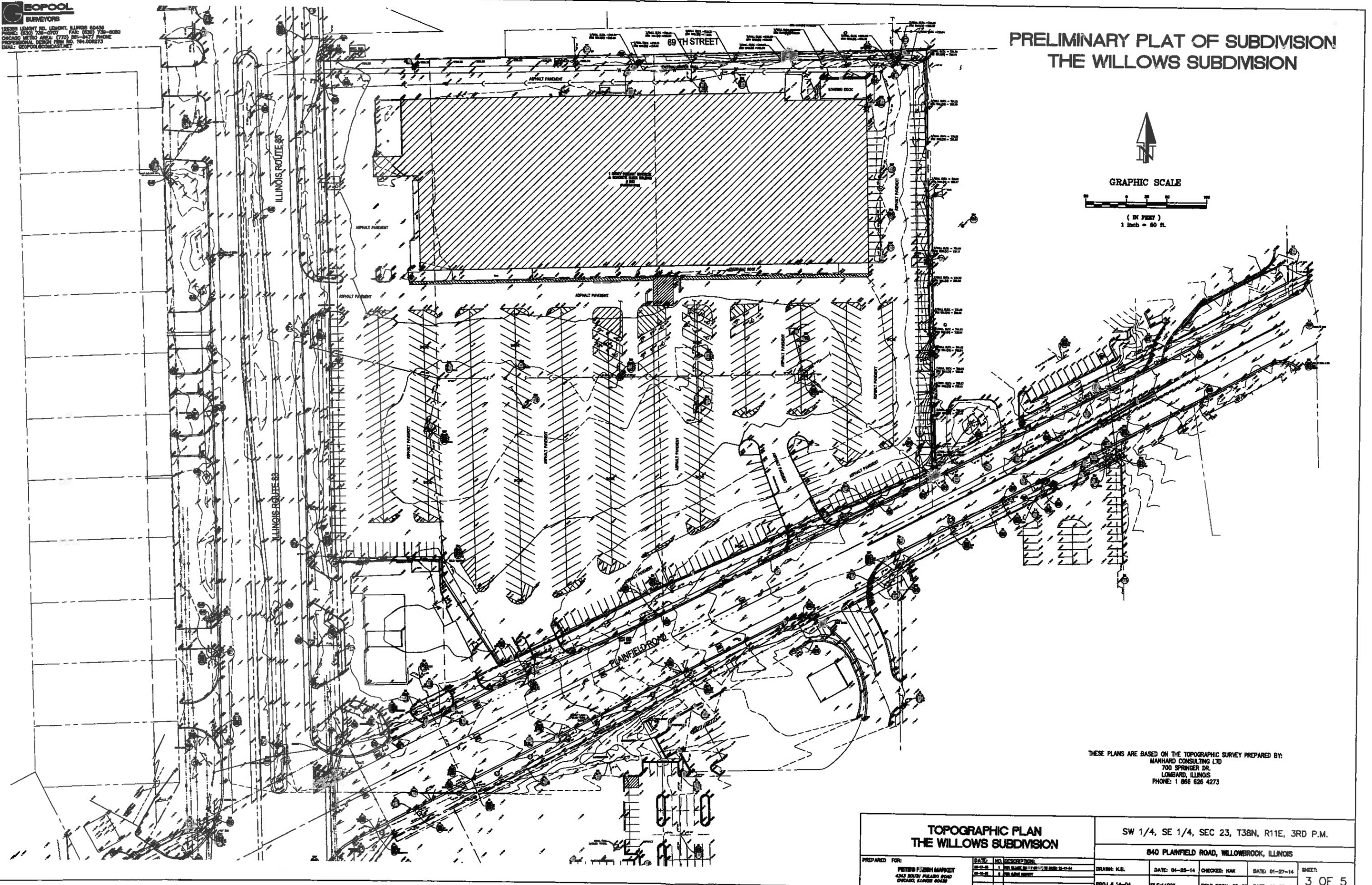
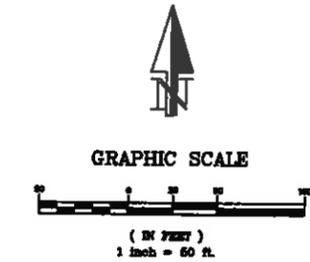


A BLANKET WATERMAIN SANITARY SEWER, STORMWATER DRAINAGE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK AND DUPAGE COUNTY OVER LOT 1 IN THE WILLOWS SUBDIVISION SUBDIVISION THAT DO NOT CONTAIN AREAS AS EXCEPTED ON THIS PLAT.

AREA DEDICATED TO DUPAGE COUNTY FOR PLAINFIELD ROAD RIGHT OF WAY 2317 S.F.

<b>PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: <b>PETER'S FRESH MARKET</b> 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632	DATE: 02-25-14 NO. 1 DESCRIPTION: FOR VILLAGE OF WILLOWBROOK	DATE: 04-25-14 CHECKED: KAK	DATE: 01-27-14 DATE: 02-25-14	SHEET: 2 OF 5	
PROJ # 14-04	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14		

# PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

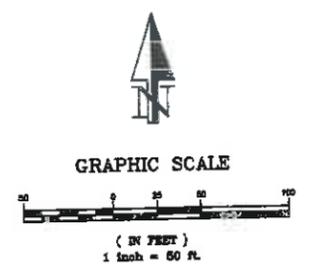
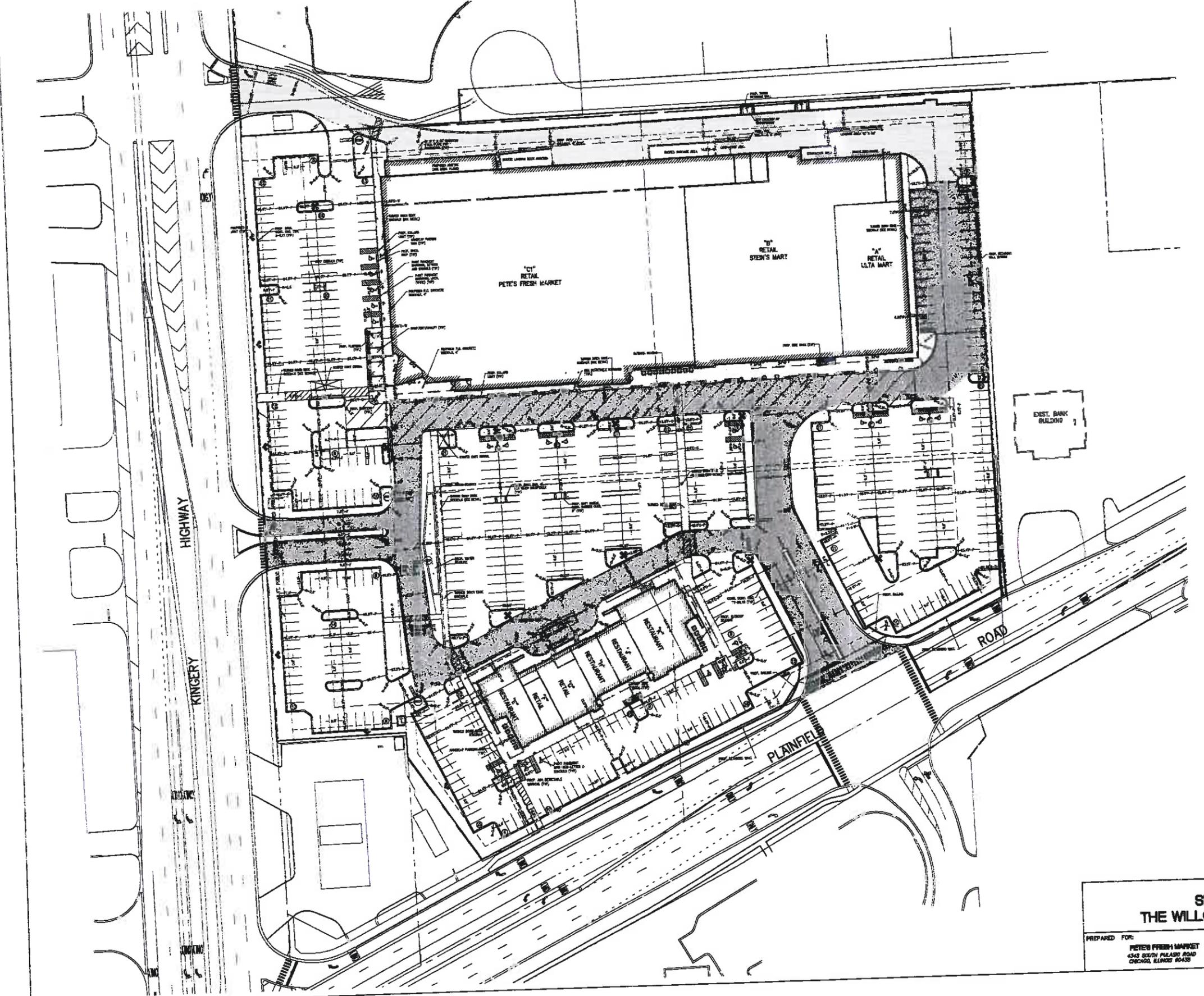


THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:  
MANHARD CONSULTING LTD  
700 SPUNKER DR.  
LOMBARD, ILLINOIS  
PHONE: 1 866 626 4273

<p><b>TOPOGRAPHIC PLAN THE WILLOWS SUBDIVISION</b></p>		<p>SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.</p>			
		<p>840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</p>			
<p>PREPARED FOR: PETER F. BERRY MARKET 4343 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60648</p>	<p>DATE: 02-28-14 NO. 1 DESCRIPTION: 1. RE-SUBDIVISION</p>	<p>DATE: 04-23-14 CHECKED: KAK FIELD BOOK: 02-28</p>	<p>DATE: 01-27-14 DATE: 02-28-14</p>	<p>SHEET: 3 OF 5</p>	
<p>DRAWN: K.E. PROJ # 14-04</p>		<p>FILE: 14028</p>			

# PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

**EOPOL**  
SURVEYORS  
12335 LEMONT RD. LEMONT, ILLINOIS 60439  
PHONE: (830) 750-0707 FAX: (830) 750-0290  
CHICAGO METRO AREA (773) 561-6477 PHONE  
PROFESSIONAL DESIGN FIRM NO. 184-005273  
E-MAIL: EOPOL@COMCAST.NET



**PAVEMENT LEGEND:**

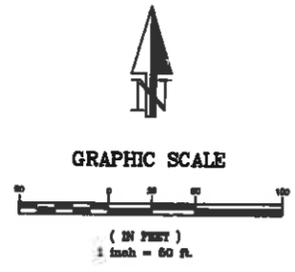
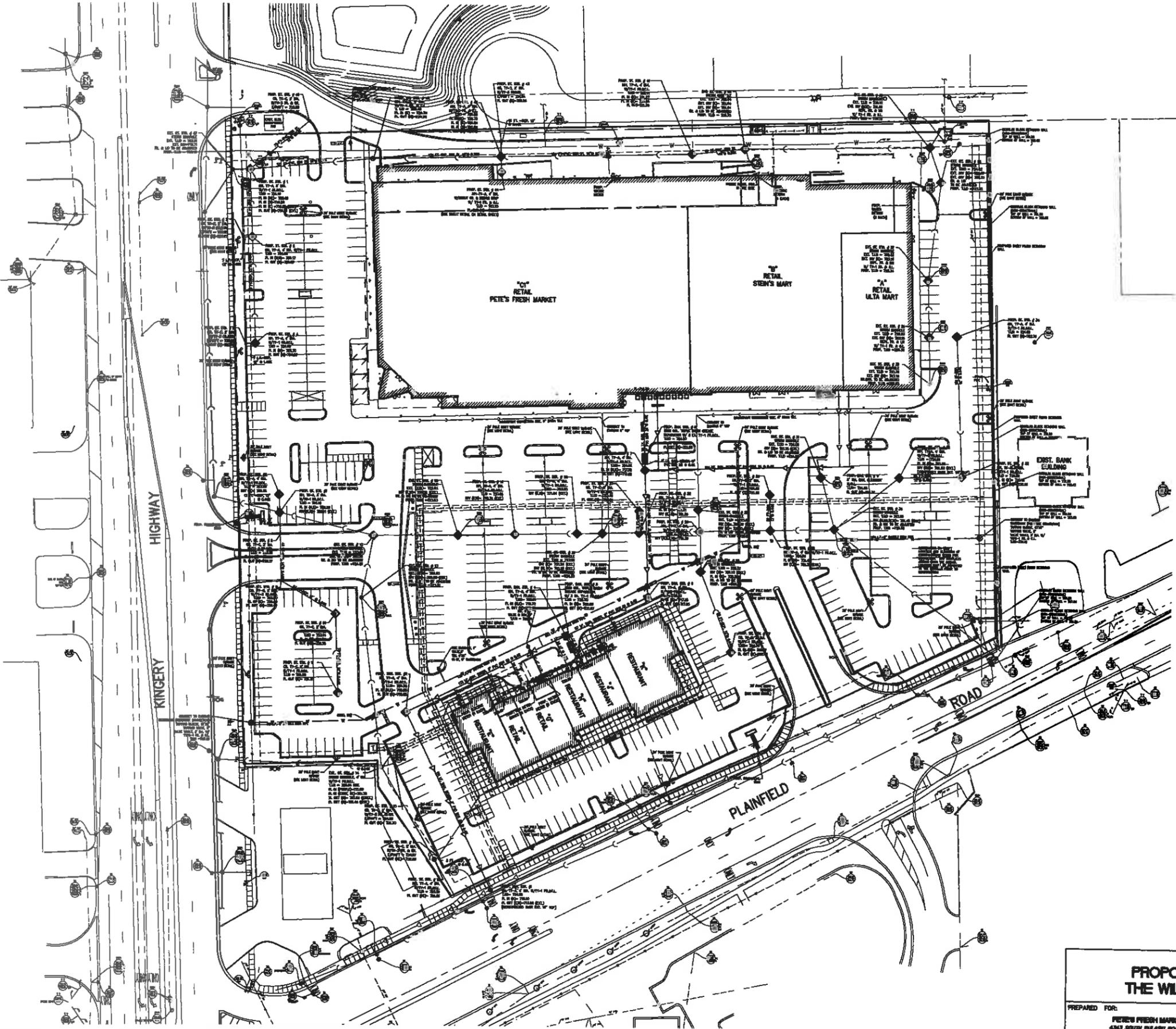
- PROP. CONCRETE PAVEMENT/SIDEWALK
  - PROP. HEAVY DUTY HMA PAVEMENT
- ALL OTHER PAVEMENT SHALL BE HMA STANDARD DUTY

**PARKING SCHEDULE**

UNIT	USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE
A	10,671 SF RETAIL	1 SPACE PER 250 SF 43 SPACES
B	31,278 SF RETAIL	1 SPACE PER 250 SF 125 SPACES
C1	43,500 SF GROCERY SALES	1 SPACE PER 250 SF 174 SPACES
C2	26,835 SF RETAIL	1 SPACE PER 1500 SF ++ 18 SPACES
C3	6,828 SF MEZZANINE STORAGE	1 SPACE PER 1000 SF 7 SPACES
C4	1,884 SF COMMON MECH. RSM	1 SPACE PER 100 SF 19 SPACES
E	2,842 SF RESTAURANT	1 SPACE PER 250 SF 11 SPACES
F	1,074 SF RETAIL	1 SPACE PER 250 SF 4 SPACES
G	2,470 SF RETAIL	1 SPACE PER 250 SF 10 SPACES
H	1,862 SF RESTAURANT	1 SPACE PER 100 SF 19 SPACES
J	1,872 SF RESTAURANT	1 SPACE PER 100 SF 19 SPACES
K	5,053 SF RESTAURANT	1 SPACE PER 100 SF 51 SPACES
<b>TOTAL REQUIRED PARKING SPACES</b>		<b>544 SPACES</b>
<b>ACTUAL TOTAL PARKING SPACES PROVIDED</b>		<b>648 SPACES</b>

<b>SITE PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M. 840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: <b>PETE'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632</b>	DATE: 04-25-14 NO. 1 DESCRIPTION: PRELIMINARY SITE PLAN FOR PETE'S FRESH MARKET	DRAWN: K.B.	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14
PROJ # 14-04		FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14	SHEET: <b>4 OF 5</b>

# PRELIMINARY PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION



**POPULATION EQUIVALENT FOR THE WILLOW SUBDIVISION**

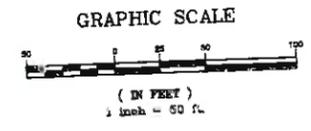
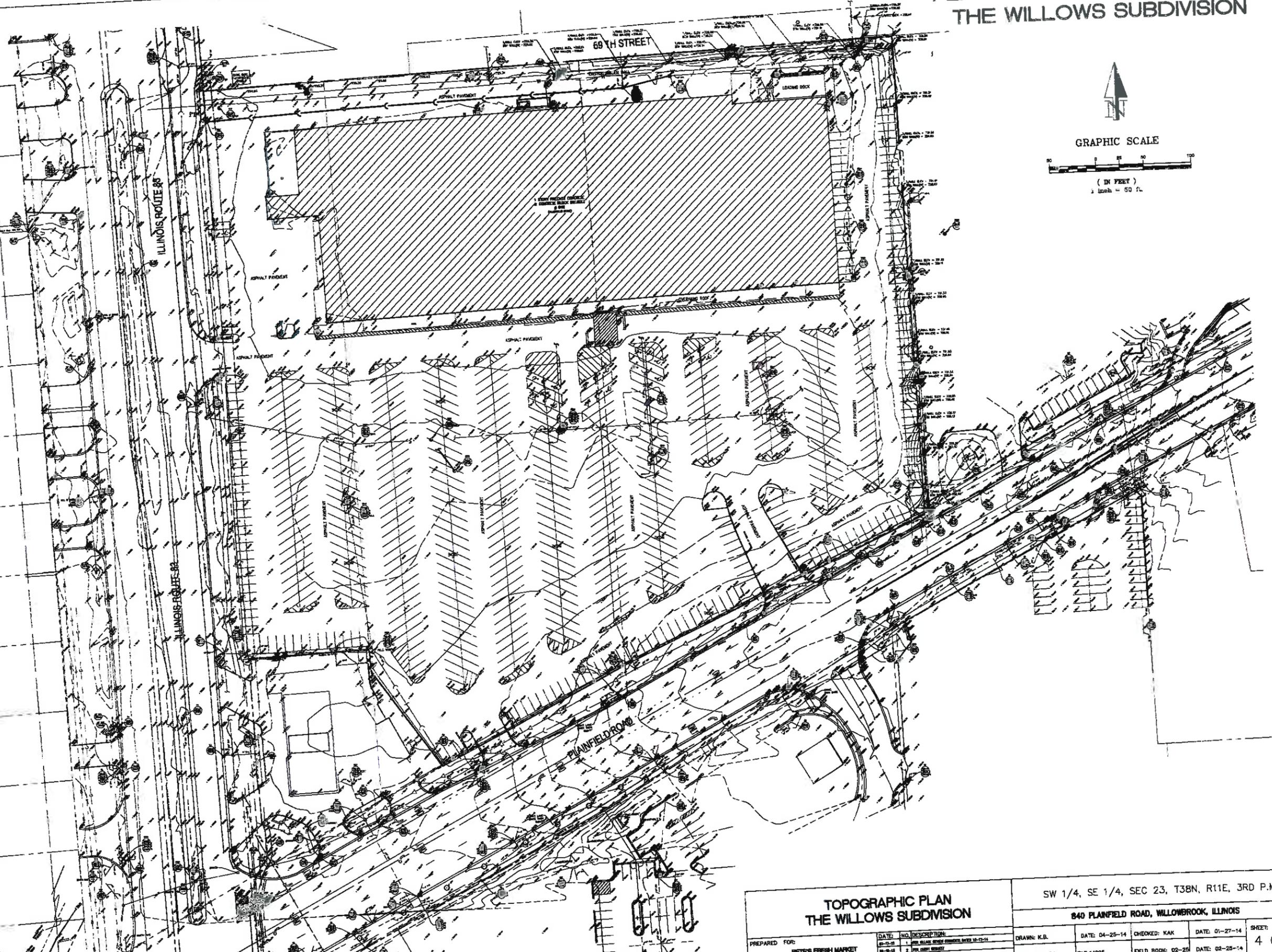
PETE'S FRESH MARKET BUILDING	628.8 PE
WEST OUTLOT BUILDING (POTENTIAL FUTURE)	25.2 PE
SOUTH OUTLOT BUILDING	108.1 PE
<b>TOTAL</b>	<b>762.1 PE</b>

<b>PROPOSED UTILITY PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR:	DATE:	NO.:	DESCRIPTION:	DRAWN:	DATE:
PETE'S FRESH MARKET 4343 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60632	02-27-14	1	PRELIMINARY UTILITY PLAN	K.S.	04-25-14
	02-28-14	2	REVISION		
PROJ # 14-04	FILE:14025	FIELD BOOK: 02-14	DATE: 02-28-14	SHEET: 5 OF 5	



PLANNED UNIT DEVELOPMENT  
THE WILLOWS SUBDIVISION

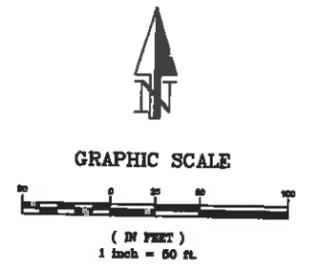
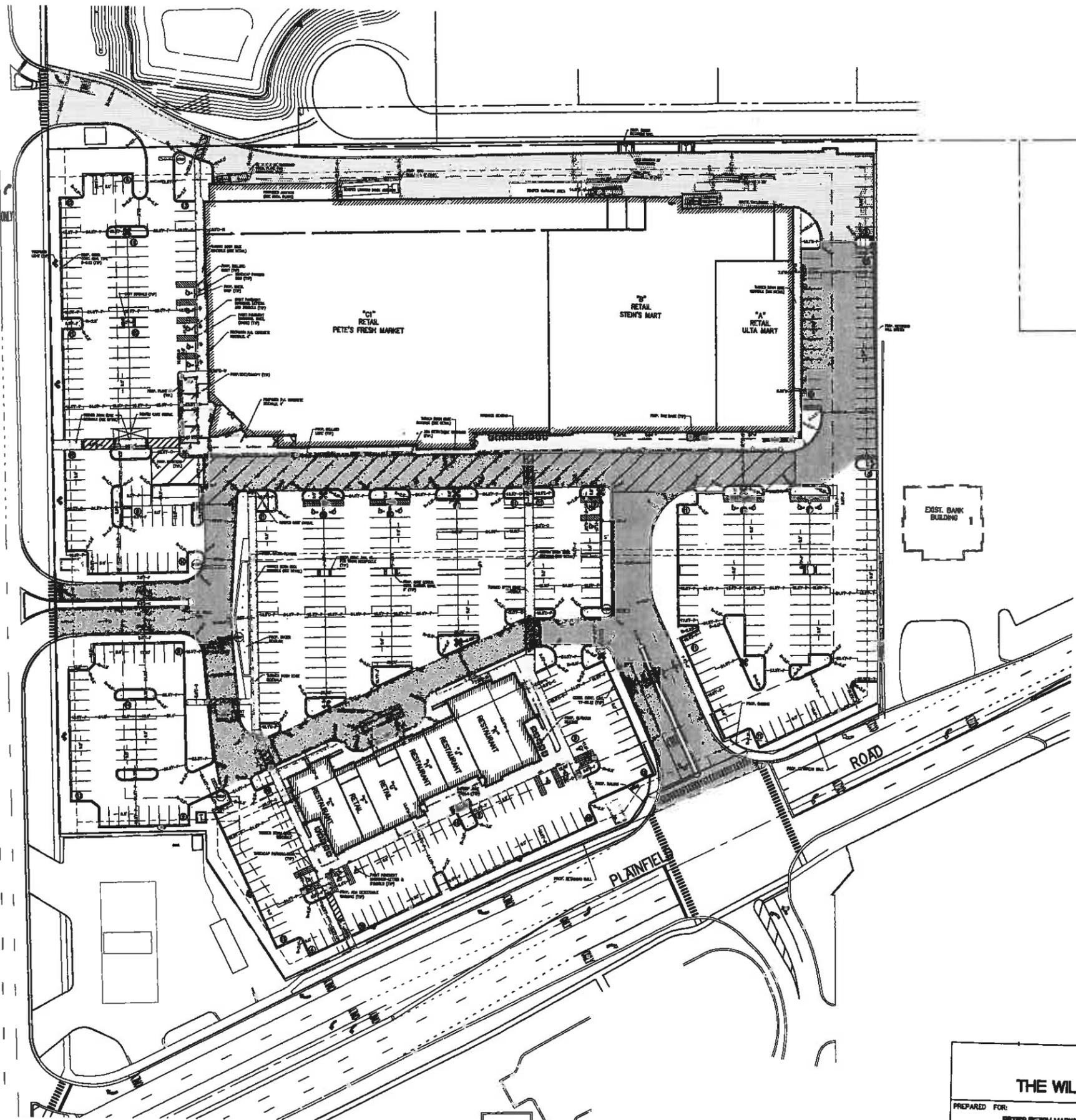
IT



<p><b>TOPOGRAPHIC PLAN</b> <b>THE WILLOWS SUBDIVISION</b></p>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.																		
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS																		
<p>PREPARED FOR: <b>PETE'S FRESH MARKET</b> 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632</p>	<table border="1"> <thead> <tr> <th>DATE</th> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01-27-14</td> <td>1</td> <td>PRELIMINARY CONCEPT PLAN 12-12-13</td> </tr> <tr> <td>02-25-14</td> <td>2</td> <td>PRELIMINARY CONCEPT</td> </tr> </tbody> </table>	DATE	NO.	DESCRIPTION	01-27-14	1	PRELIMINARY CONCEPT PLAN 12-12-13	02-25-14	2	PRELIMINARY CONCEPT	<p>DRAWN: K.B.</p>	<table border="1"> <tr> <td>DATE: 04-25-14</td> <td>CHECKED: KAK</td> <td>DATE: 01-27-14</td> <td>SHEET: 4 OF 7</td> </tr> <tr> <td>FILE: 14025</td> <td>FIELD BOOK: 02-25</td> <td>DATE: 02-25-14</td> <td></td> </tr> </table>	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14	SHEET: 4 OF 7	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14	
DATE	NO.	DESCRIPTION																		
01-27-14	1	PRELIMINARY CONCEPT PLAN 12-12-13																		
02-25-14	2	PRELIMINARY CONCEPT																		
DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14	SHEET: 4 OF 7																	
FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14																		

EC 23, T38N, R11E, 3RD P.M.							
OAD, WILLOWBROOK, ILLINOIS							
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DRAWN: KAK	DATE: 01-27-14						
FIELD BOOK: 02-25	DATE: 02-25-14						

# PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



**PAVEMENT LEGEND:**

- PROP. CONCRETE PAVEMENT/SIDEWALK
  - PROP. HEAVY DUTY HMA PAVEMENT
- ALL OTHER PAVEMENT SHALL BE HMA STANDARD DUTY

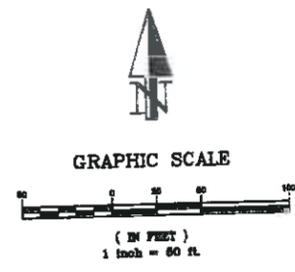
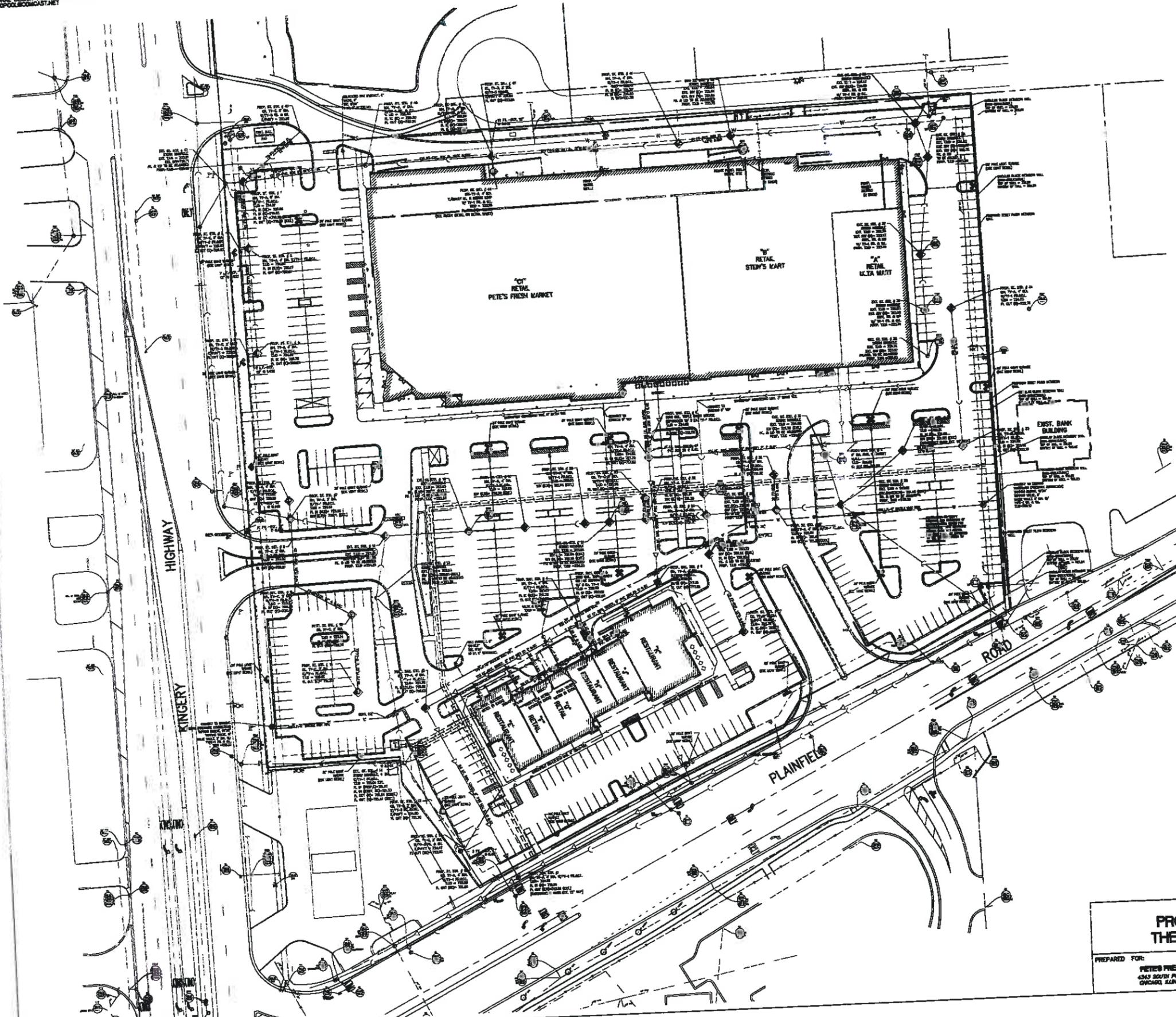
**PARKING SCHEDULE**

UNIT	USE OF SPACE	REQUIRED PARKING SPACES FOR EACH USE
A	10,671 SF RETAIL	1 SPACE PER 200 SF 43 SPACES
B	31,278 SF RETAIL	1 SPACE PER 200 SF 128 SPACES
C1	43,500 SF GROCERY SALES	1 SPACE PER 200 SF 218 SPACES
C2	26,835 SF RETAIL	1 SPACE PER 1800 SF +4 22 SPACES
C3	9,528 SF MEZZANINE STORAGE	1 SPACE PER 1800 5 SPACES
C4	1,634 SF COMMON MECH. RSM	1 SPACE PER 1500 SF 1 SPACE
E	2,942 SF RESTAURANT	1 SPACE PER 100 SF 29 SPACES
F	1,074 SF RETAIL	1 SPACE PER 200 SF 4 SPACES
G	2,470 SF RETAIL	1 SPACE PER 250 SF 10 SPACES
H	1,862 SF RESTAURANT	1 SPACE PER 100 SF 17 SPACES
J	1,812 SF RESTAURANT	1 SPACE PER 100 SF 18 SPACES
K	5,053 SF RESTAURANT	1 SPACE PER 100 SF 51 SPACES
<b>TOTAL REQUIRED PARKING SPACES</b>		<b>544 SPACES</b>
<b>ACTUAL TOTAL PARKING SPACES PROVIDED</b>		<b>548 SPACES</b>

<b>SITE PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS					
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60639	DATE: 04-25-14 NO. DESCRIPTION: 1 PER CHASE EXISTING BLDG 13-01-14 2 PER NEW EXISTING	DRAWN: K.B.	DATE: 04-25-14	CHECKED: KAK	DATE: 01-27-14
		PROJECT NO. 14-04	FILED: 14-02-25	FIELD BOOK: 14-04-14	PLAT: 44-04-14
					SHEET: <b>5 OF 7</b>

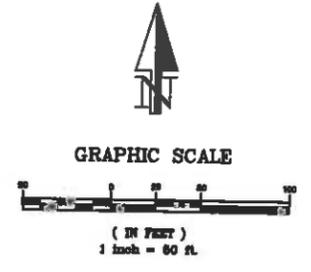
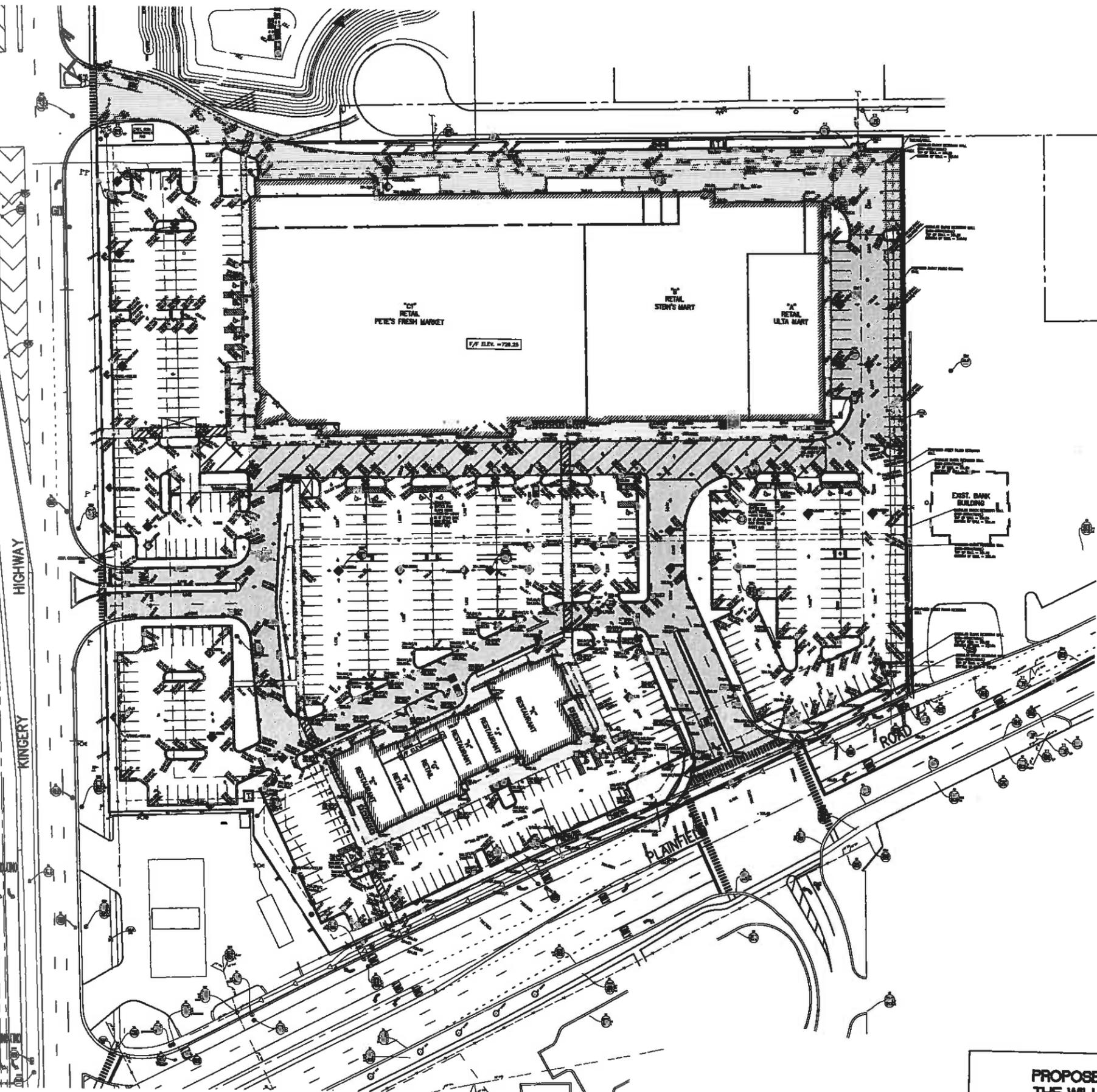
# PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION

**GEPOOL**  
SURVEYORS  
2535 LEWIS RD. LEWIS, ILLINOIS 60438  
PHONE (815) 738-0717 FAX (815) 738-0280  
CHICAGO METRO AREA: (773) 361-3477 PHONE  
PROFESSIONAL DESIGN REG. NO. 18-005273  
EMAIL: GEPPOOL@COMCAST.NET



<b>PROPOSED UTILITY PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: PETE'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60632	DATE: 02-25-14 NO. 1 DESCRIPTION: SEE SHEET 14-01	DRAWN: K.B. DATE: 04-25-14	CHECKED: KAK DATE: 01-27-14	SHEET: 6 OF 7	
	DATE: 02-25-14 NO. 2 DESCRIPTION: SEE SHEET 14-02	PROJ # 14-04 FILE: 14025	FIELD BOOK: 02-25 DATE: 02-25-14		

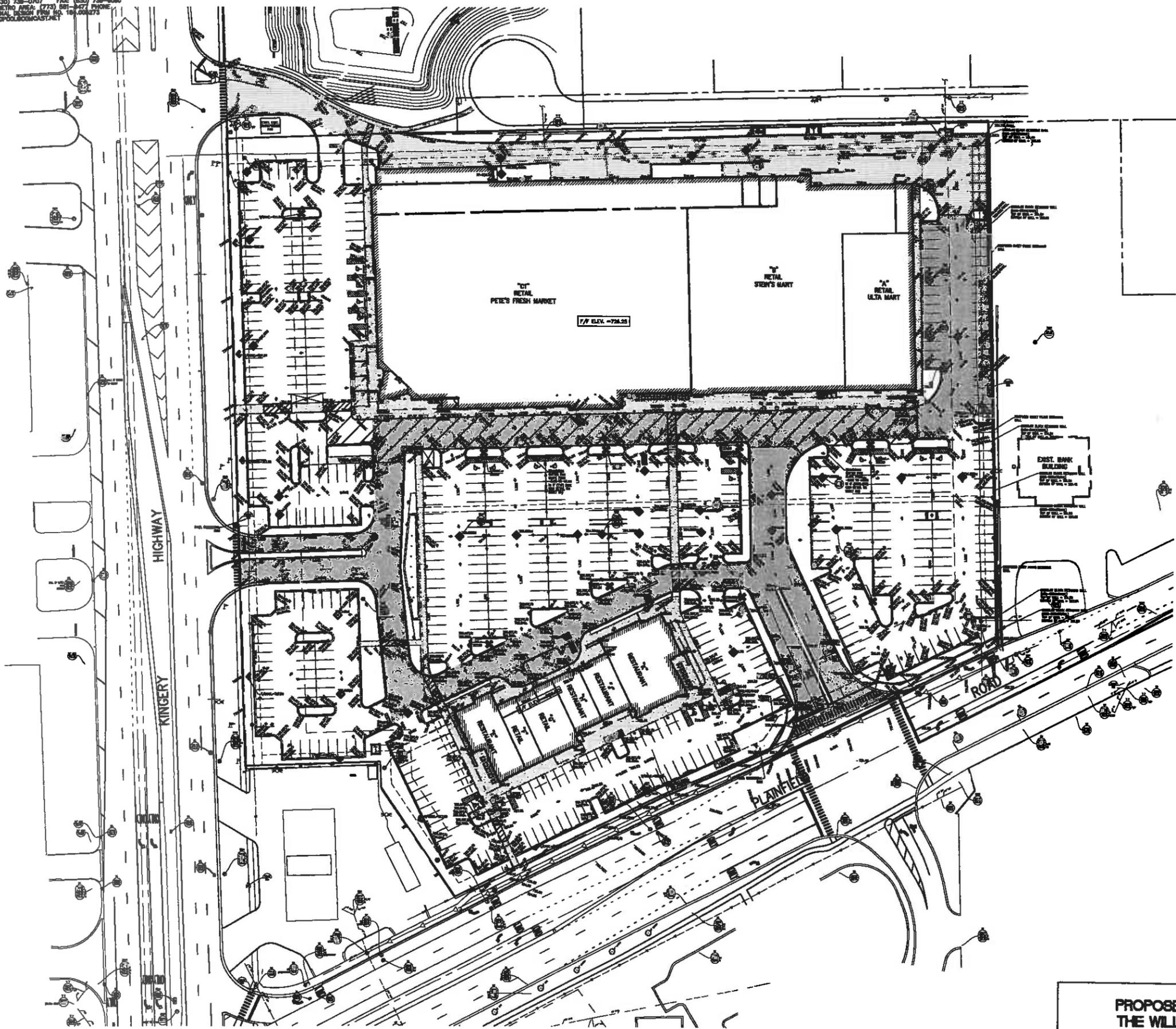
# PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



<b>PROPOSED GRADING PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
PREPARED FOR: PET'S FRESH MARKET 4343 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60648		840 PLAINFIELD ROAD, WILLOWROCK, ILLINOIS			
DATE: 02-02-14	NO. 1	DESCRIPTION: 1. PRELIMINARY GRADING PLAN	DRAWN: K.L.B.	DATE: 04-20-14	CHECKED: K.A.K.
DATE: 02-02-14	NO. 2	DESCRIPTION: 2. FINAL GRADING PLAN	DATE: 01-27-14	SHEET: 7 OF 7	
PROJ # 14-04		FILE: 14025	PROJ. ROOM: 02-02-14	DATE: 02-22-14	

**GEPOOL**  
SURVEYORS  
10000 LEMONT RD. LEMONT, ILLINOIS 60439  
PHONE: (630) 738-0707 FAX: (630) 738-8080  
CHICAGO METRO AREA: (773) 851-8477 PHONE  
PROFESSIONAL LICENSE NO. 181.000073  
EMAIL: GEPOOL@COMCAST.NET

# PLANNED UNIT DEVELOPMENT THE WILLOWS SUBDIVISION



<b>PROPOSED GRADING PLAN THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWROOK, ILLINOIS			
PREPARED FOR: PETE'S FRESH MARKET 4307 SOUTH PLAINFIELD ROAD CHICAGO, ILLINOIS 60632	DATE: 02-25-14 NO. DESCRIPTION: 1. PER BANKING AGREEMENT R-2-14 1. PER CITY ORD.	DRAWN: K.A.	DATE: 01-25-14	CHECKED: K.A.K.	DATE: 01-27-14
		PROJ # 14-04	FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14
					SHEET: <b>7 OF 7</b>

# FINAL PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION

BEING A SUBDIVISION IN PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION  
23, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

9.

COUNTY CLERK CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

I, \_\_\_\_\_ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO RECEIVABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT, GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 2014.  
COUNTY CLERK \_\_\_\_\_ (SEAL)

COUNTY RECORDER'S CERTIFICATE  
STATE OF ILLINOIS ) S.S.  
COUNTY OF DUPAGE )

THIS PLAT WAS FILED FOR RECORD IN THE RECORDERS' OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ AD, 2014, AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. AS DOCUMENT NUMBER \_\_\_\_\_

COUNTY RECORDER  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

I, VILLAGE CLERK FOR THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 2014  
VILLAGE CLERK VILLAGE OF WILLOWBROOK (SEAL)

VILLAGE BOARD CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

APPROVED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 2014

VILLAGE PRESIDENT \_\_\_\_\_  
VILLAGE CLERK \_\_\_\_\_ (SEAL)

VILLAGE ENGINEER/PLATOFFICER CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

I, \_\_\_\_\_ VILLAGE PLAT OFFICER/ENGINEER OF THE VILLAGE OF WILLOWBROOK, DO HEREBY CERTIFY THAT ALL PROVISIONS PERTAINING TO THE SUBDIVISION ORDINANCE, INsofar AS THEY PERTAIN TO THE ACCOMPANYING PLAT, HAVE BEEN SATISFACTORILY COMPLIED WITH.

ATTESTED TO THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

VILLAGE PLAT OFFICER/ENGINEER VILLAGE OF WILLOWBROOK

PLAN COMMISSION CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS AT A MEETING HELD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

BY: \_\_\_\_\_ CHAIRPERSON  
ATTEST: \_\_\_\_\_ SECRETARY

REGION SANITARY DISTRICT CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_ DISTRICT ENGINEER OF THE \_\_\_\_\_ REGION SANITARY DISTRICT, DO HEREBY CERTIFY THAT THE PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE ENGINEERING REQUIREMENTS AS SET FORTH IN THIS DISTRICT ORDINANCES.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

REGION SANITARY DISTRICT ENGINEER

FLOOD ZONE CERTIFICATE  
UPON INSPECTION OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 17043C 0809H AND 17013C 0809H, REVISION DATE, DECEMBER 16, 2004, THE PARCEL SHOWN HEREON IS LOCATED IN ZONE "C"; NO PORTION OF THE PARCEL IS LOCATED IN ZONE "A"; AREA OF 1-60-YEAR FLOOD.

GIVEN UNDER MY HAND AND SEAL AT \_\_\_\_\_ ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD, 20 \_\_\_\_\_

ILLINOIS REGISTERED LAND SURVEYOR  
NO. 035-003403

SURFACE WATER DRAINAGE CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF DUPAGE )

WE HEREBY CERTIFY THAT THE TOPOGRAPHICAL AND PROFILE STUDIES REQUIRED BY THE PLAT ACT, 785 I.C.S. ACT 208, AS NOW OR HEREAFTER AMENDED, HAVE BEEN FILED WITH THE VILLAGE OF WILLOWBROOK, A MUNICIPAL CORPORATION OF DUPAGE COUNTY, ILLINOIS, AND THE CERTIFICATION AS TO DRAINAGE REQUIRED BY SAID ACT MADE THEREON.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD, 20 \_\_\_\_\_

REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. \_\_\_\_\_  
OWNERS) OR DULY AUTHORIZED ATTORNEY

OWNER CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF \_\_\_\_\_ )

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ACCOMPANYING PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

I HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR STREETS, ALLEYS, AND OTHER THOROUGHFARES; AND HEREBY ALSO RESERVE FOR THE 800, 1000R GAS COMPANY, AND THE PUBLIC SERVICE COMPANY DIVISION OF COMMONWEALTH EDISON COMPANY THE EASEMENT PROVISIONS, WHICH ARE STATED ON THEIR STANDARD FORM.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_

NOTARY CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF \_\_\_\_\_ )

I, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL,  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

(SEAL)  
NOTARY

SCHOOL DISTRICT CERTIFICATE  
STATE OF ILLINOIS ) ss  
COUNTY OF \_\_\_\_\_ )

THE UNDERSIGNED, AS OWNER OF THE PROPERTY DESCRIBED AS \_\_\_\_\_ AND LEGALLY DESCRIBED ON THE PLAT OF THE SAME NAME, HAVE DETERMINED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIE.

LOT NUMBER(S): \_\_\_\_\_ SCHOOL DISTRICT: \_\_\_\_\_ HIGH SCHOOL DISTRICT: \_\_\_\_\_  
GRADE SCHOOL DISTRICT: \_\_\_\_\_ JUNIOR COLLEGE DISTRICT: \_\_\_\_\_

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

BY: \_\_\_\_\_

CERTIFICATE OF COUNTY ENGINEER  
STATE OF ILLINOIS ) ss  
COUNTY OF DUPAGE )

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY # \_\_\_\_\_ PURSUANT TO 780 IL CS 2052; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHT-OF-WAY.

DATED THIS \_\_\_\_\_ DATE OF \_\_\_\_\_ AD 20 \_\_\_\_\_

BY: \_\_\_\_\_ COUNTY ENGINEER

SURVEYOR'S CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF DUPAGE )

THIS IS TO CERTIFY I, KENNETH KENNEDY, REGISTERED ILLINOIS LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

RECORD LEGAL DESCRIPTION:  
THAT PART OF LOTS 2, 3, AND 4 IN OWNERS SUBDIVISION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2, THENCE WEST ALONG THE NORTH LINE OF SAID LOTS 2&3&4 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF ILLINOIS ROUTE NO. 63 (7/3 UNCORRECTED); THENCE SOUTH 0 DEGREES 05 MINUTES 24 SECONDS WEST ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 63 93.0638 FEET TO A POINT WHICH IS 288.40 FEET (AS MEASURED ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 63) NORTH OF THE SOUTHEASTERLY LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREES 56 MINUTES 26 SECONDS EAST 53.763 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREES 00 MINUTES 24 SECONDS EAST ALONG SAID EAST LINE 24.724 FEET TO A POINT WHICH IS 136.4 FEET (AS MEASURED ALONG THE EAST LINE OF SAID LOT 4) NORTH OF THE NORTHWESTERLY LINE OF PLAINFIELD ROAD AS WIDENED PER DOCUMENT NUMBER 891-11892; THENCE SOUTH 32 DEGREES 19 MINUTES 18 SECONDS EAST 122.793 FEET TO THE POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PLAINFIELD ROAD PER PLAT OF DEDICATION RECORDED APRIL 26, 1991 AS DOCUMENT NUMBER 891-402; SAID POINT BEING 75.0 FEET NORTHEASTERLY OF THE WEST LINE OF END LOT 3 (MEASURED ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD); THENCE NORTH 63 DEGREES 37 MINUTES 21 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 224.817 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 2; THENCE NORTH 67 DEGREES 40 MINUTES 26 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 351.200 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 2; THENCE NORTH 0 DEGREES 01 MINUTES 18 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 2, 814.485 FEET TO THE HEREIN DESIGNATED PLACE OF BEGINNING. ALL IN DUPAGE COUNTY, ILLINOIS.

NEW MEASURED LEGAL DESCRIPTION:  
Part of Lots 2, 3, and 4, Owner's Subdivision, Village of Willowbrook, DuPage County, Illinois being more particularly described as follows:

Beginning at the Northeast corner of said Lot 2, thence S89 degrees 01'18" E, 314.49 feet; thence S67 degrees 02'25" W, 261.19 feet; thence S95 degrees 37'21" W, 224.62 feet; thence N32 degrees 19'11" W, 127.75 feet; thence N00 degrees 02'54" W, 24.72 feet; thence S49 degrees 54'28" W, 131.76 feet; thence N00 degrees 08'34" E, 806.89 feet; thence N89 degrees 58'24" E, 738.27 feet to the point of beginning.

Containing within said bounds 404,061 square feet or 10,690 acres.  
This description describes all the land described in the site commitment identified as First American Title Insurance Company Commitment Number NCS-98779-CH1 having an effective date of June 14, 2004.

I ALSO CERTIFY THAT THIS PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY, THAT THE PLAT REPRESENTS A SURVEY MADE BY US OR UNDER OUR DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND LEGAL DETAILS ARE CORRECT, AND THAT WE HAVE COMPLIED WITH ALL OF THE REQUIREMENTS OF THE VILLAGE OF WILLOWBROOK'S SUBDIVISION REGULATIONS REGARDING PLATS. I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID VILLAGE OF WILLOWBROOK OR WITHIN ONE AND A HALF MILES OF THE CORPORATE LIMITS OF SAID VILLAGE WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY ARTICLE 11, DIVISION 1 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED. I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPES AND CONCRETE MONUMENTS SHALL BE SET AT ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO ACT AS MY AGENT FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ SEPTEMBER, 2013.

*Kenneth Kennedy*  
KENNETH KENNEDY, P.L.S., # 035-003403  
PROFESSIONAL LAND SURVEYOR  
LICENSE EXPIRES 11/30/2016  
STATE OF ILLINOIS

MORTGAGE CERTIFICATE  
\_\_\_\_\_ AS MORTGAGEE, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE DATED \_\_\_\_\_ 20 \_\_\_\_\_ AND RECORDED IN THE RECORDERS' OFFICE OF \_\_\_\_\_ COUNTY, ILLINOIS IN BOOK \_\_\_\_\_ AT PAGE \_\_\_\_\_ DOES HEREBY CONSENT TO THE RESUBDIVISION AND PLAT HEREON DRAWN.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

BY: \_\_\_\_\_ PRESIDENT  
ATTEST: \_\_\_\_\_ SECRETARY

NOTARY CERTIFICATE  
STATE OF ILLINOIS )  
COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED THE PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL,  
DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD 20 \_\_\_\_\_

(SEAL)  
NOTARY

EASEMENT PROVISIONS  
AN EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY WITH ELECTRIC AND COMMUNICATIONS SERVICE IS HEREBY RESERVED FOR AND GRANTED TO COMMONWEALTH EDISON COMPANY AND SBC ILLINOIS, A.K.A. ILLINOIS BELL TELEPHONE COMPANY, GRANTEEES.

THEIR RESPECTIVE LICENSEES, SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, TO CONSTRUCT, OPERATE, REPAIR, MAINTAIN, MODIFY, RECONSTRUCT, REPLACE SUPPLEMENT, RELOCATE AND REMOVE, FROM TIME TO TIME, POLES, GUYS, ANCHORS, WIRES, CABLES, CONDUITS, MANHOLES, TRANSFORMERS, PEDESTALS, EQUIPMENT CABINETS OR OTHER FACILITIES USED IN CONNECTION WITH UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, COMMUNICATIONS, SOUNDS AND SIGNALS IN, UNDER, ALONG AND UPON THE SURFACE OF THE PROPERTY SHOWN WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION) ON THE PLAT AND MARKED "EASEMENT", "UTILITY EASEMENT", "PUBLIC UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION), THE PROPERTY DESIGNATED ON THIS PLAT AS "COMMON ELEMENTS", AND THE PROPERTY DESIGNATED ON THE PLAT AS "COMMON AREA OR AREAS", AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHTS TO INSTALL REQUIRED SERVICE CONNECTIONS UNDER THE SURFACE OF EACH LOT AND COMMON AREA OR AREAS TO SERVE IMPROVEMENTS THEREON, OR ON ADJACENT LOTS, AND COMMON AREA OR AREAS, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES, ROOTS AND SAPLINGS AND TO CLEAR OBSTRUCTIONS FROM THE SURFACE AND SUBSURFACE AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED IN GRANTEEES' FACILITIES OR UPON THE PROPERTY WITHIN THE DASHED OR DOTTED LINES (OR SIMILAR DESIGNATION MARKED "EASEMENT", "UTILITY EASEMENT", "P.U.E." (OR SIMILAR DESIGNATION)) WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

THE TERM "COMMON ELEMENTS" SHALL HAVE THE MEANING SET FORTH FOR SUCH TERM IN THE "CONDOMINIUM PROPERTY ACT", CHAPTER 765 ILCS 605/2(E), AS AMENDED FROM TIME TO TIME.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS, PARCELS OR AREAS WITHIN THE PLANNED DEVELOPMENT, EVEN THOUGH SUCH MAY BE OTHERWISE DESIGNATED ON THE PLAT BY TERMS SUCH AS, "OUTLOTS", "COMMON ELEMENTS", "OPEN SPACE", "OPEN AREA", "COMMON GROUND", "PARKING AND COMMON AREA". THE TERMS "COMMON AREA OR AREAS" AND "COMMON ELEMENTS" INCLUDES REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, BUT EXCLUDES REAL PROPERTY PHYSICALLY OCCUPIED BY A BUILDING, SERVICE BUSINESS DISTRICT OR STRUCTURES SUCH AS A POOL OR RETENTION POND, OR MECHANICAL EQUIPMENT.

RELOCATION OF FACILITIES WILL BE DONE BY GRANTEEES AT COST OF GRANTOR/LOT OWNER, UPON WRITTEN REQUEST.

AN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO NORTHERN ILLINOIS GAS COMPANY, ITS SUCCESSORS AND ASSIGNS, IN ALL PLATTED "EASEMENT" AREAS, STREETS, ALLEYS, OTHER PUBLIC WAYS AND PLACES SHOWN ON THIS PLAT, SAID EASEMENT TO BE FOR THE INSTALLATION, MAINTENANCE, RELOCATION, RENEWAL AND REMOVAL OF GAS MAINS AND APPURTENANCES FOR THE PURPOSE OF SERVING ALL AREAS SHOWN ON THIS PLAT AS WELL AS OTHER PROPERTY, WHETHER OR NOT CONTIGUOUS THERETO. NO BUILDINGS OR OTHER STRUCTURES SHALL BE CONSTRUCTED OR ERECTED IN ANY SUCH "EASEMENT" AREAS, STREETS, ALLEYS, OR OTHER PUBLIC WAYS OR PLACES NOR SHALL ANY OTHER USE BE MADE THEREOF WHICH WILL INTERFERE WITH THE EASEMENTS RESERVED AND GRANTED HEREBY.

THE TERM "COMMON AREA OR AREAS" IS DEFINED AS A LOT, PARCEL OR AREA OF REAL PROPERTY, INCLUDING REAL PROPERTY SURFACED WITH INTERIOR DRIVEWAYS AND WALKWAYS, THE BENEFICIAL USE AND ENJOYMENT OF WHICH IS RESERVED IN WHOLE AS AN APPURTENANCE TO THE SEPARATELY OWNED LOTS PARCELS OR AREAS WITHIN THE PROPERTY, EVEN THOUGH SUCH AREAS MAY BE DESIGNATED ON THIS PLAT BY OTHER TERMS.

UTILITY EASEMENT PROVISIONS  
PERPETUAL EASEMENTS FOR PROVIDING UTILITY SERVICES TO THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAT AND OTHER PROPERTY ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF WILLOWBROOK, TO THOSE COMPANIES OPERATING, FROM TIME TO TIME, UNDER FRANCHISE OR LICENSE FROM THE VILLAGE OF WILLOWBROOK, AND TO UNITS OF LOCAL GOVERNMENT PROVIDING SERVICES TO THE PROPERTY, INCLUDING, BUT NOT LIMITED TO, AMERITECH, NORTHERN ILLINOIS GAS COMPANY, COMMONWEALTH EDISON COMPANY, THE ILLINOIS SANITARY DISTRICT, THE COUNTY OF DUPAGE DEPARTMENT OF ENVIRONMENT CONCERN, AND THEIR SUCCESSORS AND ASSIGNS JOINTLY AND SEVERALLY, IN OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES ON THIS PLAT AND INDICATED AS PUBLIC UTILITY EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. FOR THE PURPOSES OF THIS PLAT, PROVIDING UTILITY SERVICES SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO INSTALL, CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF FACILITIES USED IN CONNECTION WITH TRANSMISSION AND DISTRIBUTION OF GAS AND WATER, ELECTRICITY AND TELECOMMUNICATIONS AND CABLE TELEVISION SERVICES, SANITARY SEWER AND OTHER FACILITIES USED IN THE TRANSMISSION, DISTRIBUTION OR TRANSPORTATION OF ANY COMMODITY IN A LIQUID OR GASEOUS STATE, INCLUDING ANY AND ALL APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON SUCH EASEMENT AREAS, AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, TOGETHER WITH THE RIGHT, BUT NOT THE OBLIGATION, TO INSTALL REQUIRED SERVICE CONNECTIONS ON EACH LOT TO SERVE IMPROVEMENTS THEREON, OR IN ADJACENT LOTS, THE RIGHT, BUT NOT THE OBLIGATION, TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, OVER, UNDER, ACROSS, ALONG, THROUGH OR UPON SUCH EASEMENT AREAS WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE PROPERTY SHALL NOT BE ALTERED IN A MANNER AS TO INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF OR THE EXERCISE OF GRANTEEES' OTHER RIGHTS PROVIDED HEREBY. EASEMENTS FOR STORM WATER DRAINAGE, DETENTION AND/OR RETENTION PURPOSES ARE GRANTED UNDER A SEPARATE PROVISION OF THIS PLAT, AND FACILITIES FOR SAID PURPOSES, AND APPURTENANCES THERETO, SHALL BE CONTROLLED BY SAID PROVISION.

STORM WATER DRAINAGE, DETENTION AND RETENTION RESTRICTIONS AND EASEMENTS  
FOR THE PURPOSE OF PROMOTING SUFFICIENT DRAINAGE AND FLOOD CONTROL FOR THE BENEFIT OF THE SUBDIVISION AND PUBLIC GENERALLY, THE FOLLOWING EASEMENTS AND RESTRICTIONS ARE HEREBY DECLARED TO RUN WITH THE LAND AND BE BINDING UPON THE OWNER OF THE SUBDIVISION AND ITS SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS:  
1. A PERPETUAL EASEMENT FOR STORM WATER DRAINAGE, DETENTION AND RETENTION PURPOSES IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK AND THE PUBLIC GENERALLY, IN, OVER, UNDER, ACROSS, ALONG, THROUGH AND UPON THE AREAS BOUNDED BY THE LOT LINES AND DOTTED LINES SHOWN ON THIS PLAT AND INDICATED AS DRAINAGE EASEMENT AND/OR PUBLIC UTILITY AND DRAINAGE EASEMENT. SAID DRAINAGE EASEMENT SHALL INCLUDE THE RIGHT, BUT NOT THE OBLIGATION, FROM TIME TO TIME, TO CONSTRUCT, RECONSTRUCT, IMPROVE, KEEP, OPERATE, INSPECT, MAINTAIN, REPAIR, REPLACE, ENLARGE, RENEW, RELOCATE, REMOVE AND/OR INCREASE THE SIZE, NUMBER AND/OR TYPE OF DRAINAGE FACILITIES AND APPURTENANCES THERETO IN, OVER, UNDER, THROUGH AND UPON SUCH EASEMENT AREAS, AND TO ENTER UPON SAID EASEMENT AREAS FOR THESE PURPOSES.  
2. NOTWITHSTANDING THE FOREGOING, THE OWNER(S) OF EACH LOT UPON WHICH SAID EASEMENT AREAS ARE LOCATED, AND/OR THEIR SUCCESSORS, HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, SHALL MAINTAIN SAID EASEMENT AREAS, AND ANY AND ALL DRAINAGE FACILITIES AND APPURTENANCES THERETO, LOCATED IN, OVER, UNDER, THROUGH AND/OR UPON SUCH LOT, INCLUDING, BUT NOT LIMITED TO, TREE ROOT AND VEGETATION REMOVAL, SOIL EROSION CONTROL, DITCH PROFILING, STORM SEWER CLEANING, BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER GRATES. BLOCKAGE REMOVAL AND REPLACEMENT OF STORM SEWER GRATES, NO OBSTRUCTIONS SHALL BE PLACED, NOR ALTERATIONS MADE, WHICH IN ANY MANNER MAKE OR DIMINISH STORM WATER DRAINAGE, DETENTION OR RETENTION IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS, AS A MATTER OF RIGHTS, BUT NOT OBLIGATION, THE VILLAGE OF WILLOWBROOK IS HEREBY GRANTED THE RIGHT TO ENTER UPON SAID EASEMENT AREAS AND PERFORM ANY SUCH MAINTENANCE, REMOVE ANY SUCH OBSTRUCTIONS AND/OR CORRECT ANY SUCH ALTERATIONS ON SAID EASEMENT AREAS, AND ANY EXPENSES INCURRED BY THE VILLAGE IN THE EXERCISE OF SAID RIGHT SHALL BE A LIEN UPON THE PROPERTY WHEREON SUCH MAINTENANCE IS PERFORMED, SUCH OBSTRUCTIONS ARE REMOVED AND/OR SUCH ALTERATIONS ARE CORRECTED.  
SIDEWALK EASEMENT PROVISIONS:  
AN EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK, UPON AND ACROSS THOSE PORTIONS OF THE LOT WITHIN THE DASHED LINES MARKED "SIDEWALK EASEMENT" FOR INSTALLATION AND MAINTENANCE OF SIDEWALKS THEREON AND FOR PEDESTRIAN INGRESS AND EGRESS BY THE GENERAL PUBLIC. THE EXERCISE OF THE EASEMENT CREATED HEREBY SHALL BE SUBJECT TO ALL APPLICABLE ORDINANCES OF THE VILLAGE.

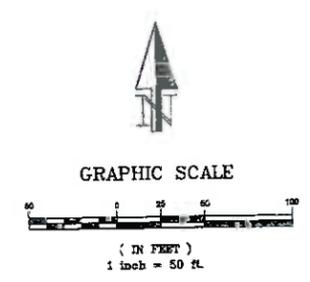
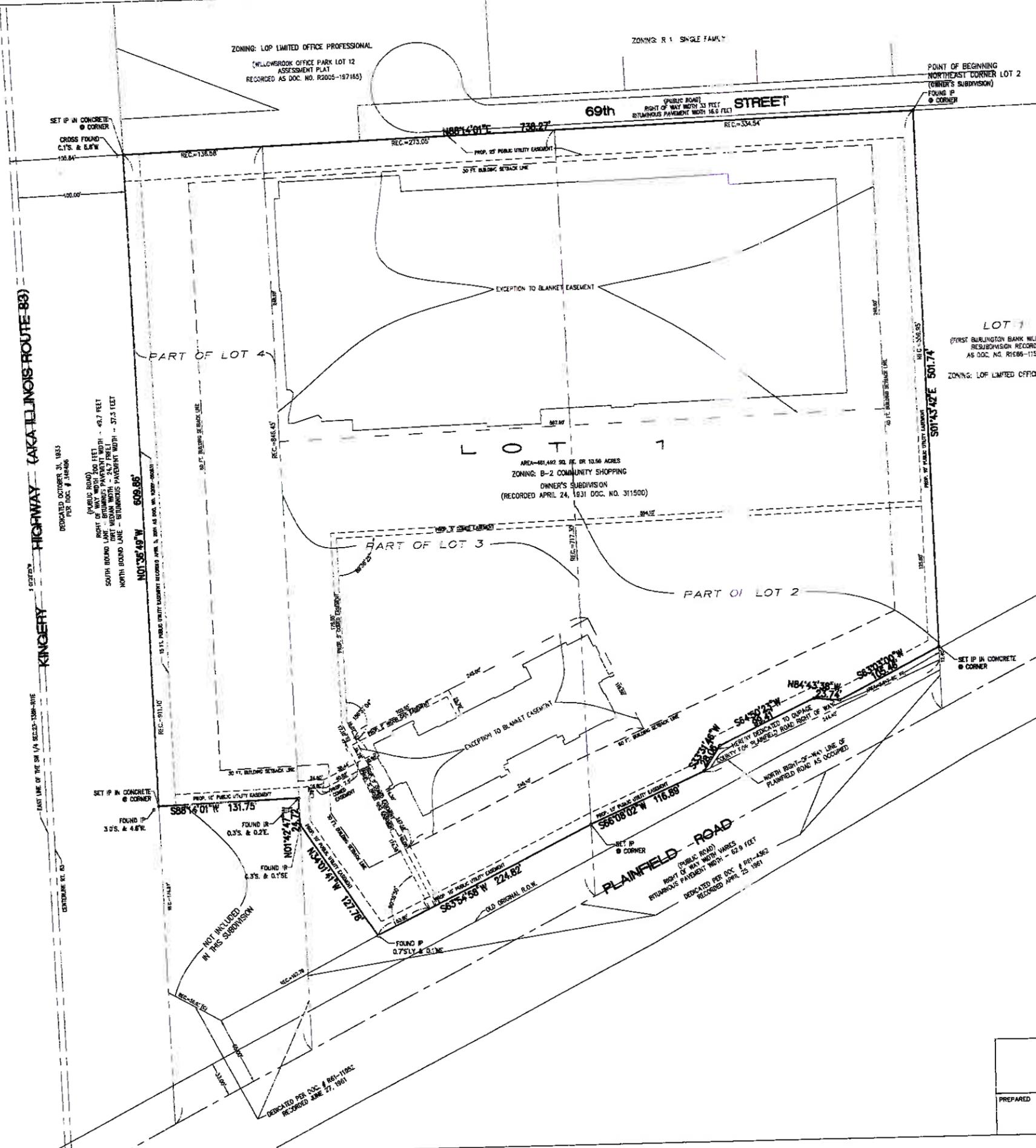
BLANKET EASEMENT  
A BLANKET EASEMENT IS FURTHER HEREBY GRANTED FOR UTILITIES COMPANIES LICENSED BY THE VILLAGE OF WILLOWBROOK OVER LOT 1 IN THE WILLOWS SUBDIVISION THAT DO NOT CONTAIN AREAS AS EXCEPTED ON THIS PLAT.

GENERAL NOTES:  
1. PERMANENT IDENTIFICATION NUMBER: 03-33-405-015  
2. LOTS AREA 464,408 SQ. FT. OR 10.58 ACRES.  
3. BASIS OF BEARINGS: EAST LINE OF KINGERY HIGHWAY AT N 01°36'40" W.  
4. SET 34" # AT CORNERS AS SHOWN ON THIS PLAT.  
5. BOUNDARY TAKEN FROM PLAT OF ALTA LAND TITLE SURVEY PERFORMED BY RONALD F. BARKO, DATED JULY 26, 2004 AND REVISED SEPTEMBER 24, 2004, PROJECT NUMBER 20040304.

FINAL PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.					
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS					
PREPARED FOR: PETER'S FRESH MARKET 4343 SOUTH PULASKI ROAD CHICAGO, ILLINOIS 60638	DATE: 08-16-14	NO. DESCRIPTION: 1 PER VILLAGE BOARD COMMENTS DATED 03-17-14 2 PER CLIENT REQUEST	DRAWN: K.B.	DATE: 08-16-14	CHECKED: KAK	DATE: 08-20-14	SHEET: 1 OF 2
PROJ # 14-04		FILE: 14025	FIELD BOOK: 02-25	DATE: 02-25-14			

**GEOPOL SURVEYORS**  
 12535 LEMONT RD. LEMONT, ILLINOIS 60438  
 PHONE: (630) 730-0707 FAX: (630) 730-0090  
 CHICAGO METRO AREA (773) 381-9477  
 PROFESSIONAL DESIGN FIRM NO. 184.200273  
 EMAIL: GEOPOL@COMCAST.NET

# FINAL PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION



A BLANKET WATERMAIN, SANITARY SEWER, STORMWATER DRAINAGE EASEMENT IS HEREBY GRANTED TO THE VILLAGE OF WILLOWBROOK AND DUPAGE COUNTY OVER LOT 1 IN THE WILLOWS SUBDIVISION THAT DO NOT CONTAIN AREAS AS EXCEPTED ON THIS PLAT.

AREA DEDICATED TO DUPAGE COUNTY FOR PLAINFIELD ROAD RIGHT OF WAY 24 FT E.F.

<b>PLAT OF SUBDIVISION THE WILLOWS SUBDIVISION</b>		SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
		840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
PREPARED FOR: <b>PETER FRIESE MAE, SET</b> 4342 SOUTH PALMARD ROAD CHICAGO, ILLINOIS 60643	DATE: NO. DESCRIPTION: 03-17-13 1 FOR WILLOWBROOK GRANTING EASEMENT 13-17-13 05-15-13 2 PER ALBERT HUBERT	DRAWN: K.B. PROJ # 14-04	DATE: 04-25-14 FILE: 14025	CHECKED: KAK FIELD BOOK: 02-25	DATE: 07-27-14 DATE: 02-25-14
SHEET: <b>2 OF 2</b>					

# CIVIL ENGINEERING IMPROVEMENT PLANS

## FOR PETE'S FRESH MARKET WILLOWBROOK, ILLINOIS

10.

### PROPERTY DESCRIPTION:

THAT PART OF LOTS 2, 3, AND 4 IN OWNER'S SUBDIVISION OF THE SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE WEST ALONG THE NORTH LINE OF SAID LOTS 738.268 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF ILLINOIS ROUTE NO. 83 AS MONUMENTED; THENCE SOUTH 0 DEGREES 05 MINUTES 34 SECONDS WEST ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83; 810.633 FEET TO A POINT WHICH IS 208.40 FEET (AS MEASURED ALONG THE EAST LINE OF SAID ILLINOIS ROUTE NO. 83) NORTH OF THE SOUTHEASTERLY LINE OF SAID LOT 4; THENCE SOUTH 88 DEGREES 34 MINUTES 26 SECONDS EAST 131.753 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 4; THENCE SOUTH 0 DEGREES 00 MINUTES 24 SECONDS EAST ALONG SAID EAST LINE 24.724 FEET TO A POINT WHICH IS 138.04 FEET (AS MEASURED ALONG THE EAST LINE OF SAID LOT 4) NORTH OF THE NORTHWESTERLY LINE OF PLAINFIELD ROAD AS MONUMENTED PER DOCUMENT NUMBER 101-11152; THENCE SOUTH 32 DEGREES 19 MINUTES 18 SECONDS EAST 127.383 FEET TO THE POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF PLAINFIELD ROAD PER PLAT OF DEDICATION RECORDED APRIL 25, 1981 AS DOCUMENT NUMBER 101-4302; SAID POINT BEING 75.0 FEET NORTHEASTERLY OF THE WEST LINE OF SAID LOT 3 (MEASURED ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD); THENCE NORTH 85 DEGREES 37 MINUTES 21 SECONDS EAST ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID PLAINFIELD ROAD 224.817 FEET TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 3; THENCE NORTH 67 DEGREES 50 EAST LINE OF SAID LOT 2; THENCE NORTH 0 DEGREES 00 MINUTES 19 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 2, 514.486 FEET TO THE HEREN DESCRIBED PLACE OF BEGINNING, ALL IN DU PAGE COUNTY, ILLINOIS.

### NEW MEASURED LEGAL DESCRIPTION:

Part of Lots 2, 3, and 4, Owner's Subdivision, Village of Willowbrook, Du Page County, Illinois being more particularly described as follows:

Beginning at the Northwest corner of said Lot 2; thence S00 degrees 01'10" E, 514.486 feet; thence S67 degrees 50'25" W, 361.29 feet; thence S85 degrees 37'21" W, 224.82 feet; thence N32 degrees 19'18" W, 127.78 feet; thence N00 degrees 00'24" W, 24.72 feet; thence N89 degrees 54'28" W, 131.75 feet; thence N00 degrees 00'34" E, 608.86 feet; thence N89 degrees 56'24" E, 738.27 feet to the point of beginning.

### GENERAL NOTES FOR WORK IN THE PUBLIC WAY

1. THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION, AND ALL ADDENDA THERETO, AND VILLAGE OF WILLOWBROOK FOR WORK IN THE PUBLIC WAY SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT.
2. THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, SHALL GOVERN THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS, OR WHERE IN CONFLICT WITH VILLAGE OF WILLOWBROOK.
3. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS AND VILLAGE OF WILLOWBROOK REGULATIONS AND STANDARDS AND SHALL CONFORM IN ALL RESPECTS TO ALL STATE AND FEDERAL LAWS AND REGULATIONS.
4. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITY LOCATIONS SHOWN ON THE PLANS ARE BASED ON TOPOGRAPHIC SURVEY BY MANNHARD ENGINEERING AVAILABLE RECORDS AND ARE FOR GENERAL DIRECTION ONLY. ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
5. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH CA-6 CRUSHED STONE (GRADE 8 OR 9), COMPACTED IN 9" LIFTS TO 95% OF MODIFIED PROCTOR.
6. UTILITY CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL BE ACCOMPLISHED BY SAW CUTTING AND REMOVING THE EXISTING PAVEMENT. BACKFILL AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION.

### NOTES:

1. THE OWNER CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING CONSTRUCTION TO PREVENT POTENTIAL CONFLICTS.
3. SPECIAL CARE SHALL BE TAKEN ADJACENT TO EXISTING UTILITIES AND TREES TO PREVENT UNNECESSARY DAMAGE.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITION EXIST. THE ENGINEER WILL HAVE A REASONABLE PERIOD OF TIME TO ASSIST IN THE RESOLUTION OF THE ISSUE.
5. THE ENGINEER IS NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE PLANS AND CURRENT SITE CONDITION.

### DUTY TO INDEMNIFY

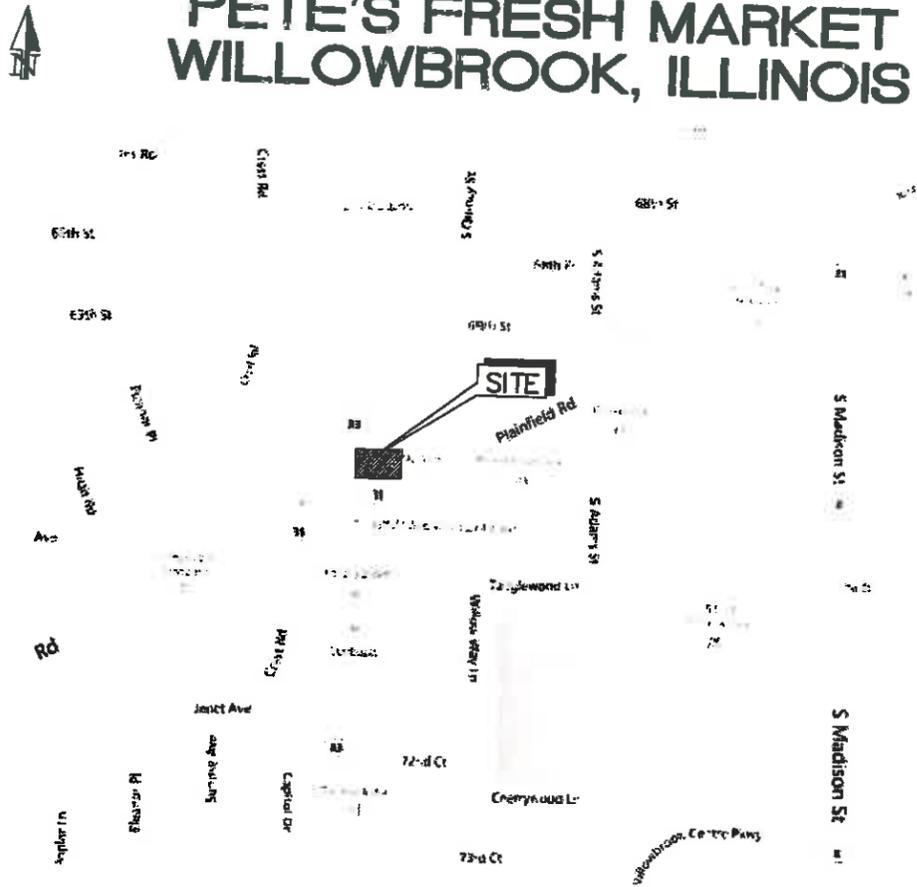
THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL REV. STAT. CH.48, PAR.80 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [IL REV. STAT. CH.17-12 PAR.51 ET. SEQ.] IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OF DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFOR, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

### NOTES:

1. PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR SHALL VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS PLAN THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT IN WRITING ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.
2. GENERAL CONTRACTOR TO COORDINATE THE INSTALLATION AND PERMITTING OF THE PUBLIC UTILITIES, SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE AND FIBER OPTICS, WITH THE PUBLIC UTILITY COMPANIES AND ARCHITECT PRIOR TO CONSTRUCTION. THE INSTALLATION OF THE PUBLIC UTILITIES AND NECESSARY SLEEVING SHALL BE INCLUDED AS PART OF THE GENERAL CONTRACTOR'S SCOPE OF WORK FOR THIS PROJECT.

### LEGEND:

742.00	EXIST. ELEV.	— C — C —	EXIST. STORM SEWER
⊙	PROP. ELEV.	— C — C —	EXIST. SANITARY SEWER
⊙	EXIST. STORM MANHOLE	— W — W —	EXIST. WATER
⊙	EXIST. SAN. MANHOLE	— W — W —	EXIST. DRAINAGE DIRECTION
⊙	EXIST. CATCH BASIN	— 751 —	EXIST. CONTOUR
⊙	EXIST. GAS VALVE	— 740 —	PROP. CONTOUR
⊙	EXIST. WATER VALVE	— W — W —	PROP. WATER SERVICE
⊙	EXIST. FIRE HYDRANT	— W — W —	PROP. SANITARY SERVICE
⊙	EXIST. UTILITY POLE	— C — C —	PROP. STORM SEWER
⊙	EXIST. ANCHOR	←	PROP. DRAINAGE DIRECTION
⊙	EXIST. LIGHT POLE	←	PROP. OVERLAND FLOW
⊙	EXIST. INLET	←	PROP. SILT FENCE
⊙	EXIST. WATER BUFFALO BOX	←	CHAIN LINK FENCE
⊙	EXIST. DOWNSPOUT	←	WOOD FENCE
⊙	EXIST. SIGN	←	IRON FENCE
⊙	EXIST. TREE	←	ELECTRIC LINE
⊙	EXIST. TREE TO BE REMOVED	←	
⊙	TREE FENCE	←	
Ex	EXIST. TYP.		EXISTING SILT FENCE
P	P.W.M.T.		TYPICAL PAVEMENT
C	C. CONC.		CONCRETE GRADE
G	G		ELEVATION
EL	ELEV		INVERT ELEVATION
LE	LE, INV.		WITH
W	W		TOP OF FOUNDATION
T/F	T/F		FINISHED GRADE
F.G.	F.G.		MANHOLE
M.H.	M.H.		CATCH BASIN
C.B.	C.B.		CORRUGATED METAL PIPE
CMP	CMP		FOUND
FND	FND		IRON ROD
IR	IR		SANITARY
SAN	SAN		BASEMENT
BSMT.	BSMT.		FRONT YARD SETBACK
F.Y.S.	F.Y.S.		REAR YARD SETBACK
R.Y.S.	R.Y.S.		SIDE YARD SETBACK
S.Y.S.	S.Y.S.		



SITE LOCATION MAP  
(N.T.S.)

**ARCHITECT:**  
ANGELO STAMATOUKOS  
ANGELO STAMATOUKOS ARCHITECT  
113 CENTRAL  
WILLOWBROOK, IL 60527  
PHONE: 630-789-2314

**SURVEYOR:**  
MANNHARD ENGINEERING

**ENGINEER:**  
ARIC R. GERALD, P.E.  
GEOPOOL ENGINEERING, INC.  
12 SOUTH 355 LEMONT ROAD  
LEMONT, IL 60439  
PHONE: 630-739-2008

**DEVELOPER:**  
PETER MICHAEL REALTY, INC.  
4333 SOUTH PULASKI ROAD  
CHICAGO, IL 60638  
PHONE: 773-843-1400

### NOTES:

1. THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY: MANNHARD CONSULTING LTD 700 SPRINGER DR. LOMBARD, ILLINOIS PHONE: 1968 628-4273
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.
3. UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) ELEVATIONS ARE 0.5' HIGHER THAN FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.
4. ACCESSIBLE PAVEMENT SLOPES NOT TO EXCEED 2.0% MAXIMUM IN ALL DIRECTIONS.

### DESCRIPTION OF PROPOSED DEVELOPMENT:

TOTAL AREA OF THE SITE = 464,408 S.F. (10.66 AC)  
EXISTING CONDITION IMPERVIOUS AREA OF THE SITE = 454,702 S.F.  
PERCENTAGE OF THE TOTAL SITE AREA = 97.9%  
PROPOSED CONDITION IMPERVIOUS AREA OF THE SITE = 416,980 S.F.  
PERCENTAGE OF THE TOTAL SITE AREA = 89.8%  
INCREASE IN TOTAL IMPERVIOUS SURFACE AREA DUE TO PROPOSED WORK = 37,722 S.F.

EXISTING LAND USE = COMMERCIAL  
PROPOSED LAND USE = COMMERCIAL

### SHEET INDEX:

- C-1 COVER SHEET
- C-1A GENERAL NOTES & SPECIFICATIONS
- C-2 OVERALL SITE PLAN
- C-3 TOPOGRAPHIC & UTILITY SURVEY
- C-3A TOPOGRAPHIC & UTILITY SURVEY
- C-4 DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
- C-4A DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN
- C-5 GEOMETRIC PLAN
- C-5A GEOMETRIC PLAN
- C-6 GRADING AND DRAINAGE PLAN
- C-6A GRADING AND DRAINAGE PLAN
- C-7 UTILITY PLAN
- C-7A UTILITY PLAN
- C-8 CONSTRUCTION STANDARDS & DETAILS
- C-8A CONSTRUCTION STANDARDS & DETAILS
- C-9 CONSTRUCTION STANDARDS & DETAILS
- C-10 CONSTRUCTION STANDARDS & DETAILS

### BENCHMARK # 0135:

STATION IS LOCATED AT THE SE CORNER OF THE INTERSECTION OF PLAINFIELD ROAD AND MADISON STREET. STATION IS 70.0 FT. SOUTH OF THE CENTERLINE OF PLAINFIELD ROAD AND 38.5 FT. EAST OF THE CENTERLINE OF MADISON ST. MONUMENT IS A 3.5 INCH BRASS DISK ON THE BASE OF TRAFFIC SIGNAL, 0.8 FT. ABOVE GRADE. ELEVATION.....732.18

### DRAINAGE STATEMENT

"TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF, OR THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS APPROVED FOR USE BY THE CITY ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THIS DEVELOPMENT."

STATE OF ILLINOIS) SS.  
COUNTY OF COOK)

I, ARIC R. GERALD, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE CIVIL ENGINEERING PLANS, NOT THE SUPPORTING DOCUMENTS, AS LISTED IN THE INDEX, HAVE BEEN PREPARED BY GEOPOOL ENGINEERING, INCORPORATED UNDER MY PERSONAL DIRECTION. THESE PLANS ARE INTENDED TO BE USED AS AN INTEGRAL PART OF THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.



*Aric R. Gerald*  
09-18-2015  
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-054476  
MY LICENSE EXPIRES ON 11-30-2015



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.

PREPARED FOR:

**PETE'S FRESH MARKET**

4343 S. PULASKI ROAD  
CHICAGO, ILLINOIS 60638

### NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## COVER SHEET

### REVISIONS:

DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14
06-16-2015	2	PER CLIENT REVISIONS

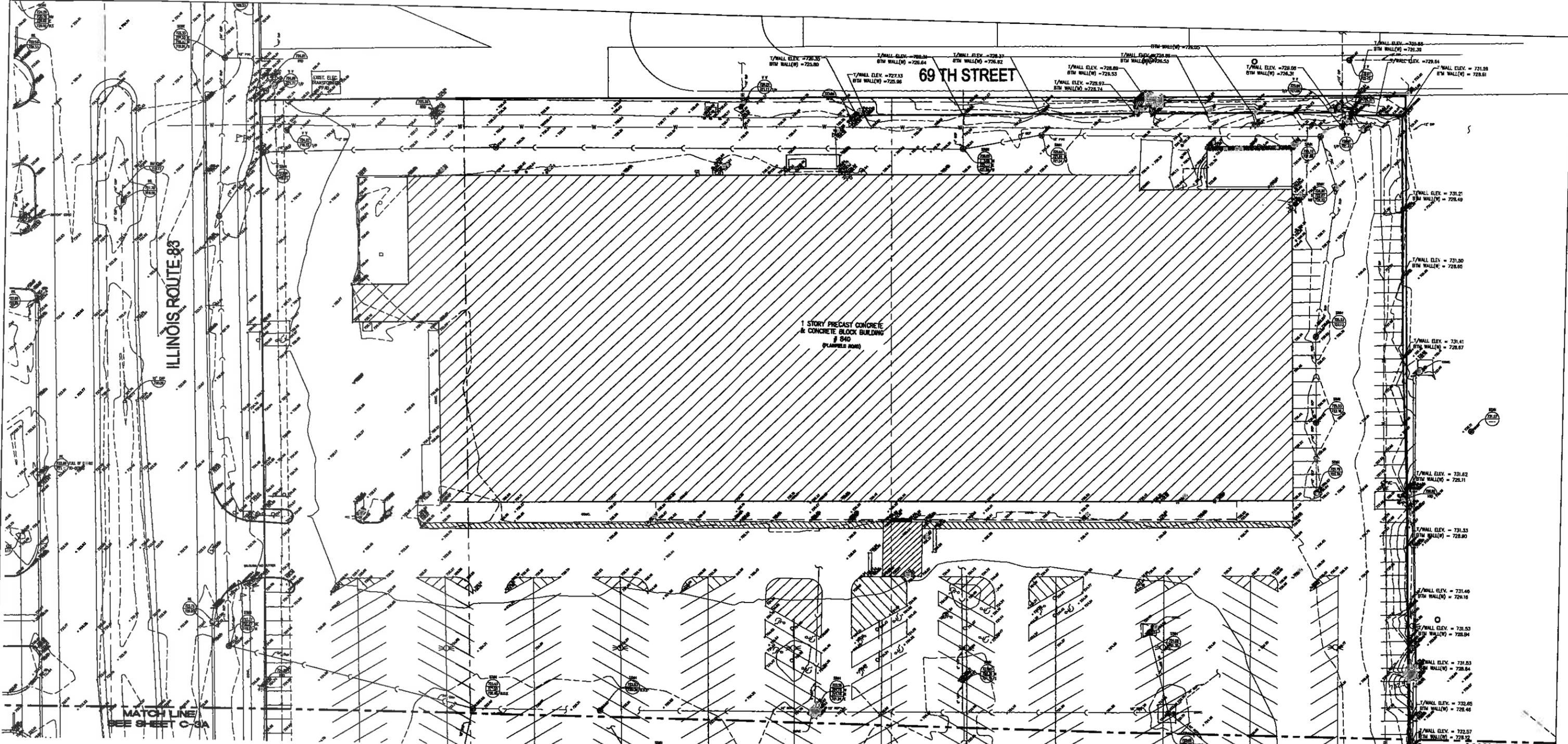
SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.

**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

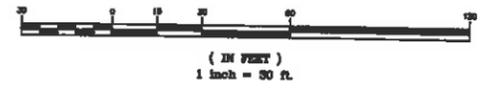
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET:
ENG PROJ #14-04	SURV PROJ #	FIELD BOOK:	DATE:	C-1

**GEOPOOL ENGINEERING, INC.**  
125355 LEMONT ROAD  
LEMONT, ILLINOIS 60439  
PHONE: (630) 739-0707  
FAX: (630) 739-6080





GRAPHIC SCALE



THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:  
 MARSHALL CONSULTING LTD  
 700 SPRINGFIELD DR.  
 LOMBARD, ILLINOIS  
 PHONE 630 628-4273

**GEPOOL**  
 ENGINEERING, INC.  
 125355 LEMONT ROAD  
 LEMONT, ILLINOIS 60439  
 PHONE: (630) 739-0707  
 FAX: (630) 739-6080  
 EMAIL: GEPOOL@COMCAST.NET

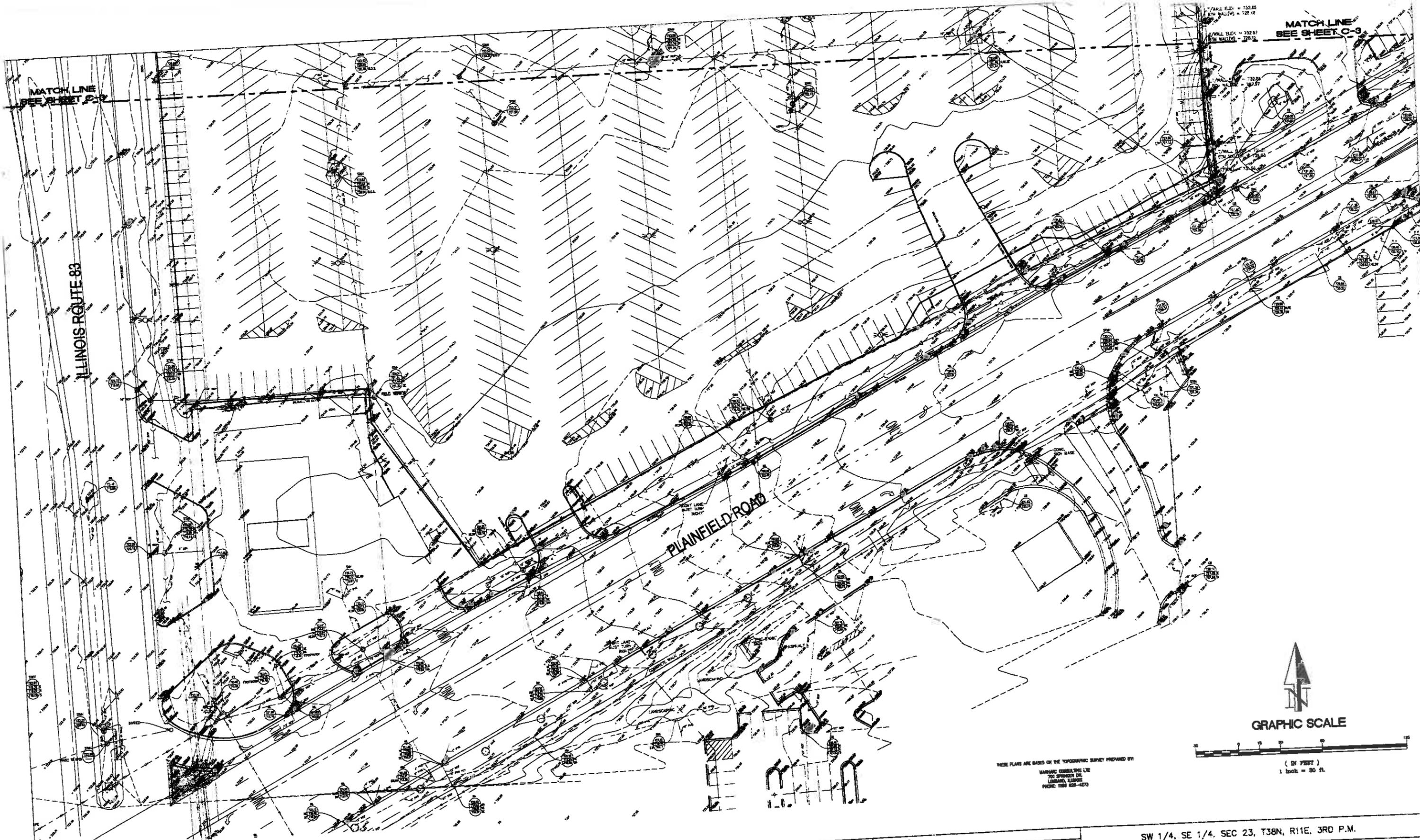
PREPARED FOR:  
**PETE'S FRESH MARKET**  
 4343 S. PULASKI ROAD  
 CHICAGO, ILLINOIS 60632

**NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

# TOPOGRAPHIC AND UTILITY SURVEY

REVISIONS:		
DATE:	NO.	DESCRIPTION:
03-17-2018	1	PER VILLAGE COMMENTS DATED 12-17-14
08-18-15	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS			
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:
ENG PROJ #14-04	SURV PROJ #	FIELD BOOK:	DATE:
			SHEET: C-3

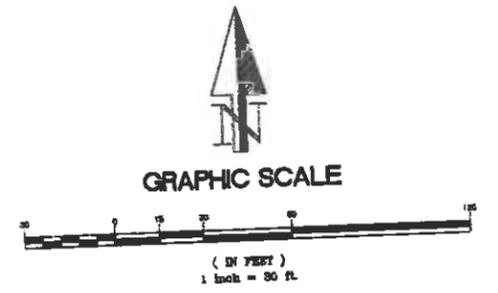


MATCH LINE  
SEE SHEET C-3

MATCH LINE  
SEE SHEET C-2

ILLINOIS ROUTE 83

PLAINFIELD ROAD



THESE PLANS ARE BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY:  
 HARRING CONSULTING LTD  
 700 SPRINGFIELD  
 LOMBARD, ILLINOIS  
 PHONE 708-938-6270

**GEPOOL**  
 ENGINEERING, INC.  
 125355 LEMONT ROAD  
 LEMONT, ILLINOIS 60439  
 PHONE: (630) 739-0707  
 FAX: 763-11 739-6080

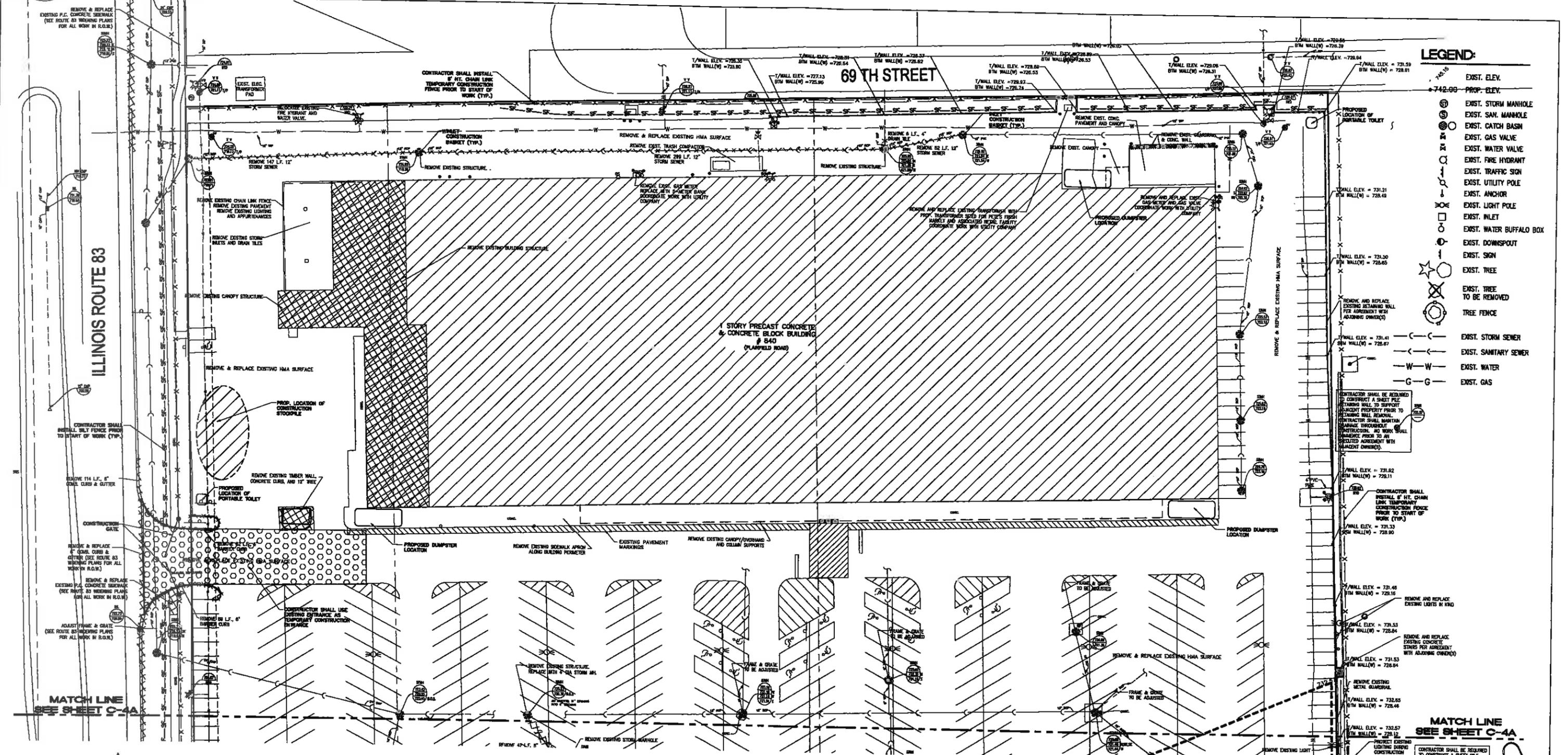
PREPARED FOR:  
**PETE'S FRESH MARKET**  
 4343 S. PULASKI ROAD  
 CHICAGO, ILLINOIS 60636

**NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

# TOPOGRAPHIC AND UTILITY SURVEY

REVISIONS:		
DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14
08-18-2013	2	PER CLIENT REQUESTS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.				SHEET: C-3A
840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	



**LEGEND:**

- EXIST. ELEV.
- PROP. ELEV.
- ⊗ EXIST. STORM MANHOLE
- ⊗ EXIST. SAN. MANHOLE
- ⊗ EXIST. CATCH BASIN
- ⊗ EXIST. GAS VALVE
- ⊗ EXIST. WATER VALVE
- ⊗ EXIST. FIRE HYDRANT
- ⊗ EXIST. TRAFFIC SIGN
- ⊗ EXIST. UTILITY POLE
- ⊗ EXIST. ANCHOR
- ⊗ EXIST. LIGHT POLE
- ⊗ EXIST. INLET
- ⊗ EXIST. WATER BUFFALO BOX
- ⊗ EXIST. DOWNSPOUT
- ⊗ EXIST. SIGN
- ⊗ EXIST. TREE
- ⊗ EXIST. TREE TO BE REMOVED
- ⊗ TREE FENCE
- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- EXIST. WATER
- EXIST. GAS

CONTRACTOR SHALL BE REQUIRED TO CONSTRUCT A SHEET PILE RETAINING WALL TO SUPPORT EXISTING PROPERTY PRIOR TO REMOVAL OF EXISTING WALL. CONTRACTOR SHALL MAINTAIN ADJACENT PROPERTY THROUGHOUT CONSTRUCTION AND WORK SHALL COMMENCE PRIOR TO AN EXECUTED AGREEMENT WITH ADJACENT OWNERS.

CONTRACTOR SHALL INSTALL 8" HT. CHAIN LINK TEMPORARY CONSTRUCTION FENCE PRIOR TO START OF WORK (TYP.).

REMOVE AND REPLACE EXISTING LIGHTS IN KNO.

REMOVE AND REPLACE EXISTING CONCRETE STAIRS PER AGREEMENT WITH ADJACENT OWNERS.

PROTECT EXISTING LIGHTING DURING CONSTRUCTION. CONTRACTOR SHALL BE REQUIRED TO CONSTRUCT A SHEET PILE RETAINING WALL TO SUPPORT EXISTING PROPERTY.

**LEGEND:**  
 ITEM TO BE REMOVED

- DEMOLITION NOTES:**
- COORDINATE WITH PROJECT MANAGER FOR THE PLACEMENT OF MATERIAL STOCKPILES. ALL MATERIAL ARE TO BE STOCKPILED SEPARATELY FOR USE IN PREPARING THE BUILDING PAD AND PAVEMENT SUB-BASE.
  - ALL EXISTING UTILITIES ARE TO BE REMOVED WHERE INDICATED.
  - CONTRACTOR IS TO TAKE CARE IN LIMITING MATERIALS FROM ENTERING THE EXISTING STORM SEWER AND SANITARY SEWERS.
  - MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION INCLUDING, BUT NOT LIMITED TO CITY AND COMED.
  - CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING AND SHALL INFORM OWNER/ENGINEER OF ANY DISCREPANCIES.
  - CONTRACTOR TO CONTACT OWNER/ENGINEER TO DISCUSS ANY QUESTIONS OR DISCREPANCIES FOUND ON SITE PRIOR TO ANY CONSTRUCTION. EXISTING UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER IMMEDIATELY IN ORDER TO MAKE A DECISION. PROVIDE ITEMIZED FEE FOR UTILITY REMOVAL (LINEAL FOOT) IN BID.
  - CONTRACTOR SHALL REMOVE ALL ABOVE GROUND STRUCTURES TO GRADE.
  - ALL CONCRETE AND ASPHALT TO BE PULVERIZED TO 3" MAXIMUM PIECES.
  - ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET LONG NON-SHRINK CONCRETE/MORTAR PLUGS.
  - ALL WATER SERVICES SHALL BE REMOVED AND CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
  - ALL SITE MATERIALS TO BE REMOVED MUST BE IMMEDIATELY HAULED FROM THE SITE.

**GEPOOL ENGINEERING, INC.**  
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 LEMONT, ILLINOIS 60439  
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 EMAIL: GEPOOL@COMCAST.NET

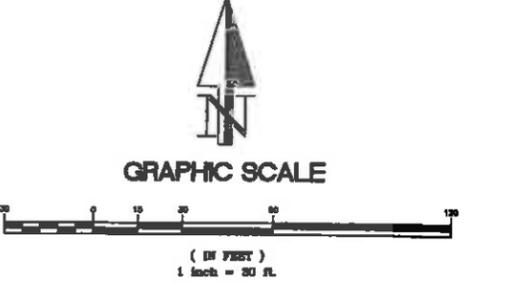
PREPARED FOR:  
**PETE'S FRESH MARKET**  
 4343 S. PULASKI ROAD  
 CHICAGO, ILLINOIS 60632

**NOTE:**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER WARRANT OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN

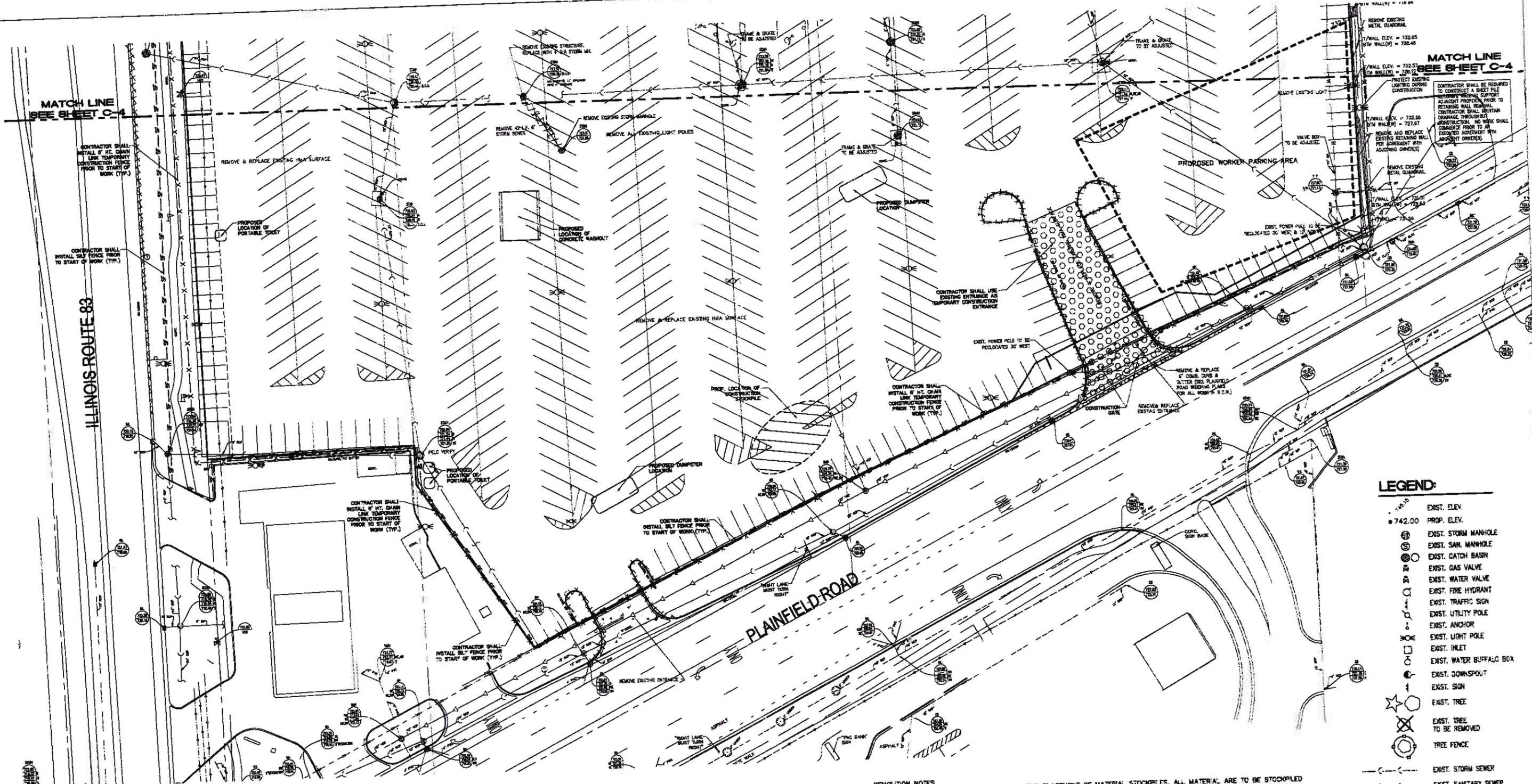
REVISIONS:		
DATE:	NO.	DESCRIPTION:
05-17-2018	1	PER VILLAGE COMMENTS DATED 12-17-16
08-16-2018	2	PER CLIENT REQUEST

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.			
<b>840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</b>			
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:
			SHEET: <b>C-4</b>



MATCH LINE  
 SEE SHEET C-4A

MATCH LINE  
 SEE SHEET C-4A



- LEGEND:**
- 742.00 EXIST. ELEV.
  - 742.00 PROP. ELEV.
  - ⊕ EXIST. STORM MANHOLE
  - ⊙ EXIST. SAN. MANHOLE
  - ⊗ EXIST. CATCH BASIN
  - ⊕ EXIST. GAS VALVE
  - ⊕ EXIST. WATER VALVE
  - ⊕ EXIST. FIRE HYDRANT
  - ⊕ EXIST. TRAFFIC SIGN
  - ⊕ EXIST. UTILITY POLE
  - ⊕ EXIST. ANCHOR
  - ⊕ EXIST. LIGHT POLE
  - ⊕ EXIST. INLET
  - ⊕ EXIST. WATER BUFFALO BOX
  - ⊕ EXIST. DOWNSPOUT
  - ⊕ EXIST. SIGN
  - ★ EXIST. TREE
  - ★ EXIST. TREE TO BE REMOVED
  - ⊕ TREE FENCE
  - EXIST. STORM SEWER
  - EXIST. SANITARY SEWER
  - EXIST. WATER
  - EXIST. GAS

- LEGEND:**
- ⊗ ITEM TO BE REMOVED

**DEMOLITION NOTES**

- COORDINATE WITH PROJECT MANAGER FOR THE PLACEMENT OF MATERIAL STOCKPILES. ALL MATERIAL ARE TO BE STOCKPILED SEPARATELY FOR USE IN PREPARING THE BUILDING PAD AND PAVEMENT SUB-BASE.
- ALL EXISTING UTILITIES ARE TO BE REMOVED WHERE INDICATED.
- CONTRACTOR IS TO TAKE CARE IN LIMITING MATERIALS FROM ENTERING THE EXISTING STORM SEWER AND SANITARY SEWERS.
- MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION INCLUDING, BUT NOT LIMITED TO CITY AND COMED.
- CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BIDDING AND SHALL INFORM OWNER/ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR TO CONTACT OWNER/ENGINEER TO DISCUSS ANY QUESTIONS OR DISCREPANCIES FOUND ON SITE PRIOR TO ANY CONSTRUCTION. EXISTING UTILITIES ENCOUNTERED THAT ARE NOT SHOWN ON THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER IMMEDIATELY IN ORDER TO MAKE A DECISION. PROVIDE ITEMIZED FEE FOR UTILITY REMOVAL (LINEAL FOOT) IN BID.
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- ALL WATER SERVICES SHALL BE REMOVED AND CAPPED AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- ALL SITE MATERIALS TO BE REMOVED MUST BE IMMEDIATELY HAULED FROM THE SITE.

MATCH LINE SEE SHEET C-4

MATCH LINE SEE SHEET C-4

ILLINOIS ROUTE 83

PLAINFIELD ROAD

GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

**EOPOOL ENGINEERING, INC.**  
125355 LEMONT ROAD  
LEMONT, ILLINOIS 60439  
PHONE: (630) 739-0707  
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EMAIL: GEOPOL@COMCAST.NET

PREPARED FOR:  
**PETE'S FRESH MARKET**

4343 S. PULASKI ROAD  
CHICAGO, ILLINOIS 60636

**NOTE:** THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN**

REVISIONS:	
DATE:	DESCRIPTION:
03-17-2013	1 PER VILLAGE COMMENTS DATES 12-17-14
08-16-2013	2 PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.

**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

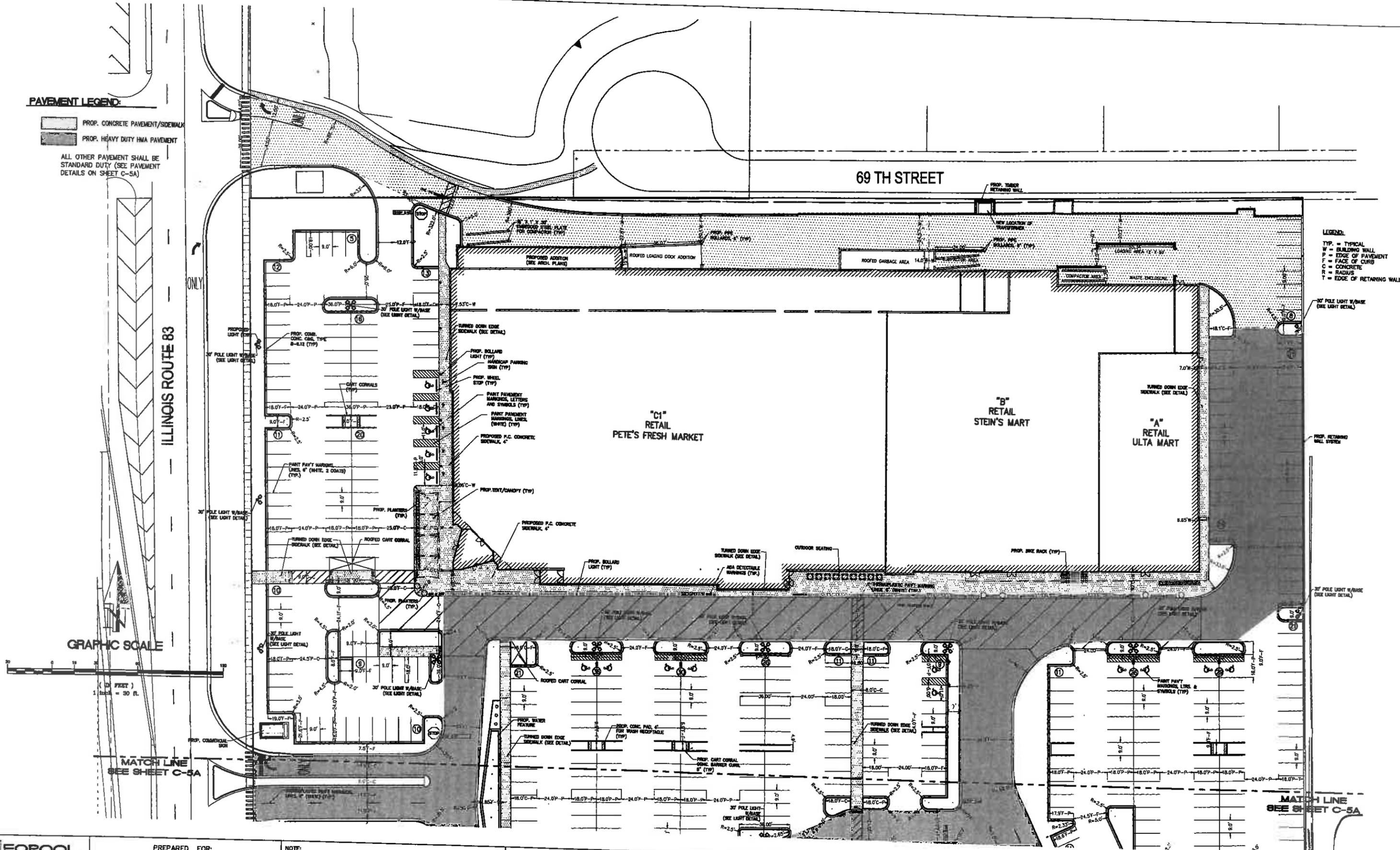
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-4A
ENG PROJ: #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

**PAVEMENT LEGEND:**

- PROP. CONCRETE PAVEMENT/SIDEWALK
- PROP. HEAVY DUTY HMA PAVEMENT

ALL OTHER PAVEMENT SHALL BE STANDARD DUTY (SEE PAVEMENT DETAILS ON SHEET C-5A)

- LEGEND:**
- TYP. = TYPICAL
  - W = BUILDING WALL
  - P = EDGE OF PAVEMENT
  - F = FACE OF CURB
  - C = CONCRETE
  - R = RADIUS
  - T = EDGE OF RETAINING WALL



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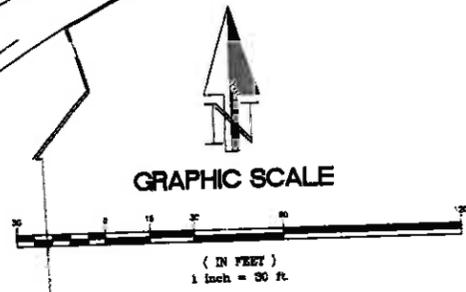
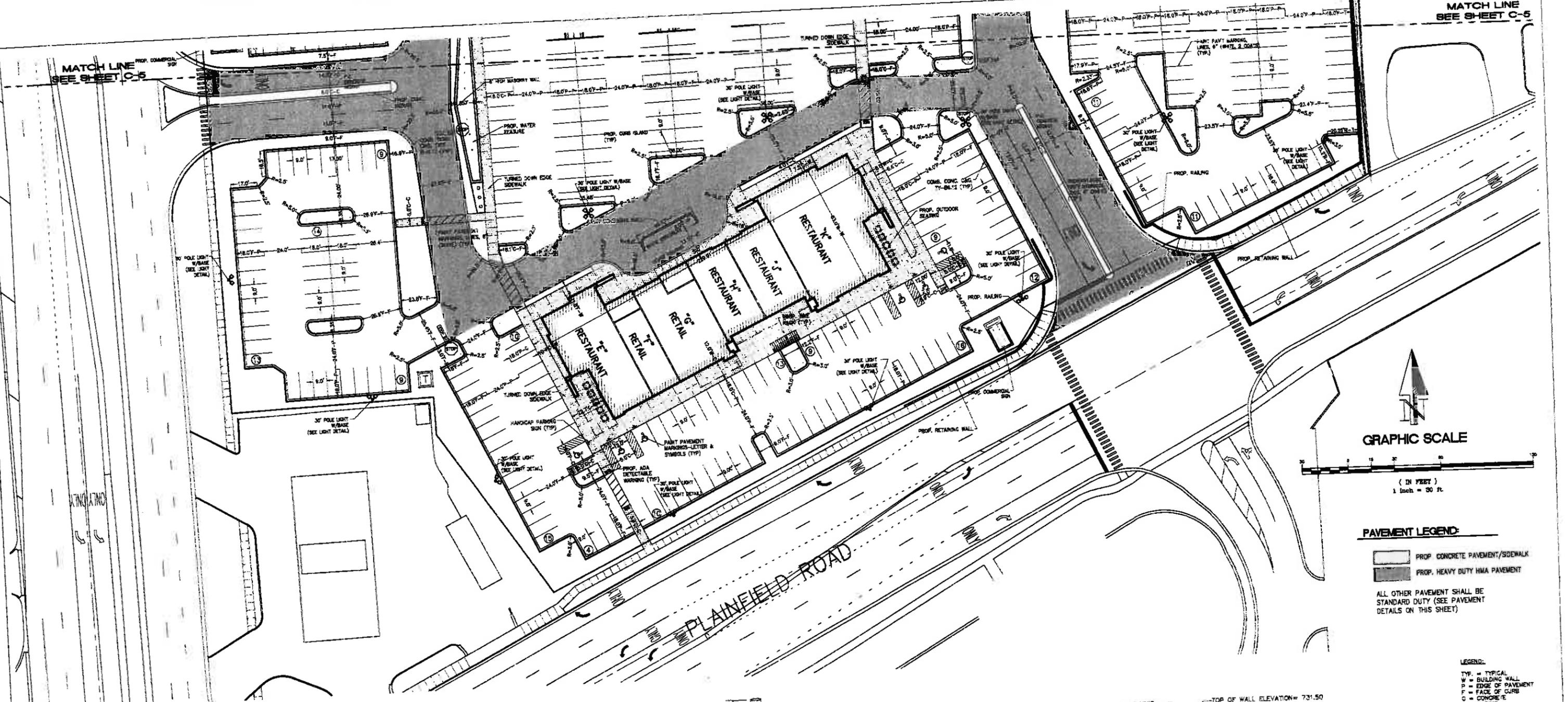
# GEOMETRIC PLAN

**REVISIONS:**

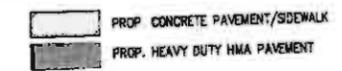
DATE:	NO.	DESCRIPTION:
03-17-2015	1	PER MR. JACOB COMMENTS DATED 12-17-14
09-18-2015	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.  
**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

DRAWN: K.B.    DATE: 05-30-14    CHECKED: A.R.G.    DATE:    SHEET: C-5

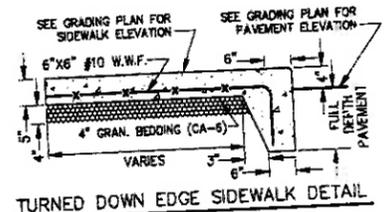
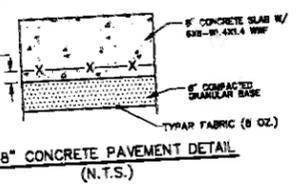
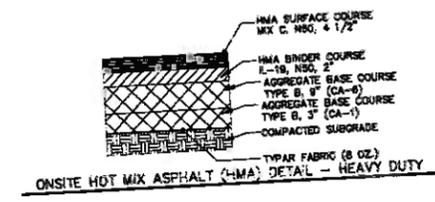
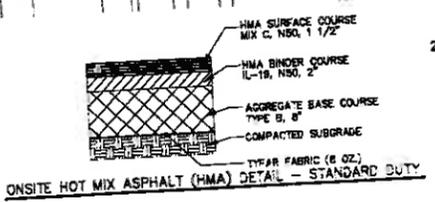


**PAVEMENT LEGEND:**

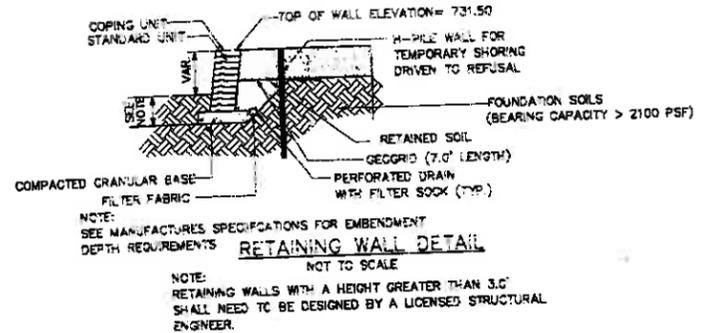
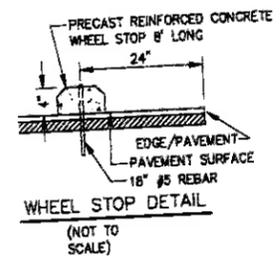
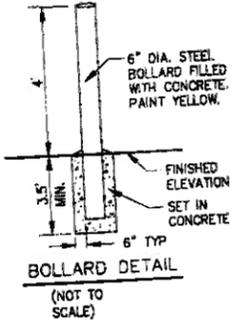


ALL OTHER PAVEMENT SHALL BE STANDARD DUTY (SEE PAVEMENT DETAILS ON THIS SHEET)

**LEGEND:**  
 TYP. = TYPICAL  
 W = BUILDING WALL  
 P = EDGE OF PAVEMENT  
 F = FACE OF CURB  
 C = CONCRETE  
 R = RADIUS  
 E = EDGE OF RETAINING WALL



**NOTES:**  
 1. PROVIDE CONTROL JOINTS AT 5' O.C.  
 2. PROVIDE EXPANSION JOINTS AT 50' O.C.



**NOTE:** SEE MANUFACTURER'S SPECIFICATIONS FOR EMBODIMENT DEPTH REQUIREMENTS

**NOTE:** RETAINING WALLS WITH A HEIGHT GREATER THAN 3.0' SHALL NEED TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER.

**EOPOOL ENGINEERING, INC.**  
 125355 LEMONT ROAD  
 LEMONT, ILLINOIS 60439  
 PHONE: (630) 739-0707  
 FAX: (630) 739-6080  
 WWW.EOPOOLCAST.NET

PREPARED FOR:  
**PETE'S FRESH MARKET**  
 4343 S. PULASKI ROAD  
 CHICAGO, ILLINOIS 60638

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**GEOMETRIC PLAN**

REVISIONS:		DATE:	NO.	DESCRIPTION:
		03-17-2015	1	PER VILLAGE COMMENTS DATED 12-17-14
		06-11-2015	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.				
<b>840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</b>				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-5A
ENG PROJ #14-C4	SURV PROJ #:	FIELD BOOK:	DATE:	

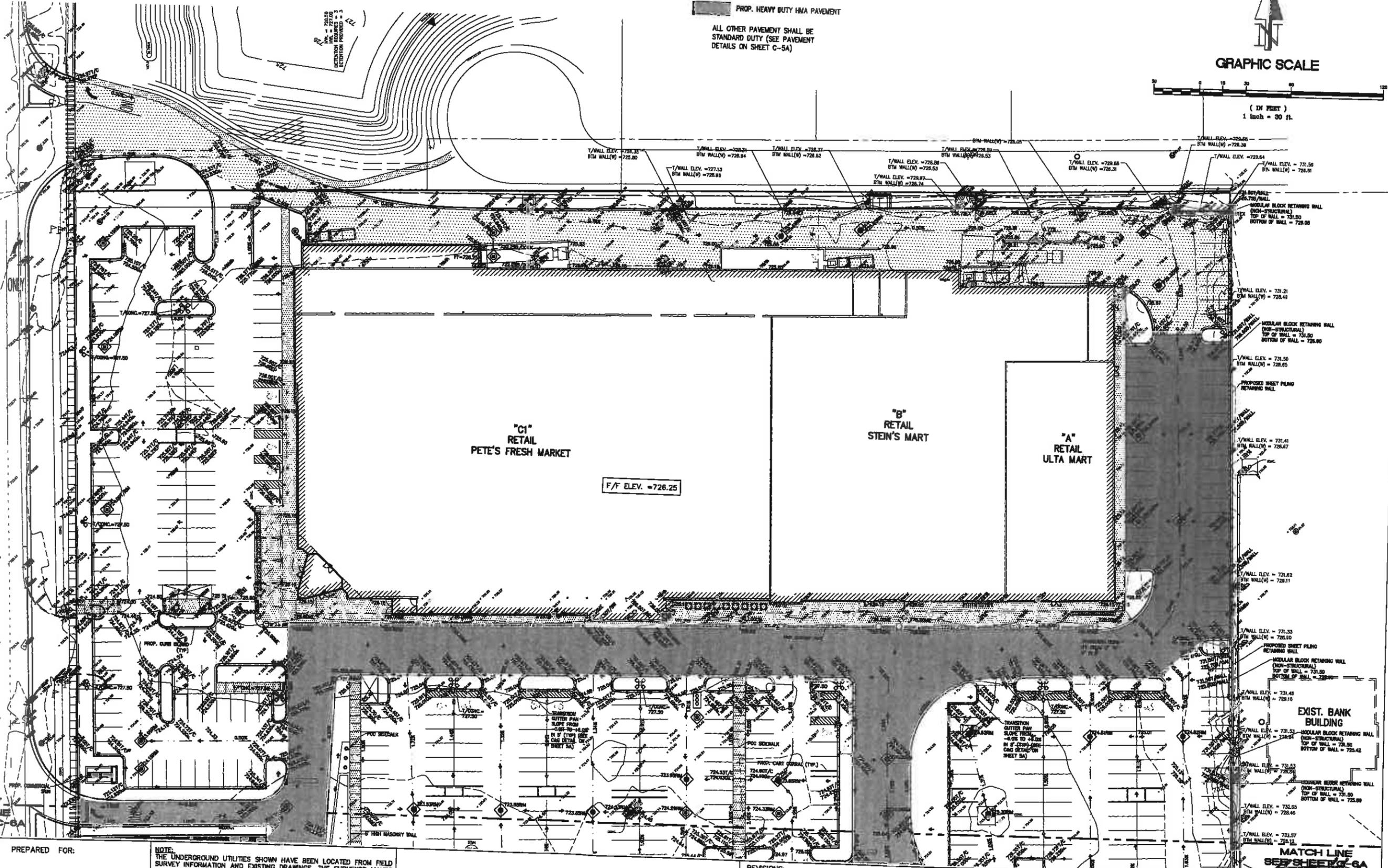
**LEGEND:**

- EXIST. STORM SEWER
- EXIST. SANITARY SEWER
- EXIST. WATER MAIN
- 725 EXIST. CONTOUR
- 725 PROP. CONTOUR
- PROP. WATER SERVICE
- PROP. SANITARY SERVICE
- PROP. STORM SEWER
- PROP. DRAINAGE DIRECTION
- PROP. OVERLAND FLOW
- SF F.F. PROP. FINISHED FLOOR ELEVATION
- T/C PROP. TOP OF CURB ELEVATION
- GL PROP. GUTTER ELEVATION
- C PROP. CONC. PAVEMENT ELEVATION
- P PROP. PAVEMENT ELEVATION
- EX/EXIST. EXISTING ELEVATION
- MATCH EXIST./WE MATCH EXISTING ELEVATION
- RIM TOP OF STRUCTURE ELEVATION

**PAVEMENT LEGEND:**

- ▭ PROP. CONCRETE PAVEMENT/SIDEWALK
- ▭ PROP. HEAVY DUTY HMA PAVEMENT

ALL OTHER PAVEMENT SHALL BE STANDARD DUTY (SEE PAVEMENT DETAILS ON SHEET C-5A)



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PREPARED FOR:  
**PETE'S FRESH MARKET**  
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 CHICAGO, ILLINOIS 60638

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**GRADING AND DRAINAGE PLAN**

**REVISIONS:**

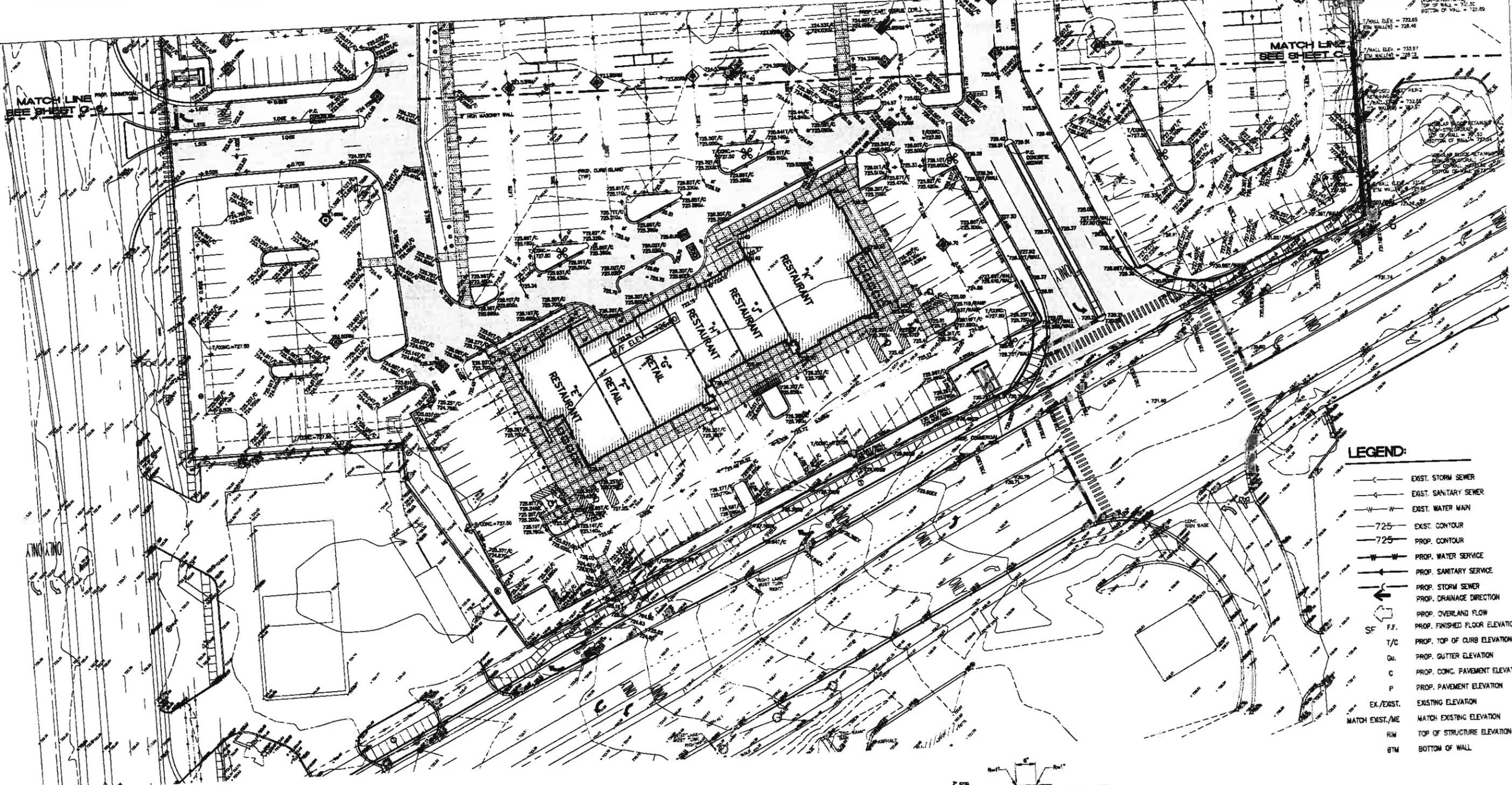
DATE:	NO.	DESCRIPTION:
03-17-2016	1	PER VILLAGE COMMENTS DATED 12-17-16
09-16-2016	2	PER CLIENT REQUEST

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.  
**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

DRAWN: K.B.    DATE: 05-30-14    CHECKED: A.R.G.    DATE:    SHEET: C-6

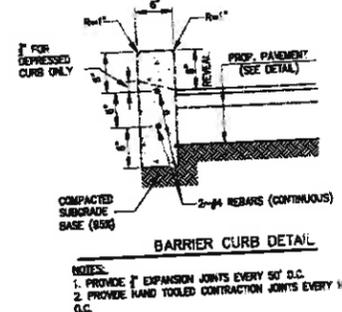
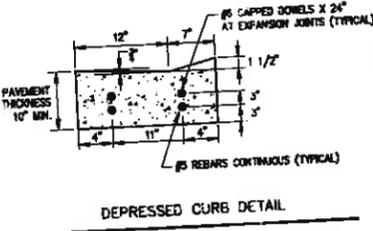
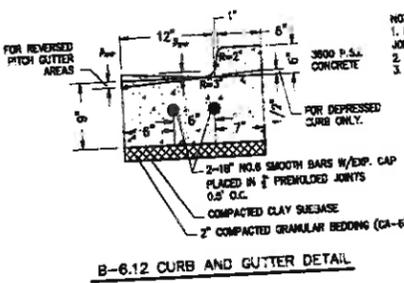
MATCH LINE  
SEE SHEET C

MATCH LINE  
SEE SHEET C



- LEGEND:**
- EXIST. STORM SEWER
  - EXIST. SANITARY SEWER
  - EXIST. WATER MAIN
  - 725 EXIST. CONTOUR
  - 725 PROP. CONTOUR
  - PROP. WATER SERVICE
  - PROP. SANITARY SERVICE
  - PROP. STORM SEWER
  - PROP. DRAINAGE DIRECTION
  - PROP. OVERLAND FLOW
  - SF F.F. PROP. FINISHED FLOOR ELEVATION
  - T/C PROP. TOP OF CURB ELEVATION
  - G<sub>1</sub> PROP. GUTTER ELEVATION
  - C PROP. CONC. PAVEMENT ELEVATION
  - P PROP. PAVEMENT ELEVATION
  - EX/EXIST. EXISTING ELEVATION
  - MATCH EXIST./ME MATCH EXISTING ELEVATION
  - R/W TOP OF STRUCTURE ELEVATION
  - BTM BOTTOM OF WALL

7/20/2010



- PAVEMENT LEGEND:**
- ▨ PROP. CONCRETE PAVEMENT/SIDEWALK
  - ▨ PROP. HEAVY DUTY HMA PAVEMENT
- ALL OTHER PAVEMENT SHALL BE STANDARD DUTY (SEE PAVEMENT DETAILS ON SHEET C-5A)

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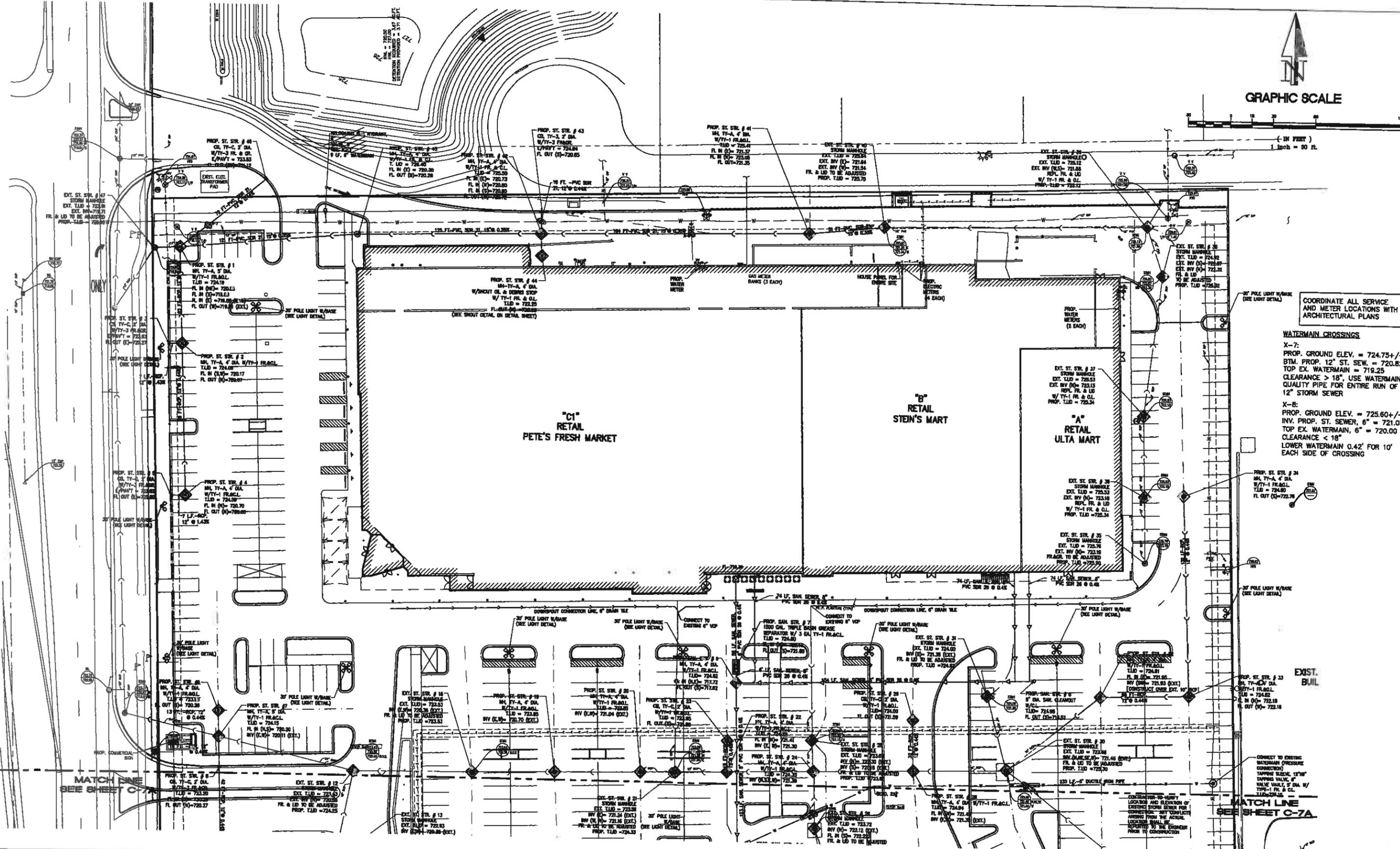
# GRADING AND DRAINAGE PLAN

REVISIONS:		
DATE	NO.	DESCRIPTION:
03-17-2010	1	PER VILLAGE REVIEW COMMENTS DATED 12-17-14
08-10-2010	2	PER CLIENT REVISION

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.				
<b>840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS</b>				
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-6A
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

**EPOOL ENGINEERING, INC.**  
 125355 LEMONT ROAD  
 LEMONT, ILLINOIS 60439  
 PHONE: (630) 739-0707  
 FAX: (630) 739-6080

PREPARED FOR:  
**PETE'S FRESH MARKET**  
 4343 S. PULASKI ROAD  
 CHICAGO, ILLINOIS 60632



COORDINATE ALL SERVICE AND METER LOCATIONS WITH ARCHITECTURAL PLANS

**WATERMAIN CROSSINGS**

X-7:  
PROP. GROUND ELEV. = 724.75 +/-  
BTM. PROP. 12" ST. SEW. = 720.82  
TOP EX. WATERMAIN = 719.25  
CLEARANCE > 18". USE WATERMAIN QUALITY PIPE FOR ENTIRE RUN OF 12" STORM SEWER

X-8:  
PROP. GROUND ELEV. = 725.60 +/-  
INV. PROP. ST. SEWER, 6" = 721.08  
TOP EX. WATERMAIN, 6" = 720.00  
CLEARANCE < 18"  
LOWER WATERMAIN 0.42' FOR 10' EACH SIDE OF CROSSING

EXIST. BUIL.

MATCH LINE SEE SHEET C-7A

MATCH LINE SEE SHEET C-7

**GEPOOL**  
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PREPARED FOR:  
**PETE'S FRESH MARKET**  
4343 S. PULASKI ROAD  
CHICAGO, ILLINOIS 60638

**NOTE:**  
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# UTILITY PLAN

REVISIONS:		
DATE:	NO.	DESCRIPTION:
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09-18-2015	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.  
**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET:
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	C-7

**WATERMAIN CROSSINGS**

X-1:  
PROP. GROUND ELEV. = 724.65+/-  
INV. EX. STORM SEWER = 721.20  
T/PROP. WATERMAIN, 6" = 719.15  
CLEARANCE > 18"  
CASE WATERMAIN 10' EACH SIDE OF CROSSING

X-2:  
PROP. GROUND ELEV. = 725.60+/-  
BTM. PROP. 8" WATERMAIN = 719.40  
TOP PROP. SAN. SEWER, 8" = 717.19  
CLEARANCE > 18"  
CASE SANITARY SEWER 10' EACH SIDE OF CROSSING

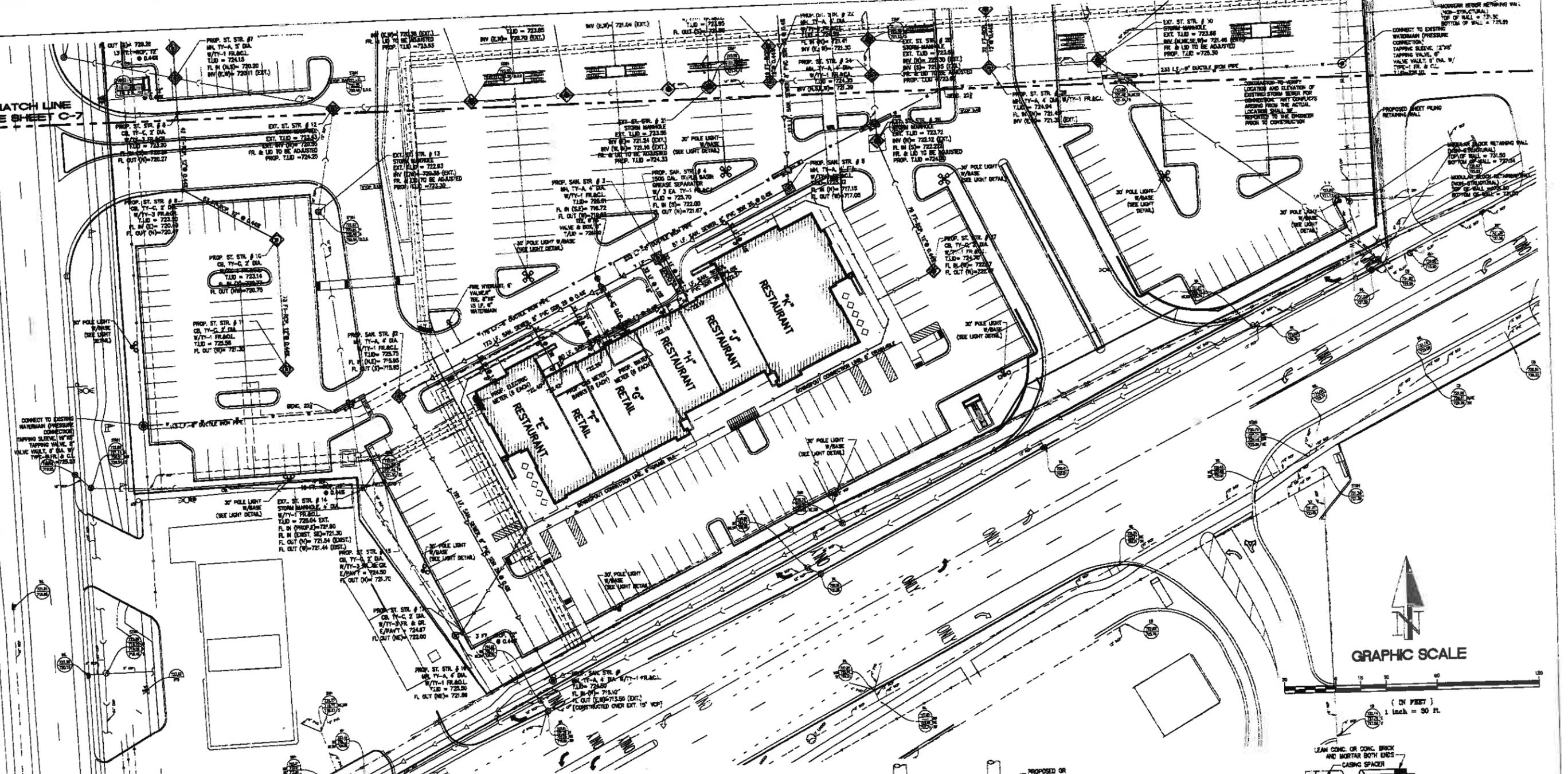
X-3:  
PROP. GROUND ELEV. = 726.35+/-  
PROP. SAN. SEWER, 8" = 722.18  
TOP PROP. WATERMAIN, 6" = 720.88  
CLEARANCE = 18"  
CASE SANITARY SEWER 10' EACH SIDE OF CROSSING

X-4:  
PROP. GROUND ELEV. = 728.25+/-  
BTM. WATERMAIN, 6" = 719.02  
T/SAN. SEWER, 8" = 717.51  
CLEARANCE < 18", CASE WATERMAIN FOR 10' EACH SIDE OF CROSSING

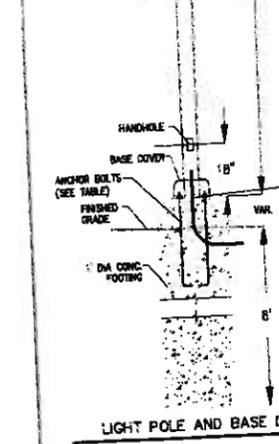
X-5:  
PROP. GROUND ELEV. = 724.95+/-  
BTM. ST. SEWER, 6" = 721.74  
TOP WATERMAIN = 719.45  
CLEARANCE > 18"  
CASE WATERMAIN FOR 10' EACH SIDE OF CROSSING

X-6:  
PROP. GROUND ELEV. = 725.55+/-  
BTM. EX. ST. SEWER, 6" = 721.35  
TOP PROP. WATERMAIN, 6" = 719.70  
CLEARANCE > 18"  
CASE WATERMAIN FOR 10' EACH SIDE OF CROSSING

COORDINATE ALL SERVICE AND METER LOCATIONS WITH ARCHITECTURAL PLANS



COORDINATE ALL SERVICE AND METER LOCATIONS WITH ARCHITECTURAL PLANS



**ANCHOR BASE AND BOLT DETAILS**

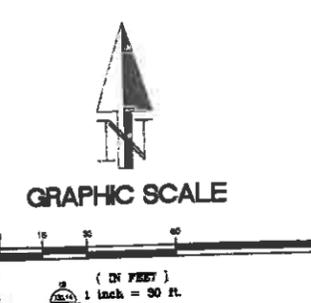
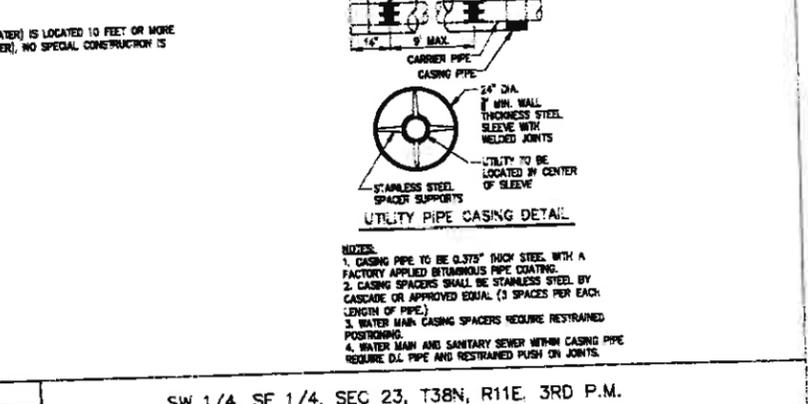
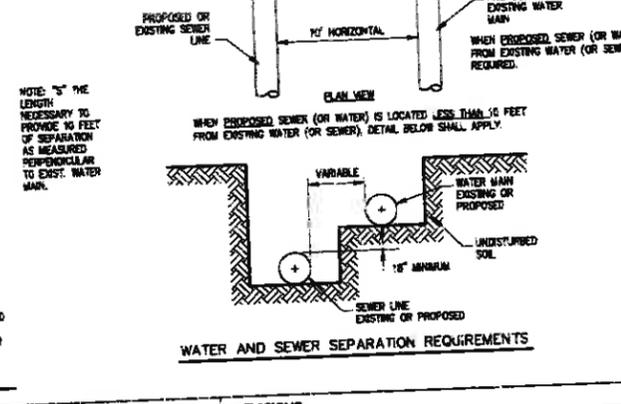
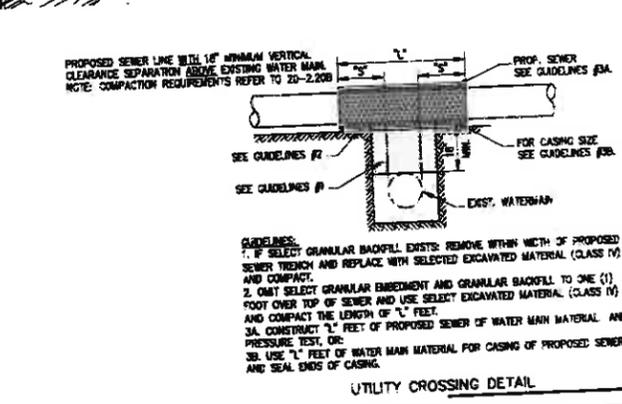
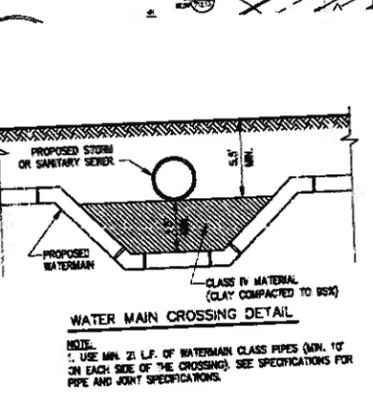
PIPE DIA.	1/2" - 3"
PIPE WEIGHT	10 - 15
MIN. CONC. DIA.	1/2" - 3/4"
MIN. CONC. THICK.	2 1/2"
MIN. CONC. STRENGTH	4000 PSI
MIN. CONC. COVER	1 1/2"
MIN. CONC. SPACING	12"

GROUP MUST BE PACKED UNDER POLE BASE TO ENSURE FULL CONTACT WITH FOOTING AND PREVENT LOOSENING OF LEVELING NUTS.

PROVIDE A CHANNEL THROUGH THE GROUP FOR DRAINAGE FROM THE POLE INTERIOR.

**ALLOWABLE POLE EPA**

POLE DIA.	EPA
1 1/2"	0.25
2"	0.35
2 1/2"	0.45
3"	0.55
3 1/2"	0.65
4"	0.75
4 1/2"	0.85
5"	0.95
5 1/2"	1.05
6"	1.15
6 1/2"	1.25
7"	1.35
7 1/2"	1.45
8"	1.55
8 1/2"	1.65
9"	1.75
9 1/2"	1.85
10"	1.95



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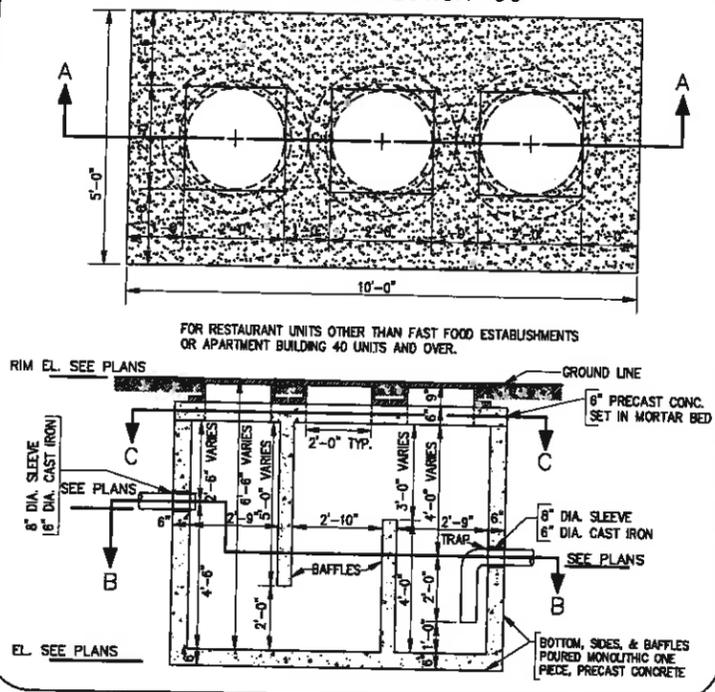
SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.

**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**

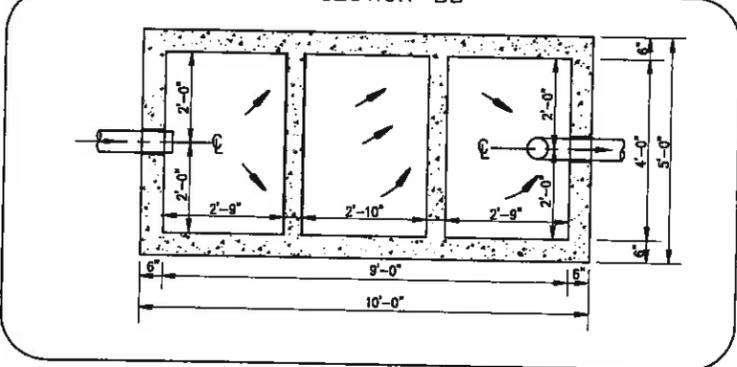
DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:	SHEET: C-7A
ENG PROJ #14-04	SURV PROJ #:	FIELD BOOK:	DATE:	

**GREASE SEPARATOR**

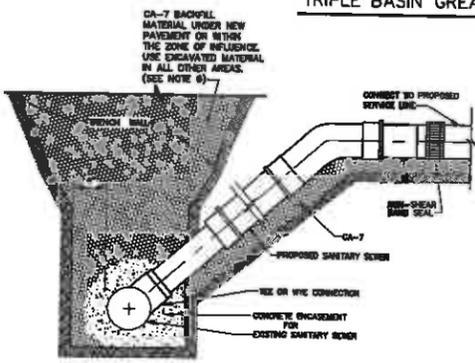
**PLAN and SECTION-CC**



**SECTION-BB**

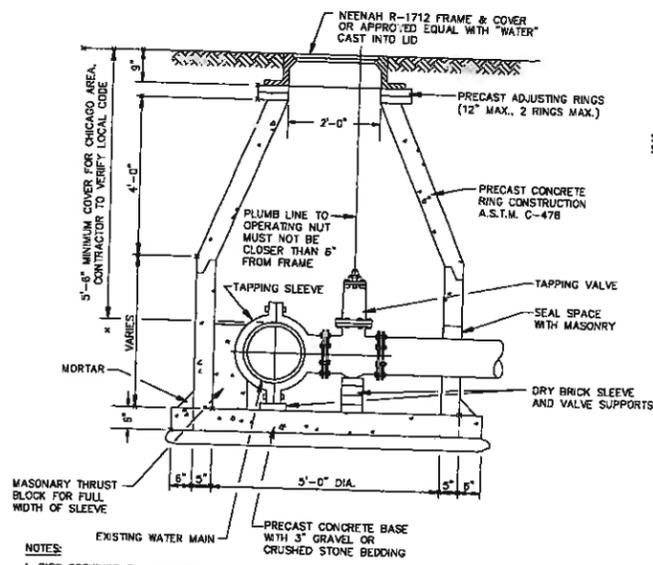


**TRIPLE BASIN GREASE SEPARATOR DETAIL**

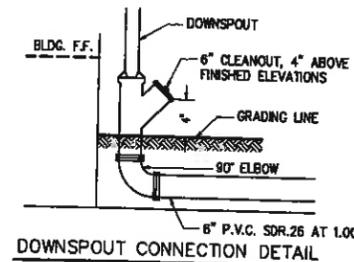


- FOR CONNECTING SANITARY SEWER SERVICE TO AN EXISTING SANITARY SEWER  $\leq 12'$ , REMOVE A SECTION OF PIPE AND INSTALL A TEE OR WYE CONNECTION.
- FOR CONNECTING SANITARY SEWER SERVICE TO AN EXISTING SANITARY SEWER  $\geq 18'$ , CIRCULAR SAW-OUT AND USE A HUB WYE OR TEE SADDLE CONNECTION.
- FOR PROPOSED STORM OR SANITARY SEWER SERVICES, ENCASE ALL CONNECTIONS IN LOW STRENGTH CONCRETE TO PREVENT THE FITTINGS FROM ROTATING.
- FOR TRENCHES WITHIN AN EXISTING PAVED SURFACE AREA, FLOWABLE FILL BACKFILL MEETING DOT'S SPECIFICATIONS FOR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MAX 1 SHALL BE USED.

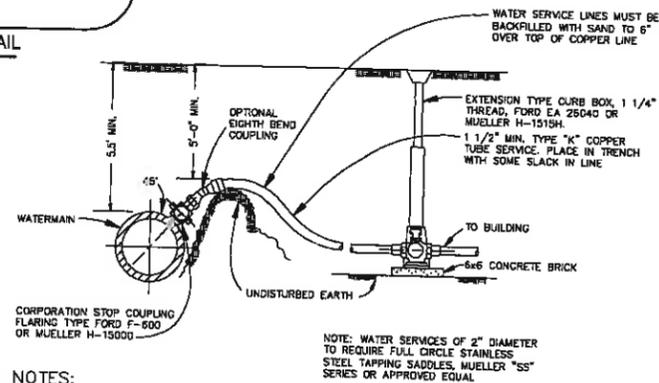
**SANITARY SERVICE DETAIL**



**PRESSURE CONNECTION BASIN**

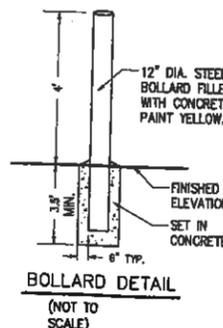


**DOWNSPOUT CONNECTION DETAIL**



**NOTES:**

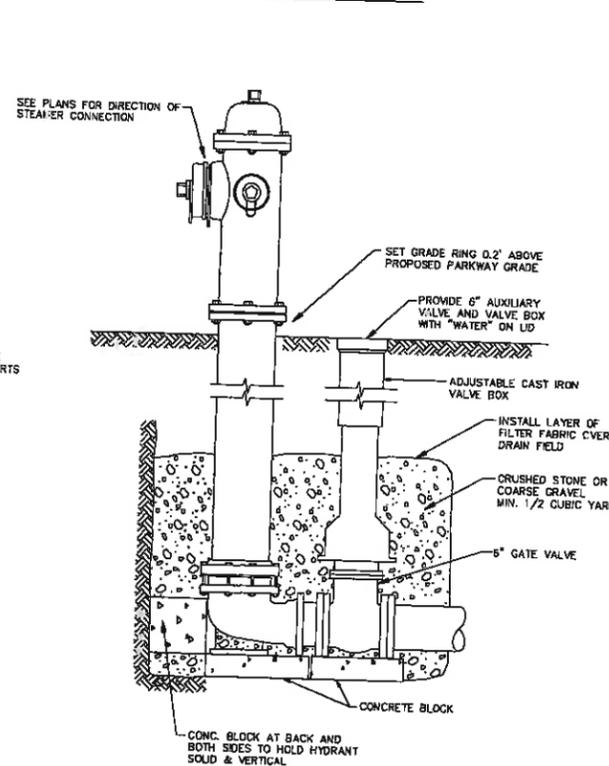
- TAPS AT ANGLES UP TO 90° WILL BE PERMITTED IF CONDITIONS DO NOT ALLOW TAPPING AT 45°.
- TAPS MUST BE MADE 3 FEET FROM THE BELL OF THE PIPE WHERE TWO OR MORE TAPS ARE MADE, THEY MUST BE 18" APART.
- SEWER SEPARATION REQUIREMENTS MUST BE SATISFIED IN ALL CASES.
- CURB STOP COVER SHALL BE FLUSH WITH FINISHED GRADE.
- CURB STOP SHALL NOT BE IN DRIVEWAY.
- CURB STOP IS WITH COMPRESSION COUPLING FORD B44-444 FOR 1 1/2" FLARED COPPER, OR MUELLER EQUAL.
- CURB STOP LID HAS 1 1/2" THREADED BRASS PENTAGON PLUG WITH WORD "WATER" IN RAISED LETTERS.



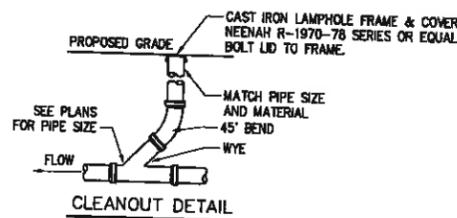
**BOLLARD DETAIL**

(NOT TO SCALE)

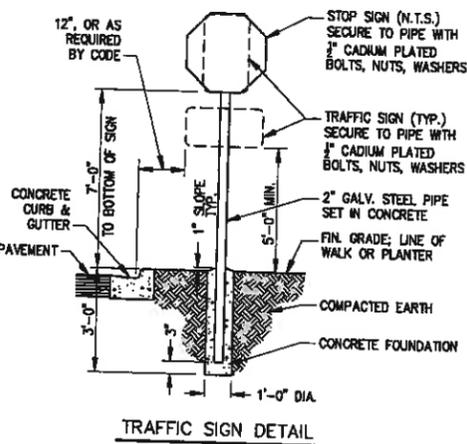
**HYDRANT SETTING**



NOTE: 1. DO NOT OBSTRUCT HYDRANT DRAIN HOLE.

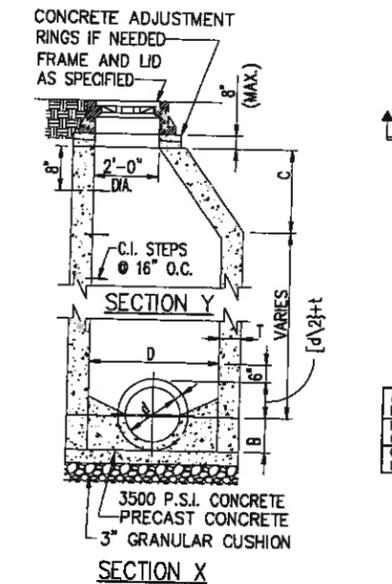


**CLEANOUT DETAIL**

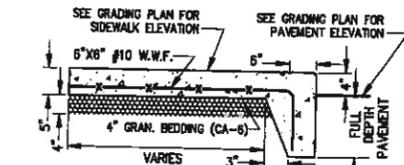


**TRAFFIC SIGN DETAIL**

NOTE: TRAFFIC SIGNS TO BE HIGHWAY STANDARD AND TO CONFORM TO CURRENT STATE, LOCAL CODES AND REGULATIONS.

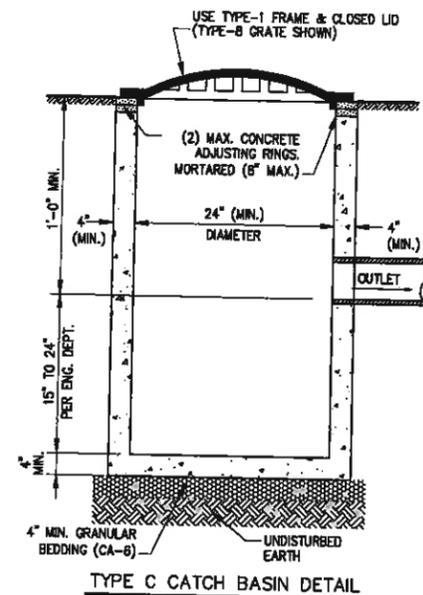


**MANHOLE DETAIL**



**TURNED DOWN EDGE SIDEWALK DETAIL**

- PROVIDE CONTROL JOINTS AT 5' O.C.
- PROVIDE EXPANSION JOINTS AT 50' O.C.



**TYPE C CATCH BASIN DETAIL**

- CATCH BASIN TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE.
- CATCH BASIN MUST CONFORM TO ASTM C-478.
- ALL PIPE PENETRATIONS TO BE CONED, RUBBER BOOTED AND INTERIOR MORTARED.
- MAX. DEPTH FROM INVERT OF OUTLET PIPE TO TOP OF FRAME SHALL NOT EXCEED 42 INCHES. IF DESIGN OR CONSTRUCTION REQUIRES DEPTH BEYOND 42 INCHES, STRUCTURE SHALL BE REVISED TO A 48 INCH DIAMETER TYPE A CATCH BASIN.

DIAMETER OF MAIN SEWER	D
21" AND UNDER	4'-0"
24" TO 42" INCLUSIVE	5'-0"

ALTERNATE MATERIALS FOR WALLS	D	C	T (MIN.)	B
PRECAST REINFORCED CONCRETE RISERS	4'-0"	2'-0"	4"	8"
CONCRETE MASONRY UNITS	4'-0"	2'-0"	3"	8"

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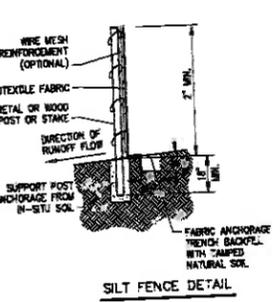
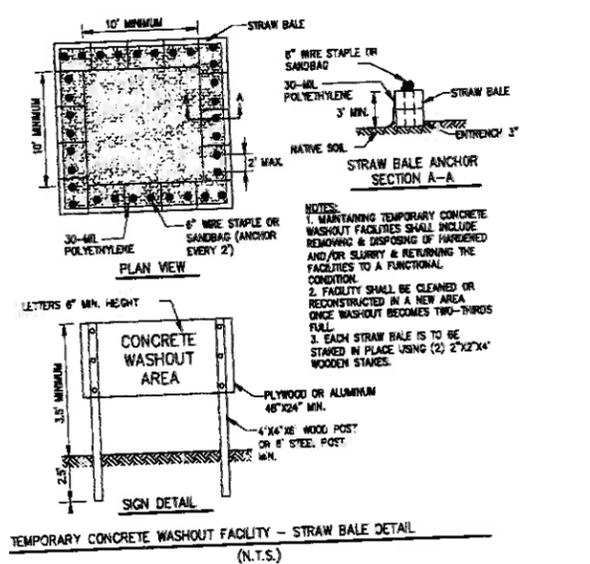
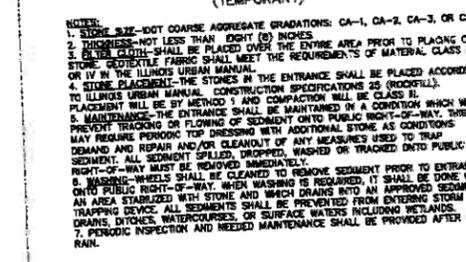
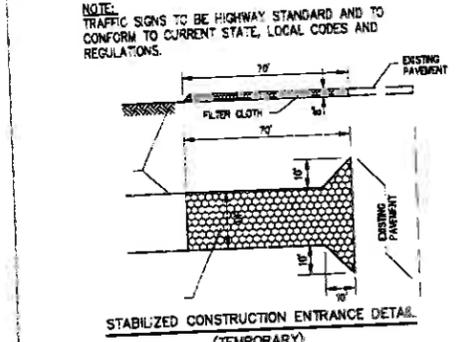
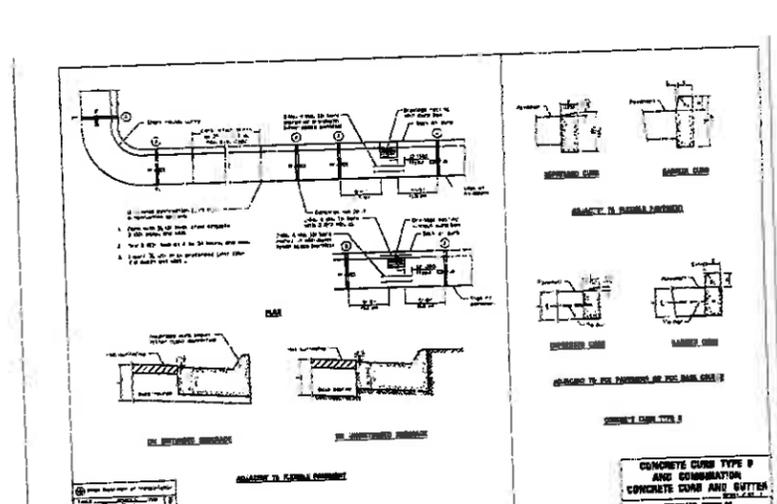
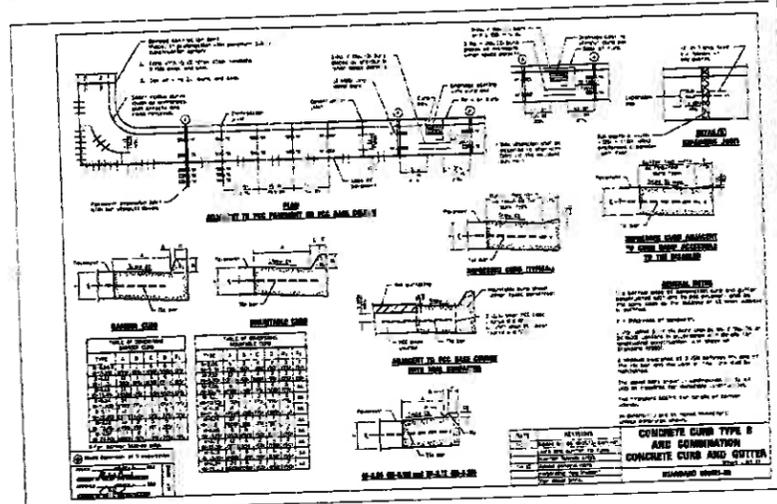
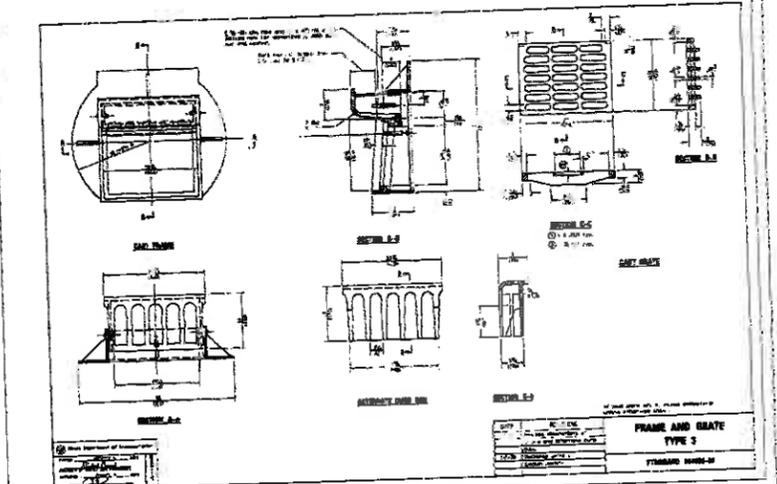
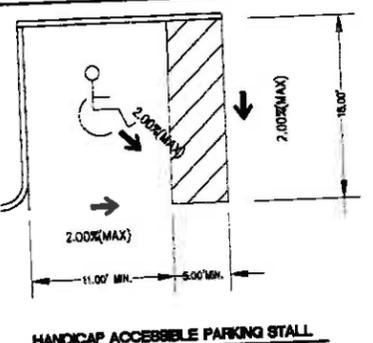
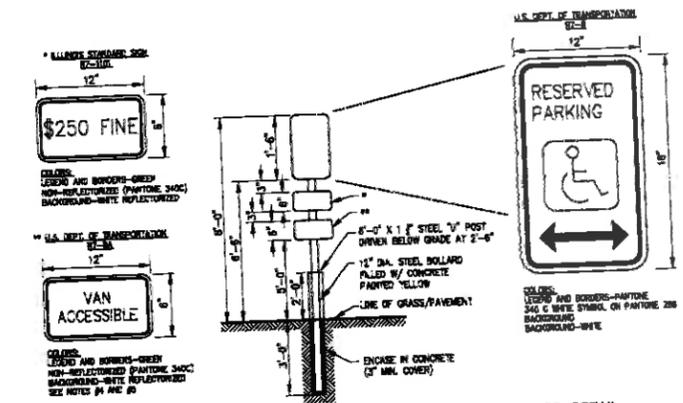
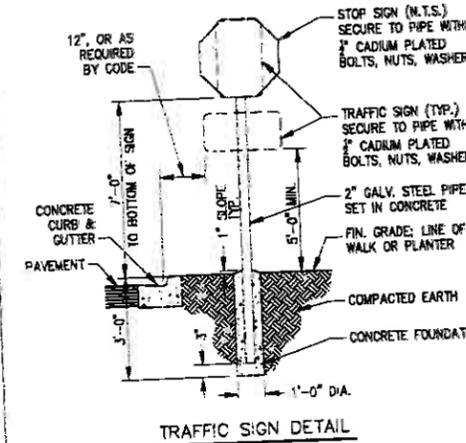
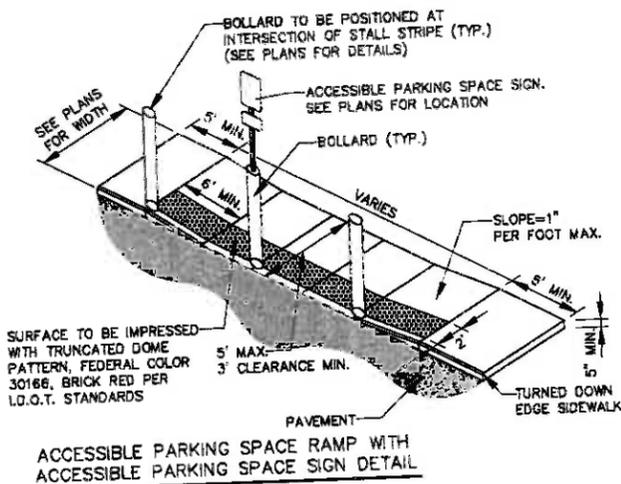
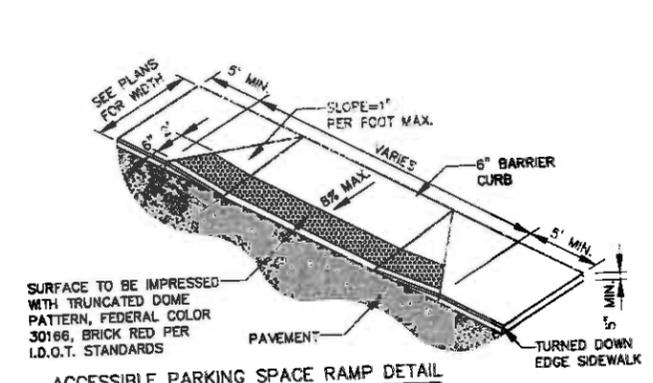
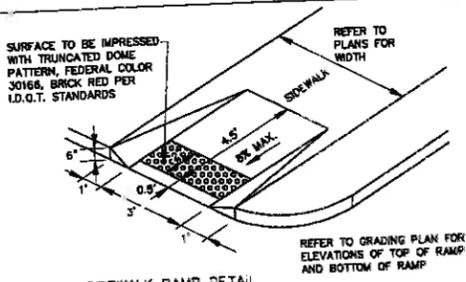
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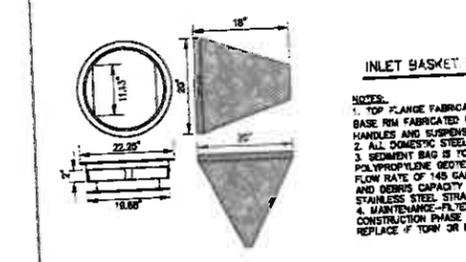
**CONSTRUCTION STANDARDS AND DETAILS**

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DRAWN: K.B.	DATE: 05-30-14	CHECKED: A.R.G.	DATE:
ENG PROJ #14-04	SURV PROJ #	FIELD BOOK:	DATE:



**NOTES:**  
 1. TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.  
 2. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.  
 3. STEEL POSTS SHALL BE STANDARD T AND U SECTIONS WEIGHING NOT LESS THAN 1.33 POUNDS PER LINEAR FOOT OR OTHER STEEL POSTS HAVING EQUIVALENT STRENGTH AND BENDING RESISTANCE.  
 4. WIRE FENCE SHALL BE A MINIMUM 12 GAUGE WIRE WITH A 6 INCH MAGNUM OPENING.  
 5. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATIONS (SEE GEOTEXTILE TABLE 1 OR 2, CLASS I); THE FABRIC SHALL HAVE AN AGE OF AT LEAST 30 FOR NONWOVEN AND 60 FOR WOVEN WATER.  
**MAINTENANCE NOTES:**  
 1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL GREATER THAN 1" AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.  
 2. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.  
 3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT; THEY MUST BE REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY HALF THE HEIGHT OF THE BARRIERS.  
 4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE CLEANED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.



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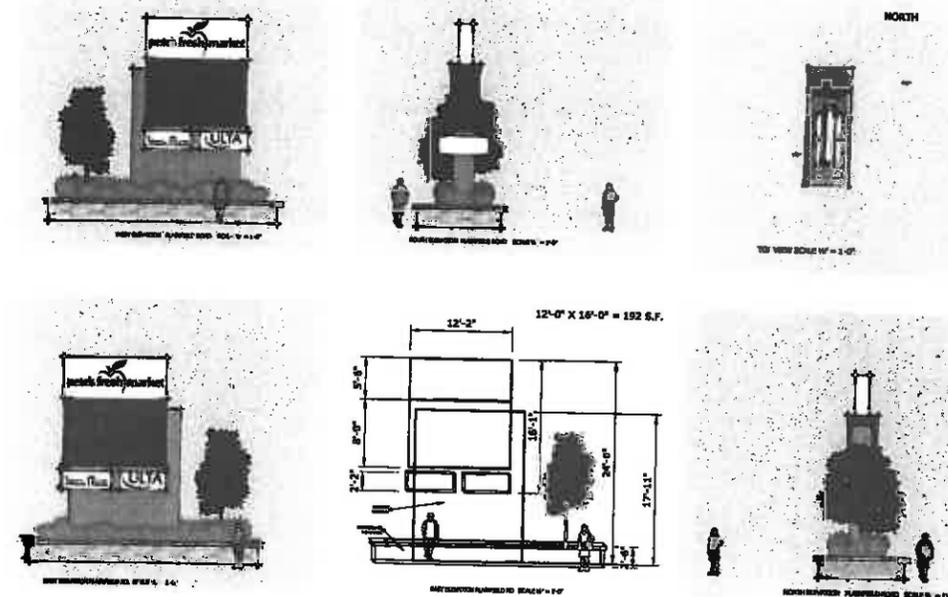
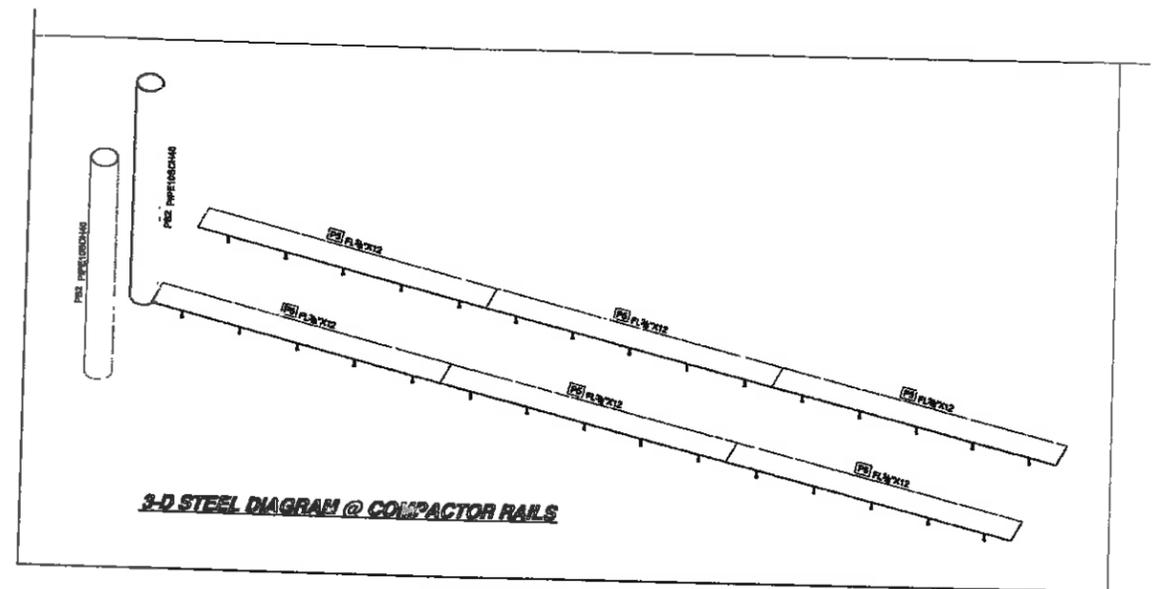
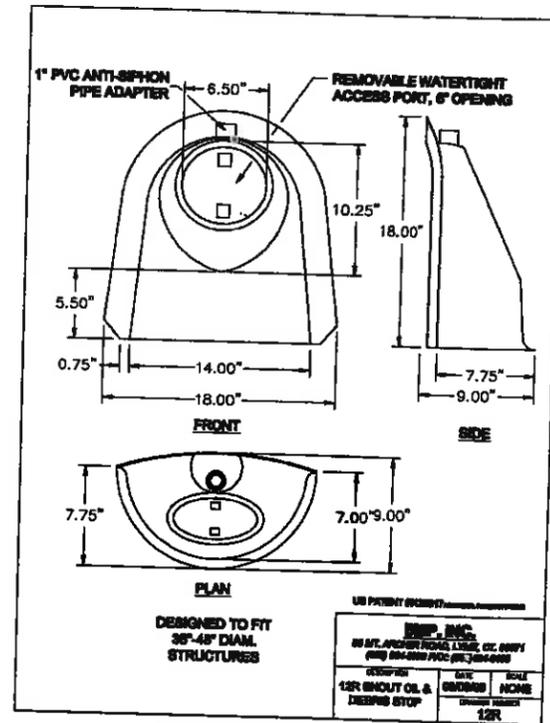
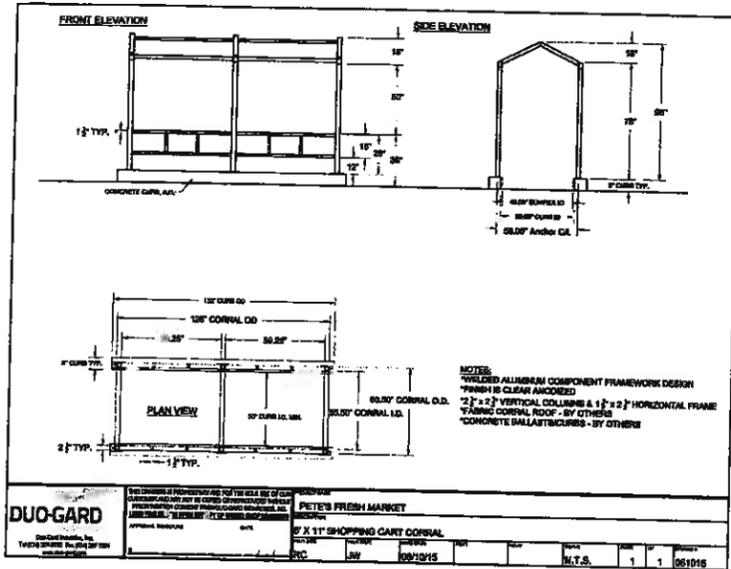
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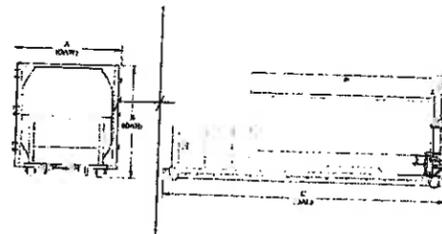
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			SHEET: C-9



Specifications



MODEL	A (DIM)	B (DIM)	D (DIM)	WEIGHT (lbs)
SC-T1-19	8'-1"	7'-5"	12'-11"	6,500
SC-T1-18	8'-1"	7'-5"	16'-5"	7,000
SC-T1-20	8'-1"	7'-5"	19'-7"	7,500
SC-T2-20	8'-2"	8'-7"	17'-7"	8,200
SC-T2-26	8'-2"	8'-7"	19'-6"	10,500
SC-T2-30	8'-2"	8'-7"	21'-10"	10,800
SC-T2-34	8'-2"	8'-7"	23'-8"	10,800
SC-T2-38	8'-2"	8'-7"	25'-7"	11,000
SC-22-30	8'-3"	8'-7"	18'-9"	10,000
SC-22-35	8'-3"	8'-7"	21'-4"	10,400
SC-22-40	8'-3"	8'-7"	23'-6"	10,800
SC-22-54	8'-3"	8'-7"	25'-2"	11,000

J.V. MANUFACTURING, INC  
SC-02, SC-T1 and SC-T2 SPECIFICATIONS

General Equipment Specifications	SC-02	SC-T1	SC-T2
Water Charge Rate (gpd)	1.31 cwyd	.73 cwyd	1.32 cwyd
Cone Top Opening	34" dia	11" dia	47" dia
Cycle Time (sec)	27	28	42
System Pressure (psi)	Normal: 2,000 Maximum: 2,400	2,000 2,400	2,000 2,400
Clamp on Force (lb)	Normal: 20,000 Maximum: 47,100	44,000 51,000	42,000 51,100
Item # and Pressure (psi)	Normal: 22.8 Maximum: 27.1	40 48	24.5 29.5
Item # and Pressure (psi)	5.0	8"	8"
Motor (hp)	10	10	10
Motor (hp)	3000/2000-4000	3000/2000-4000	3000/2000-4000
Pump Impeller (in)	18.5	16.5	16.5
Reservoir Capacity (gal)	22	22	22
Size	1"	4" dia	4" dia
Stroke	40"	20"	20"
Roll	2.5"	8"	8"
Construction	Floor	1/2" steel plate	1/2" steel plate
	Roof	4" x 12" Channel	4" x 12" Channel
Pan	Side	3/16" steel plate	3/16" steel plate
	End	3/16" steel plate	3/16" steel plate
	Top	3/16" steel plate	3/16" steel plate
	Bottom	3/16" steel plate	3/16" steel plate

**EOPool**  
CIVIL ENGINEERS  
LAND SURVEYORS  
125355 LEMONT ROAD  
LEMONT, ILLINOIS 60439  
PHONE: (630) 739-0707  
FAX: (630) 739-6080

PREPARED FOR:  
**PETE'S FRESH MARKET**  
4343 S. PULASKI ROAD  
CHICAGO, ILLINOIS 60632

**NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**CONSTRUCTION STANDARDS AND DETAILS**

REVISIONS:	DATE:	NO.	DESCRIPTION:
	03-17-2015	1	PER VILLAGE REVIEW COMMENTS DATED 12-17-14
	09-18-2015	2	PER CLIENT REVISIONS

SW 1/4, SE 1/4, SEC 23, T38N, R11E, 3RD P.M.  
**840 PLAINFIELD ROAD, WILLOWBROOK, ILLINOIS**  
DRAWN: K.B. DATE: 05-30-14 CHECKED: A.R.G. DATE: SHEET: C-10  
ENG PROJ #14-04 SURV PROJ # FIELD BOOK DATE



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 www.willowbrookil.org

**Mayor**

Frank A. Trilla

**Village Clerk**

Leroy R. Hansen

**Village Trustees**

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

**Village Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

BALSYS, GITANA  
638 67TH PL  
WILLOWBROOK, IL 60527

Re: Account 212595.007  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 309.30. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
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**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

BRAM. KEITH  
PO BOX 535  
HINSDALE, IL 60522-535

Re: Account 252490.005  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 140.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

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Director of Municipal Services



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December 30, 2015

**Mayor**

Frank A. Trilla

BRASSEUR, DARCIE  
549 RIDGEMOOR DR  
WILLOWBROOK, IL 60527

**Village Clerk**

Leroy R. Hansen

Re: Account 252060.010  
Delinquent Water Bill

**Village Trustees**

Sue Berglund

Dear Sir or Madam,

Umberto Davi

Please be advised that your water bill is now delinquent in the amount of \$ 119.73  
This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

Terrence Kelly

Michael Mistele

Gayle Neal

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

Paul Oggerino

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

**Village Administrator**

Tim Halik

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

**Chief of Police**

Mark Shelton

Sincerely,

**Director of Finance**

Carrie Dittman

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

# Willowbrook

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**Chief of Police**

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**Director of Finance**

Carrie Dittman



Proud Member of the  
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December 30, 2015

EGIEBOR, MARTHA  
865 WILLOW LN  
WILLOWBROOK, IL 60527

Re: Account 250370.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 234.16. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

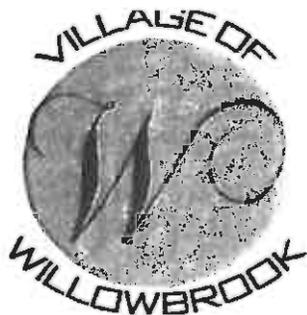
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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

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Carrie Dittman



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December 30, 2015

FILIPSKI, ANN  
6340 WESLEY ROAD  
WILLOWBROOK, IL 60527

Re: Account 252375.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 99.49. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

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Carrie Dittman



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December 30, 2015

GONZALES, ROBIN  
223 RODGERS CT  
WILLOWBROOK, IL 60527

Re: Account 250565.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 168.37. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

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Carrie Dittman



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Illinois Route 66 Scenic Byway

December 30, 2015

FRIGERIO, CALEB  
750 67TH PL  
WILLOWBROOK, IL 60527

Re: Account 210015.012  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 273.47. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

**Mayor**

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Carrie Dittman



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Illinois Route 66 Scenic Byway

December 30, 2015

IRWIN, DAVID & MICHELLE  
6451 RODGERS DR  
WILLOWBROOK, IL 60527

Re: Account 250870.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 131.12. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

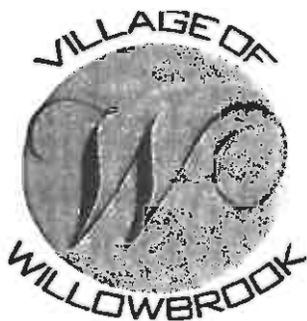
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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
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EST. 1960

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Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 30, 2015

KASS, MICHAEL  
6401 TREMONT RD  
WILLOWBROOK, IL 60527

Re: Account 252470.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 145.84. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

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Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 30, 2015

KAYALI, HANNA  
800 RIDGEMOOR DR W  
WILLOWBROOK, IL 60527

Re: Account 250240.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 194.87. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

MINTON, IAN N.  
425 WATERFORD DR  
WILLOWBROOK, IL 60527

Re: Account 252160.005  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 234.16. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
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Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 30, 2015

O'HARE, GEORGE  
6441 QUINCY ST  
WILLOWBROOK, IL 60527

Re: Account 250155.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 107.49. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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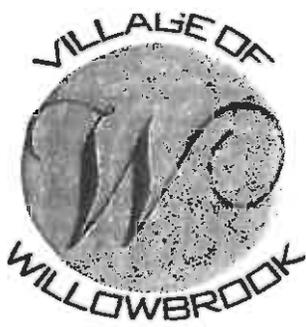
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Leroy R. Hansen

**Village Trustees**

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

**Village  
Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 30, 2015

SCHWERTFEGER, GEORGE  
6306 MARTIN DR  
WILLOWBROOK, IL 60527

Re: Account 250075.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 107.49. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

**Mayor**

Frank A. Trilla

**Village Clerk**

Leroy R. Hansen

**Village Trustees**

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

**Village Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

STEIN, FRED  
6350 TREMONT RD  
WILLOWBROOK, IL 60527

Re: Account 252930.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 107.49. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

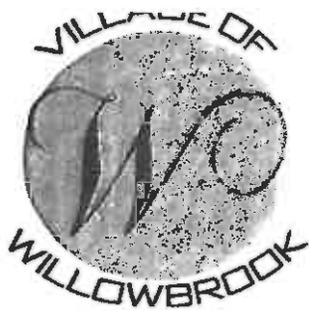
If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



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EST. 1960

# Willowbrook

835 Midway Drive  
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**Mayor**

Frank A. Trilla

VERVENIOTIS, SAM  
411 WOODGATE CT  
WILLOWBROOK, IL 60527

December 30, 2015

**Village Clerk**

Leroy R. Hansen

Re: Account 251680.000  
Delinquent Water Bill

**Village Trustees**

Sue Berglund

Dear Sir or Madam,

Umberto Davi

Please be advised that your water bill is now delinquent in the amount of \$ 442.00  
This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook  
Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date.  
This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code.  
Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will  
result in the immediate termination of your water service.

Terrence Kelly

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a  
\$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be  
paid in addition to all delinquent bills and all penalties thereon before water service will be  
reinstated.

Michael Mistele

If you have any questions concerning your water bill, or if you wish to arrange a hearing before  
the Mayor and Board of Trustees to contest the termination of your water service, please contact  
me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or  
call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

Gayle Neal

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Paul Oggerino

Sincerely,

**Village  
Administrator**

Tim Halik

Timothy J. Halik  
Director of Municipal Services

**Chief of Police**

Mark Shelton

**Director of  
Finance**

Carrie Dittman



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**Director of  
Finance**

Carrie Dittman



Proud Member of the  
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December 30, 2015

WALSH, TRACY  
133 CHAUCER CT  
WILLOWBROOK, IL 60527

Re: Account 250570.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 134.66. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



EST. 1960

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**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

WILLOWBROOK INN  
255 SHELLEY RD  
ELK GROVE VILLAGE, IL 60007

Re: Account 410295.002  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 7,693.80. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

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Director of Municipal Services



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**Chief of Police**

Mark Shelton

**Director of  
Finance**

Carrie Dittman

December 30, 2015

WILTON, MICHAEL  
6458 CAMBRIDGE RD  
WILLOWBROOK, IL 60527

Re: Account 251190.000  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 107.49. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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**Village Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

December 30, 2015

WORLDWIDE TRANSMISSION GROUP  
585 EXECUTIVE DR  
WILLOWBROOK, IL 60527

Re: Account 410210.004  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 715.60. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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December 30, 2015

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Paul Oggerino

**Village Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of Finance**

Carrie Dittman

ZENNER, RICHARD  
125 WATERFORD DR  
WILLOWBROOK, IL 60527

Re: Account 250850.001  
Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 164.32. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before January 25, 2016, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services



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# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

An Ordinance Amending Special Use Permit Authorized by Ordinance 86-O-28 to Allow a Reduction in the Dwell Time for a Digital Ground Sign Authorized Pursuant to Ordinance 14-O-24 which Authorized a Major Change to a PUD to Permit and Regulate a Digital Ground Sign—Willowbrook Centre PUD.  
15-106 W. 63<sup>rd</sup> Street

**AGENDA NO.**

7

**AGENDA DATE:** 1/25/16**STAFF REVIEW:** Jo Ellen Charlton, Planning Consultant**SIGNATURE:****LEGAL REVIEW:** Tom Bastian, Village Attorney**SIGNATURE:****RECOMMENDED BY:** Tim Halik, Village Administrator**SIGNATURE:****REVIEWED & APPROVED BY COMMITTEE:**YES NO N/A **ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)**

The original PUD, which includes the shopping center, the bank, and the vacant parcel north of the bank, was approved in 1986. An amendment to that PUD was authorized by Ordinance 14-O-24 to allow and regulate a new digital sign for the shopping center. One of the conditions of that approval was a "dwell time" that required each message be displayed for no less than 20 seconds before changing to the next message. This petition requests approval to reduce the dwell time to 8 seconds.

The requested amendment would only impact the shopping center parcel within the PUD.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)**

The Plan Commission conducted public hearings for this petition at their December 2, 2015 and January 13, 2016 meetings. The applicant submitted documentation in a 9 tab binder in support of his request at the December meeting and the Plan Commission continued the public hearing to January to provide staff an opportunity to review and comment on the information submitted. A copy of the binder is available in Village Hall for review.

Staff's summary of the information concluded that while the information provided by the applicant did reveal that there was no causal relationship between dwell times and crashes, the reports went on to state that just because there is no relationship doesn't mean digital signs don't cause distractions. Additional findings in the studies suggested that digital signs in "complex" driving environments such as the subject property are more problematic than on an open road, and that there appears to be some justification that motorist distraction increases when they can view more than two messages in one passing movement. Staff further commented that the State of Illinois and the City of Chicago both had done some research before settling on a 10 second dwell time.

The Plan Commission discussed the difference between 10 seconds and the requested 8 seconds and ultimately settled on the 8 seconds, noting that the formula provided in the testimony that suggests dwell time based on the distance the sign can be seen and travel speed supports the 8 seconds.

There were five of seven commissioners present at the January meeting. By a 5-0 vote of the members present, the Plan Commission voted to recommend approval of a reduction in the dwell time from 20 seconds to 8 seconds.

**ACTION PROPOSED:**

January 25, 2016: The attached ordinance has been prepared consistent with the Plan Commission's recommendation. The Village Board is also receiving this item on the same January 25, 2016 agenda.

ORDINANCE NO. 16-O-\_\_\_\_\_

AN ORDINANCE AMENDING SPECIAL USE PERMIT  
AUTHORIZED BY ORDINANCE 86-O-28  
TO ALLOW A REDUCTION IN THE DWELL TIME FOR A DIGITAL GROUND SIGN  
AUTHORIZED PURSUANT TO ORDINANCE 14-O-24  
WHICH AUTHORIZED A MAJOR CHANGE TO A PUD TO PERMIT AND REGULATE  
A DIGITAL GROUND SIGN  
WILLOWBROOK CENTRE PUD

---

WHEREAS, on or about October 19, 2015, David Froberg for Willowbrook Square Management Company, as applicant and authorized agent for the property owner known as Hinsbrook Bank and Trust TU/T #99-001, filed an application with the Village of Willowbrook with respect to the property legally described in Exhibit "A" attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY"); and

WHEREAS, pursuant to 9-13-4(C)6(a)(7) of the Willowbrook Zoning Ordinance, said application requested a Major Change to the PUD previously approved in Ordinance Number 86-O-28 to permit and regulate a digital ground sign in lieu of a monument sign; and

WHEREAS, due Notice of the required Public Hearing was published on or about November 13, 2015, in The Suburban Life, being a newspaper of general circulation within the Village of Willowbrook, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, on the 2<sup>nd</sup> day of December, 2015 and the 13<sup>th</sup> day of January 2016, the Plan Commission of the Village conducted a Public Hearing on said application, all in accordance with the

statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, the recommendation of the Plan Commission, was forwarded to the Mayor and Board of Trustees on January 14, 2016, said recommendation being attached hereto as Exhibit "B" and by this reference, incorporated herein; and,

WHEREAS, the Mayor and Board of Trustees now determine it would be in the best interest of the Village to grant the requested relief, subject to the terms and conditions established by this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Special Use Permit authorized by Ordinance 86-O-28 and amended by Ordinance 14-O-24 is hereby further amended to reduce the "Minimum Display Time" provided in Section Two, Paragraph 3 of Ordinance 14-O-24 from twenty (20) seconds to eight (8) seconds.

SECTION TWO: That the several terms and conditions contained in the special use authorized by Ordinance 86-O-28 and modified by Ordinance 14-O-24, to the extent not expressly modified by the terms and conditions of this Ordinance, remain in full force and effect as therein provided.

SECTION THREE: That the findings of fact attached hereto as Exhibit "C" are hereby adopted by the Mayor and Board of Trustees.

SECTION FOUR: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION FIVE: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 25<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF LOT 1 IN PLANNED UNIT DEVELOPMENT PLAT OF WILLOWBROOK SQUARE, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 5, 1986, AS DOCUMENT R86-138161 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 00 DEGREES 00 MINUTES 12 SECONDS WEST ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 217.37 FEET; THENCE NORTH 80 DEGREES 17 MINUTES 58 SECONDS EAST 391.29 FEET; THENCE SOUTH 79 DEGREES 34 MINUTES 07 SECONDS EAST 192.20 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 28 SECONDS WEST 229.86 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 89 DEGREES 58 MINUTES 19 SECONDS WEST ALONG SAID SOUTH LINE 204.32 FEET TO A BEND POINT; THENCE SOUTH 87 DEGREES 06 MINUTES 10 SECONDS WEST ALONG SAID SOUTH LINE A DISTANCE OF 370.83 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

PIN: 09-14-300-022

ADDRESS: 14-106 West 63<sup>rd</sup> Street, Willowbrook, Illinois

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION

M E M O R A N D U M

MEMO TO: Frank A. Trilla, Mayor  
Board of Trustees

MEMO FROM: Daniel Kopp, Chairman, Plan Commission

DATE: January 14, 2016

SUBJECT: Zoning Hearing Case 15-07: Willowbrook  
Square Management Company-Amendment to  
Planned Unit Development (PUD) to  
Reduce the "Dwell Time" for each  
Message on an Approved Digital Sign  
from 20 seconds to 8 seconds

At the regular meeting of the Plan Commission held on January 13, 2016, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Kaucky, seconded by Vice-Chairman Wagner that based on the submitted petition and testimony presented, I move that the Plan Commission accept and forward the findings of fact reviewed and discussed as part of PC 15-07 to the Village Board and recommend that the Village Board approve an amendment to the previously approved Planned Unit Development for the subject property to allow for a reduction in the dwell time for the digital sign from 20 seconds to 8 seconds.

ROLL CALL: AYES: Commissioners Lacayo, Soukup, Kaucky, Vice-Chairman Wagner and Chairman Kopp. NAYS: None.  
ABSENT: Commissioners Remkus and Ruffolo.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

EXHIBIT "C"  
FINDINGS OF FACT

Findings for Amendment to an Existing PUD  
Zoning Hearing Case 15-07

**Special Use Standards:**

1. The amendment to the special use to reduce dwell time on the digital sign from 20 seconds to 8 seconds...
  - a. ...will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
  - b. ...will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.
  - c. ...will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
2. Adequate utilities, access roads, drainage and/or other necessary facilities are provided on the property and not affected by the requested amendment.
3. Adequate ingress and egress is provided to the property and not affect by the requested amendment.
4. The only change requested is to reduce the dwell time on the digital sign, so the amendment will not have any effect on the property's conformance to all other applicable regulations of the district in which it is located
5. No application for special use has been considered within the last year.

**PLANNED DEVELOPMENT STANDARDS:**

1. The amendment to the planned unit development to reduce the dwell time from 20 seconds to 8 seconds is consistent with the intent and spirit of the planning goals and objectives of the village comprehensive plan.
2. The size of the property is greater than 2 acres and is not changing as a result of the requested amendment.
3. The proposed amendment does not impact permitted or special uses allowed in the center.
4. The proposed amendment does not affect stormwater management on the site.
5. The proposed amendment does not impact the spacing of buildings or setbacks from property lines on the site.

6. The proposed amendment does not impact existing parking on the site.
7. The proposed amendment does not impact the design of ingress or egress to the site.
8. The proposed amendment does not impact existing natural features on the site.
9. The proposed amendment does not require consideration or modification of any plat of subdivision.
10. The proposed amendment does not impact the type of uses allowed on the property.
11. Other than modifying the dwell time for a digital sign previously approved by Ordinance 14-O-24, no other changes to Village Codes are requested or authorized as part of this proposed amendment.

**PLANNED UNIT DEVELOPMENT FINDINGS:**

1. The proposed amendment is consistent with the purpose of PUD it allows for a departure from the rigid requirements of the Zoning Ordinance to allow visibility to an otherwise underperforming retail center so that its economic viability may be improved.
2. Other than modifying the dwell time for a digital sign previously approved by Ordinance 14-O-24, no other changes to the previously approved planned unit development are requested or authorized as part of this proposed amendment.
3. The previously approved amendment authorized by 14-O-24 deviates from the Village Zoning Ordinance because digital signs are not allowed. Ordinance 14-O-24 established conditions under which a digital sign would be allowed on the Subject Realty, including a minimum dwell time of 20 seconds. The only change requested or authorized is to reduce the dwell time from 20 seconds to 8 seconds.
4. The proposed amendment has no impact on public services, open space, light and air, or recreational and visual enjoyment.
5. The Village has received no complaints from surrounding property owners since the previously approved digital sign was installed in 2014. The proposed amendment does not change the location of the previously approved digital sign.
6. The proposed amendment has no impact on the physical development of the property or the tax base.
7. The proposed amendment conforms with the intent and spirit of the current planning objectives of the village.

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:** A RESOLUTION AUTHORIZING THE DESTRUCTION OF AUDIO OR VIDEO RECORDINGS OF CLOSED MEETINGS

**AGENDA NO.** 15

**AGENDA DATE:** 1/25/16

**STAFF REVIEW:** Cindy Stuchl

**SIGNATURE:** Cindy Stuchl

**LEGAL REVIEW:** Thomas Bastian

**SIGNATURE:** THOMAS BASTIAN TH

**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:** T. Bastian

**REVIEWED & APPROVED BY COMMITTEE:** YES  NO  N/A

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

Effective January 2004, the Illinois Open Meetings Act, Illinois Compiled Statutes required governmental bodies to audio or video record closed meetings. The Illinois Open Meetings Act permits the destruction of verbatim records of closed meetings without notification to or the approval of a records commission or the State Archivist under the Local Records Act or the State Records Act not less than 18 months after the completion of the meeting recorded. The destruction of these verbatim records are allowed after: 1) It (governmental body) approves the destruction of a particular recording; and 2) It (governmental body) approves written minutes of the closed meeting.

#### ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The Village Administrator and Deputy Clerk have reviewed the list of verbatim record by tape to be destroyed of the closed meetings itemized in the Resolution. It was determined that at least 18 months have passed since the completion of each of the closed meetings and the governmental body has approved the written minutes for each of the meetings set forth in Section Two of the Resolution. The Village Staff recommend the adoption of the Resolution authorizing the destruction of the verbatim record of the closed meetings pursuant to the Illinois Open Meetings Act as listed in Section Two of the Resolution.

**ACTION PROPOSED:** ADOPT THE RESOLUTION.

RESOLUTION NO. 16-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE DESTRUCTION OF  
AUDIO OR VIDEO RECORDINGS OF CLOSED MEETINGS

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WHEREAS, the Open Meetings Act requires governmental bodies to audio or video record their closed meetings; and

WHEREAS, this governmental body has complied with that requirement; and

WHEREAS, the Open Meetings Act permits governmental bodies to destroy the verbatim record of closed meetings without notification to or the approval of a records commission or the State Archivist under the Local Records Act or the State Records Act not less than eighteen (18) months after the completion of the meeting recorded, but only after:

1. It approves the destruction of a particular recording; and

2. It approves written minutes of the closed meeting; and

WHEREAS, for the verbatim record by audio tape of the meeting(s) set forth in Section Two of this Resolution, at least eighteen (18) months have passed since the completion of each of those meetings, and this governmental body has approved written minutes for each of the meetings set forth in Section Two; and

WHEREAS, this governmental body may order the destruction of the verbatim record even if it continues to

withhold the approved minutes of the closed meeting until some later period of time;

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The Whereas clauses set forth above are incorporated herein by reference as if set out in full.

SECTION TWO: The Mayor and Board of Trustees of the Village of Willowbrook hereby orders the destruction of the verbatim record being an audio tape of the following closed meetings:

2014

January 13  
January 27  
February 10  
February 24  
March 10  
March 17 - Budget Workshop  
March 24  
April 14  
April 28  
May 12  
May 27  
June 9

SECTION THREE: That all other prior Resolutions of the Village of Willowbrook in conflict with the provisions of this Resolution are hereby repealed.

SECTION FOUR: This Resolution shall be in full force and effect from and after its adoption and approval.

ADOPTED AND APPROVED this 25<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:** A RESOLUTION MAKING A DETERMINATION  
RELATIVE TO THE RELEASE OF EXECUTIVE SESSION MINUTES  
PURSUANT TO THE ILLINOIS OPEN MEETINGS ACT

**AGENDA NO.**

16

**AGENDA DATE:** 1/25/16

**STAFF REVIEW:** Cindy Stuchl

**SIGNATURE:** Cindy Stuchl

**LEGAL REVIEW:** Thomas Bastian

**SIGNATURE:** THOMAS BASTIAN TH.

**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:** TELLER

**REVIEWED & APPROVED BY COMMITTEE:** YES  NO  N/A

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

In compliance with the Illinois Open Meetings Act, Illinois Compiled Statutes requires that minutes of meetings closed to the public shall be available only after the public body determines that it is no longer necessary to protect the public interest or the privacy of an individual by keeping them confidential. Each public body shall review closed session minutes no less than semi-annually.

#### ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

The Village Administrator and Deputy Clerk have reviewed the closed session minutes itemized on Schedules A & B of the Resolution. The Village Staff recommend the adoption of the Resolution making a determination relative to the release of the closed session minutes pursuant to the Illinois Open Meetings Act as listed on the attached Schedules A & B.

**ACTION PROPOSED:** ADOPT THE RESOLUTION.

RESOLUTION NO. 16-R-\_\_\_\_\_

A RESOLUTION MAKING A DETERMINATION RELATIVE  
TO THE RELEASE OF EXECUTIVE SESSION MINUTES  
PURSUANT TO THE ILLINOIS OPEN MEETINGS ACT

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WHEREAS, the Mayor and Board of Trustees of the Village of Willowbrook have met from time to time in executive session for the purposes authorized by the Illinois Open Meetings Act; and

WHEREAS, as required by the Act, the Village Clerk has kept written minutes of all such executive sessions; and

WHEREAS, pursuant to the requirements of the Open Meetings Act, the Mayor and Board of Trustees have met in executive session to review all executive session minutes; and

WHEREAS, they have determined that a need for confidentiality still exists as to the executive session minutes from the meetings set forth on Schedule "A" attached hereto; and

WHEREAS, they have further determined that the minutes of the meetings listed on Schedule "B" attached hereto no longer require confidential treatment and should be made available for public inspection.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The Executive Session minutes from those meetings set forth on Schedule "B" attached hereto are hereby released for public inspection.

SECTION TWO: The Village Clerk is hereby authorized and directed to make said minutes available for inspection and copying in accordance with the standing procedures of the Clerk's office.

SECTION THREE: This Resolution shall be in full force and effect from and after its adoption and approval.

ADOPTED and APPROVED this 25<sup>th</sup> day of January, 2016.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

**SCHEDULE "A"**

**EXECUTIVE SESSION MINUTES  
FOR WHICH THE NEED FOR CONFIDENTIALITY STILL EXISTS**

**1991**

March 25  
August 12-Items 3 & 4

**1992**

February 24-Items 3 & 4  
April 27-Item 3  
June 8

**1996**

June 10  
June 24

**1998**

July 13-Item 6

**2002**

July 8-Item 4  
July 22  
August 12  
September 9  
November 11-Items 3 & 4  
November 25  
December 9

**2003**

January 13  
April 28-Items 3 & 4

**2004**

May 24  
June 14-Items 3 & 4

**2005**

June 13  
June 27-Items 3 & 4  
April 11

**2006**

January 23

**2007**

May 29  
July 9

**2008**

January 14  
January 28  
April 14  
May 12  
August 19  
September 8  
October 27  
November 10

**2009**

February 9  
February 23  
March 9  
May 26  
June 8  
June 22  
July 13  
July 27  
August 10  
August 24  
September 14  
November 19  
November 23  
December 14

**2010**

February 22  
April 26-Item 5  
June 28

**2011**

January 24  
May 9  
May 23  
June 13  
June 27  
July 11  
July 25  
September 12  
September 26  
November 14  
November 28  
December 12

**2012**

January 9  
March 12  
May 29  
June 11  
October 8

**2013**

February 25  
March 11  
March 25  
June 10

**2015**

May 11-Item 4  
June 8  
September 14

**SCHEDULE "B"**

**EXECUTIVE SESSION MINUTES  
WHICH NO LONGER REQUIRE CONFIDENTIAL TREATMENT  
AND ARE AVAILABLE FOR PUBLIC INSPECTION**

**2015**

January 26

May 11 – Item 3

September 28

MINUTES OF THE REGULAR MEETING OF THE BOARD OF POLICE COMMISSIONERS HELD ON NOVEMBER 20, 2015 AT THE VILLAGE POLICE DEPARTMENT BUILDING OF THE VILLAGE OF WILLOWBROOK, 7760 QUINCY STREET, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

The meeting was called to order by Chairman Schuler at the hour of 7:00 a.m.

2. ROLL CALL

Those present at roll call were Chairman William Schuler, Secretary Stephen Landsman, and Commissioner Joseph Heery. Also present were Village Administrator Tim Halik, Chief of Police Mark Shelton, and Executive Secretary Cindy Stuchl.

ABSENT: None.

A QUORUM WAS DECLARED

3. VISITORS' BUSINESS

None presented.

4. REVIEW AND APPROVE MINUTES

Minutes - Regular BOPC Meeting - October 16, 2015 (APPROVE)

MOTION: Made by Commissioner Heery, seconded by Secretary Landsman, to approve the October 16, 2015 minutes as presented.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

5. COMMUNICATIONS

There were no communications.

6. UNFINISHED BUSINESS

- a. DISCUSSION AND APPROVE TO SEND TO BOPC ATTORNEY FOR REVIEW - Board of Police Commissioners Rules and Regulations

Chairman Schuler pointed out that the qualification statement dealing with the applicant's history as a conscious objector identified for deletion at the last meeting should be restored

because this qualification exists in ILCS 65. Secretary Landsman suggested that we also add a standard clause to cover any unstated qualifications or disqualifications that exist in the state statute. Village Administrator Halik will request an opinion of BOPC Attorney John Broihier.

The Commissioners had an in depth discussion about the Departmental Merit and Efficiency percentages. Chairman Schuler is in favor of 10% for Merit and Efficiency and summarized documentation he had provided in support of 10%.

Chief Shelton stated that he strongly supports 20% for Merit and Efficiency which will allow him a better advantage to make sure the right qualified people are in the top three of the Promotional list. Secretary Landsman and Commissioner Heery stated that they feel it is more important to give the Chief of Police 20% for Merit and Efficiency to allow for his discretion.

Chairman Schuler requested a motion to approve the BOPC Rules and Regulations as it was presented subject to attorney's review. There was no motion made. Motion failed.

Secretary Landsman stated that the Promotional Examination weighting should be rated at 55% for the written exam, 25% for Oral Interview/Assessment Center, and 20% for Departmental Merit and Efficiency.

MOTION: Made by Secretary Landsman, seconded by Commissioner Heery, to adopt the draft BOPC Rules and Regulations as amended subject to final review by BOPC Attorney John Broihier.

ROLL CALL VOTE: AYES: Secretary Landsman and Commissioner Heery.  
NAYS: Chairman Schuler. ABSENT: None.

MOTION DECLARED CARRIED

## 7. NEW BUSINESS

### a. Update - Academy Recruits

Chief Shelton advised that the current recruits are scheduled to graduate from the academy on December 17<sup>th</sup>. They have both tested in the upper 90% in all tests.

The next potential hire, if all background tests return positive, would begin at the academy on January 12, 2016.

b. Certificate of Appointment

Administrator Halik related that he had received an email from Chairman Schuler regarding verbiage in the state statute that refers to the BOPC Chairman and Secretary signing the approval of appointment of patrol officers. Chairman Schuler had stated that they have not been signing any certificates or commission cards.

Administrator Halik advised that the Village had changed Village employee identification cards that have preprinted state statute verbiage on the back side of patrol officer ids that do not contain the BOPC signatures.

Administrator Halik requested if the BOPC wished to restart signing commission cards or change to a paper certificate. Chairman Schuler requested that Attorney Broihier be contacted to confirm if an actual signed certificate needs to be completed.

8. ADJOURNMENT

MOTION: Made by Commissioner Heery, seconded by Secretary Landsman, to adjourn the meeting at the hour of 7:54 a.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

December 18, 2015

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Chairman

Minutes transcribed by Executive Secretary Cindy Stuchl.

MINUTES OF THE REGULAR FINANCE AND ADMINISTRATION COMMITTEE MEETING OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, NOVEMBER 9, 2015 AT 6:00 P.M. AT THE VILLAGE POLICE STATION BUILDING, 7760 QUINCY STREET, WILLOWBROOK, ILLINOIS.

**1. CALL TO ORDER**

The meeting was called to order by Chairman Umberto Davi at 6:00 p.m.

**2. ROLL CALL**

Those present at roll call were Chairman Umberto Davi, Trustee Gayle Neal and Director of Finance Carrie Dittman.

**3. APPROVAL OF MINUTES**

Minutes of the Regular Finance/Administration Committee held on Monday, October 12, 2015 were reviewed.

Motion to approve made by Trustee Davi, seconded by Neal. Motion carried.

**4. DISCUSSION - Special Recreation Tax Levy**

Director of Finance Dittman reported that one component of the Village's budget process is determining funding needs for the Park & Recreation Department's special recreation programming. Since FY 2006, the Board has levied a special property tax for funding ADA accessible projects and programs. The property tax effect on a homeowner with a home valued at \$300,000 is about \$18.90 in property taxes paid annually to the Village. The Village staff has requested \$74,620 for the 2015 tax levy (payable next June - Sept) as follows: Gateway SRA membership - \$37,045; Village staff costs - \$5,400; ADA accommodations (includes 1 on 1 aide, special recreation fishing day, handicapped toilet and playground mulch in the ADA playground)- \$11,175; and ADA improvements on the CRC building - \$21,000. This represents a \$1,439 increase (1.97%) over the 2014 levy. The committee recommended that the special recreation tax levy request proceed to the next Village board meeting to be voted on.

**5. REPORT - Monthly Disbursement Reports - October 2015**

The Committee reviewed and accepted the disbursement reports for the month of October and key items are highlighted below:

- Total cash outlay for all Village funds - \$1,417,022. This includes a check to Era Valdivia for \$368,200 for the water tank painting.
- Payroll for active employees including all funds - \$489,679 (3 payrolls this month). The change from the prior fiscal year is a cumulative 13.6% increase, due in part to the separation payouts in August & October to 2 retiring police officers.
- Ave. daily outlay of cash for all Village funds - \$45,710. Fiscal year to date daily average is \$38,349.
- Ave. daily expenditures for the General Fund - \$22,217. Fiscal year to date average is \$23,111.

**6. REPORT - Sales Tax, Income Tax, Utility Tax, Places of Eating Tax, Fines, Red Light Fines, Building Permits, Water Revenues,**

## Hotel/Motel Tax and Motor Fuel Tax

All revenues are fiscal year to date collections through October 31, 2015

- Sales tax receipts - \$1,806,271 down 0.92% from the prior year. Trending 1.3% over budget.
- Income Tax receipts - \$495,123 up 15.27% compared to the prior year, 52.0% over budget.
- Utility tax receipts - \$474,131 down 7.12% from the prior year, 9.5% under budget, consisting of:
  - Telecomm tax - \$212,087, down 1.42%.
  - Northern IL gas - \$40,453, down 46.17%
  - ComEd - \$223,088, up 0.62%

Director Dittman pointed out that 3 new graphs have been added at the request of Trustee Neal to show the trends of each revenue source for the past 5 fiscal years. Trustee Neal has been looking into the reasons why the gas receipts have dropped so sharply this year. Her research showed that while average daily temperatures over the heavy winter usage period have not varied dramatically, the usage rate charged by Nicor to its customers sharply decreased this fiscal year (about half of last year's rate in several months). The decrease in user fees equates to a decrease in the tax charged on those user fees which is then remitted to the Village.

- Places of Eating Tax receipts - \$266,910 up 5.37% compared to the prior year, trending 14.5% over budget.
- Fines - \$74,815 down 18.43% compared with the prior year, 3.99% under budget. Fines come from County distributions and also local fine tickets written by Village police officers.
- Red Light Fines - \$125,209 down 63.43% from the prior year receipts, trending 57.8% below budget. Director Dittman reported that Chief Shelton had informed her that the cameras at 75<sup>th</sup> Street and Midway Drive were back in service as of September 27. The 63<sup>rd</sup> Street cameras went down on May 22 and were expected back up on October 31 but are not yet operational (about 23 weeks out of service).
- Building Permit receipts - \$237,300 up 89.46% from the prior year, trending at 236.07% above budget.
- Water sales receipts - \$1,688,664 up 14.72% from the prior year, 3.72% above budget, attributable in part to the 12% rate increase effective 1/1/2015. Director Dittman noted that a rate increase does not necessarily equate to the same % increase in revenue as customers increase their water conservation when rates go up.
- Hotel/Motel Tax receipts - \$113,859 up 298.61% compared with the prior year, 7.6% below budget. The June 1 rate increase to 5% is now apparent beginning with the June tax payments received in July.

- Motor Fuel Tax receipts - \$50,616 down 72.01% compared with the prior year, 61.0% under budget. The Village has not received payments since July due to the lack of a State of IL budget, and they will not remit future payments until their budget is passed. If the state does not make any additional payments this fiscal year, we will only reach about 25% of our budget for this revenue source.

The reports above were approved by Trustee Neal and Chairman Davi.

**7. VISITOR'S BUSINESS**

There were no visitors present at the meeting.

**8. COMMUNICATIONS**

There were no communications received.

**9. ADJOURNMENT**

Motion to adjourn at 6:26 p.m. was made by Chairman Davi.

(Minutes transcribed by: Carrie Dittman, 12/2/2015)

MINUTES OF THE SPECIAL MEETING OF THE HOTEL/MOTEL TAX ADVISORY COMMITTEE OF THE VILLAGE OF WILLOWBROOK HELD ON WEDNESDAY, NOVEMBER 4, 2015, AT THE VILLAGE POLICE STATION BUILDING, AT THE VILLAGE HALL, 7760 SO. QUINCY STREET, IN THE VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

Trustee Gayle Neal called the meeting to order at 4:03 p.m.

2. ROLL CALL

Those present were Trustee Gayle Neal, Member Roswita Korpas (LaQuinta Inn), Trustee Sue Berglund, Village Administrator Tim Halik, Director of Finance Carrie Dittman, Beth Marchetti, DuPage Convention and Visitors Bureau and Recording Secretary Janet Kufrin.

ABSENT: Member Alan Gagnon (Red Roof Inn), Member Rashmi Patel (Econo Lodge), Member Jaimin Shah (WB Inn) Frank Fishella Willowbrook/Burr Ridge Chamber of Commerce, Member.

Mayor Frank Trilla entered the meeting at 4:08 p.m.

3. MINUTES - January 28, 2015

The Committee deferred approving the minutes of the January 28, 2015 until the next meeting.

4. MONTHLY FINANCIAL REPORT - September 30, 2015

Director Dittman presented the Monthly Financial Report for the period ending September 30, 2015. Director Dittman reviewed the balance sheet items. Director Dittman stated tax revenues received for the month were \$23,430.13 and revenues year to date were \$91,400.62 compared to budget of \$210,000. Director Dittman reminded the Committee effective June 1 the tax rate went from 1% to 5%. Director Dittman also reviewed the expenditures for the month noting there were none for September but year to date expenditures were \$23,305.75 compared to budget of \$82,825.00.

Administrator Halik discussed the Willowbrook Mobile App expenditure. Administrator Halik advised the prototype for the Willowbrook Mobile Phone App is done and the App should be live by the end of November. Ms. Marchetti asked how the Village plans to promote the App. Mr. Halik stated the Village will release a press release and place it on the Village's website. Ms. Marchetti offered to send out an e-blast about the Mobile App and she will place the Mobile App on the Hotels' website. The Committee suggested the hotels add the Mobile App to their in room directories, along with looking into the possibility of adding a table tent to each room advertising the App.

The Committee accepted the Monthly Financial Report as presented for September 30, 2015.

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Hotel/Motel Minutes  
November 4, 2015

5. DISCUSSION - WB/BR Chamber of Commerce Request for Funding FY 16/17

Administrator Halik presented the letter dated October 1, 2015, from Joseph Stastny, Treasurer of the WB/BR Chamber of Commerce. The Chamber is requesting funding for the Community Directory (Buyers

Guide) in the amount of \$3,000 and for the Business Expo in the amount of \$2,500 which are the same amounts as last year's request. The Business Expo will be held in June 2016 at Ashton Place. The \$5,500 for the Chamber's request for Fiscal Year 16/17 will be included in the Village's budget process.

6. MARKETING REPORT

Ms. Beth Marchetti stated she will be forwarding the Marketing Reports to Village staff for distribution.

7. UPDATE ADVERTISING PROGRAM - FY 2015/16

Ms. Marchetti presented the art work for the billboard on I-55. Ms. Marchetti also presented the Darien Sportplex ads. Ms. Marchetti indicated there will be 2 different types of banner ads, along with one dashboard ad. Ms. Marchetti stated this will help encourage tournament participants to stay locally, instead of traveling any further. Ms. Marchetti talked about the Shop DuPage County Ad campaign. Ms. Marchetti indicated the campaign is geared towards the lower sales tax rate in the DuPage County, compared to the higher sales tax rate in Cook County. Ms. Marchetti reminded the Committee of the recent 1% sales tax rate increase in Cook County.

The Committee inquired as to why the Illinois Route 66 brochure still has the Holiday Inn listed. Ms. Marchetti stated this isn't a DuPage Convention and Visitors Bureau piece. However, Ms. Marchetti offered to reach out to Mr. Bill Kelly from Route 66 bi-ways and let him know to change the hotel to the Willowbrook Inn.

Ms. Marchetti presented the new concept ad for the Willowbrook/Burr Ridge Chamber of Commerce directory. Ms. Marchetti stated the new ad concept is getting away from featuring Route 66 and instead targeting business travelers. The Committee reviewed the new ad concept. The Committee requested Village Staff to look into a possible partnership with Willowbrook Town Center and local restaurants and create a dining package. Also, the Committee discussed the possibility of offering a shuttle service from the hotels to local Willowbrook restaurants. Ms. Marchetti suggested the Village talk to other towns that currently have a shuttle service to see how their program works. Ms. Marchetti stated it's a great idea: however, it must be a positive experience.

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Hotel/Motel Minutes  
November 4, 2015

8. DISCUSSION GRANT PILOT PROGRAM

Ms. Marchetti distributed communication form the Illinois of Commerce/Office of Tourism is authorized to make grants, subject to appropriation by the General Assembly, from the Tourism Promotion Fund to a unit of local government, municipal convention center, or convention center authority that provided incentives for the purposes of attracting conventions, meetings, and trade shows to municipal convention centers and attracting sporting events to municipal amateur sports facilities. These are currently for municipal-owned sports facilities and do not include privately owned facilities.

Ms. Marchetti also discussed the new DuPage Convention & Visitors Bureau/DuPage Municipal Grant Pilot Program. The DuPage CVB will award incentives to groups by way of financial grants from municipalities. The pilot program was created to help communities and

hotel partners bring new meetings, conferences and sports group business to member hotel properties, thereby increasing hotel tax collections and having a positive economic impact to both the hotel/motel and the Village. Funds contributed by the municipality to the DuPage CVB will be placed in a restricted incentive account, along with the CVB contribution. The funds would be offered to the business booking the rooms during negotiations to have them host their event in town, and would only be paid after the rooms were rented and paid for, after the conclusion of the group's meeting or event. Again, this must be new business for DuPage County, with a minimum commitment of 150 room nights total to be considered for the program.

The Village agreed to fund up to \$5,000 for the DuPage Convention & Visitors Bureau/DuPage Municipal Grant Pilot Program from our current budget, and include funding for this item in our next Fiscal Year 16/17 budget process.

9. ADJOURNMENT

The Committee adjourned the meeting at 5:10 p.m.

The next special meeting of the Hotel/Motel Tax Advisory Committee will be Wednesday, December 2, 2015 at 4:00 p.m.

Minutes transcribed by Janet Kufrin

MINUTES OF THE REGULAR MEETING OF THE MUNICIPAL SERVICES  
COMMITTEE OF THE VILLAGE OF WILLOWBROOK HELD ON  
MONDAY, NOVEMBER 9, 2015 AT THE WILLOWBROOK POLICE  
STATION BUILDING, 7760 QUINCY STREET, IN THE VILLAGE OF  
WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

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1. CALL TO ORDER

Chairman Mistele called the meeting to order at 6:00 PM.

2. ROLL CALL

Those present at roll call were Chairman Michael Mistele, Trustee Paul Oggerino, and Village Administrator Tim Halik.

3. APPROVAL OF MINUTES

- a) After review of the draft minutes from the October 12, 2015 Regular Meeting of the Municipal Services Committee, Trustee Oggerino made a motion to approve the minutes as presented. Chairman Mistele seconded the motion. Motion carried.

4. REPORT – Proposed Water Main Replacement Project, Ridgemoor West Subdivision

Administrator Halik advised the committee that recently, public works crews responded to a water main break located near the intersection of Willow Lane and Stough Street. The water main in this area is among the oldest mains in town. Upon excavation, the water main pipe was found to be in severely deteriorated condition. This is relatively common for older water mains if they are buried in corrosive type soils. This section of main was in such poor condition that repair was difficult and another break was caused nearby by merely stressing the ground with heavy equipment for the first dig. As a result of this incident, staff has considered a partial water main replacement project for this area and has solicited several proposals based on several different replacement scenarios. Halik summarized three different options to repair this main. The first including the replacement of the immediate area of deteriorated main at an estimated cost of \$8,000. The second option would consist of replacing the entire length of main to the next valve, at an estimated cost of \$26,760. The third option would be to re-route the water main and abandon this deteriorated section. Halik explained that the third option is possible given there are redundant water mains along both sides of the street. Halik further stated that he had reviewed this third option with the Village engineer to determine whether this plan would have any negative hydraulic effect. The engineer reviewed the proposal and did not have any concerns. Halik recommended that the section of main be monitored over the winter and the third option be budgeted for in FY 2106/17 and completed after May 1, 2016. The Committee was in agreement and further stated that if the section of main experienced another break before May of 2016, crews should just perform this work at that time. Halik agreed.

5. REPORT – Plumbing Ordinance Approval by the Illinois Department of Public Health (IDPH)

Administrator Halik advised the Committee that in March of this year, the Village received a letter from the Illinois Department of Natural Resources (IDNR) advising us of changes to the Lake Michigan Allocation Rules and Regulations. These new regulations became effective on November 18, 2014 and require that the Village adopt two (2) new provisions within our

plumbing code. The first is to add a provision requiring that new and replacement plumbing fixtures be labeled WaterSense products. The second to adopt water conservation requirements that restrict non-essential outside water use. These changes were to be made to our plumbing ordinance by September 30, 2015. Halik explained that the Village's plumbing code is an adoption of the Illinois State Plumbing Code minimum standards with several local amendments to make areas of the code more restrictive, such as in the area of protection from potable water contamination (i.e., backflow prevention). Any amendments to the ISPC first requires approval from the Illinois Department of Public Health. There is a pre-approval process that must be followed before a plumbing ordinance can be adopted locally. Halik advised that the Village submitted our proposed plumbing ordinance changes, including the IDNR required items, in August but soon after learned that the IDPH staff's interpretations of the Illinois Plumbing License Law has changed. They will no longer allow local amendments, such as our increased backflow prevention requirements, and will not allow local enforcement of plumbing regulations outside of an issued construction permit. Halik stated that these are substantial changes from the manner in which they have always viewed and enforced the statute. Staff regards these new positions by the IDPH as an overreach, as they are not derived from the language in the current statute, and unacceptable to the community. As such we have requested a compliance deadline extension from the IDNR while DMMC and some of our state elected officials we've reached out to try to engage the IDPH to reconsider their new positions relative to the local adoption of plumbing code requirements. The IDNR was well aware of the issues towns are experiencing with the IDPH and granted an extension to 12/31/15 to comply with their items. The Committee agreed with staff's position and urged that continued efforts be taken to oppose the IDPH stance in this matter. With regard to the IDNR required items, Chairman Mistele asked whether WaterSense fixtures are U.L. listed. Halik responded that he would find out.

6. REPORT – Municipal Services Department

- a. Administrator Halik reviewed the monthly permit activity report for the month of October 2015. The Village has taken in just over \$24,000 in permit revenue for the month. Halik advised that in total for the first six months of fiscal year 2015/16, the Village has received approximately 118% of the anticipated FY2015/16 budgeted revenue.
- b. Administrator Halik shared the water system pumpage report for September 2015. The report indicates that the Village pumped 32,623,000 gallons of water in the month, bringing the total amount pumped for the first five months of the fiscal year to 161,081,000 gallons. Halik stated that we have pumped about 1% more water so far this year as compared to the same time frame last year. Halik shared that we are on track so far in reaching our estimated pumpage projection for the year of 350,000,000 gallons.

7. VISITOR'S BUSINESS

(None)

8. COMMUNICATIONS

(None)

9. ADJOURNMENT

Motion to adjourn was made by Chairman Mistele and seconded by Trustee Oggerino. The meeting was adjourned at 6:22 PM.

(Minutes transcribed by: Tim Halik, 1/7/16)

MINUTES OF THE REGULAR MEETING OF THE PARKS AND RECREATION COMMISSION  
HELD ON TUESDAY, DECEMBER 1, 2015, AT THE VILLAGE HALL, 835 MIDWAY DRIVE,  
WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

Chairman Cobb called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at roll call were Chairman Richard Cobb, Commissioners Lorraine Grimsby, Ron Kanaverskis, Laurie Landsman, Carol Lazarski, Robert Pionke, Rene Schuurman, and Doug Stetina.

ABSENT: None.

Also present were Temporary Interim Superintendent of Parks and Recreation John Fenske and Village Trustee Sue Berglund.

A QUORUM WAS DECLARED

3. APPROVAL OF MINUTES – NOVEMBER 3, 2015

The Commission reviewed the November 3, 2015 minutes.

MOTION: A Motion was made by Commissioner Landsman and seconded by Commissioner Schuurman to approve the November 3, 2015 minutes as presented.

ROLL CALL VOTE: AYES: Chairman Cobb, Commissioners Grimsby, Kanaverskis, Landsman, Lazarski, Pionke, Schuurman, and Stetina. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

4. DISCUSSION – SPECIAL EVENT UPDATES/PLANNING

a. Children's Holiday Party – December 13, 2015

Interim Superintendent Fenske advised that as of the current date, there are 29 children signed up for the party. The event was posted on the Village's website. Postcards were mailed to all residents during the week. Interim Superintendent Fenske stated that banners were placed by Willow Pond and Prairie Trail Park.

Interim Superintendent Fenske advised that he has confirmed the room reservation with Hinsdale South High School and the entertainment. He stated that a school chorus group will be performing and the National Honor Society of Hinsdale South will also have 7 or 8 kids volunteering to help with the event.

Interim Superintendent Fenske related that 7-11 will be donating coffee, pastries, and pizza. Walgreen's will again be taking pictures and Tommy R's will be providing food.

b. 2016 5K Fun Run

Commissioner Schuurman stated that he had met with Mayor Trilla and Administrator Halik. The Mayor advised that he would like to make this run a bigger event. Suggestions were made to include a town fair to give citizens an incentive to stay longer.

Commissioner Schuurman advised that it was decided to hold the race on Sunday, May 1, 2016. He stated that there are no other major races occurring in the area on this date. Commissioner Schuurman related that he had contacted Race Time, which was the company that was used during last year's race for timing and website registration. A proposal has been given to Administrator Halik for approval.

Commissioner Schuurman related that letters will be sent to the local businesses to request sponsorships. Commissioner Schuurman advised that a decision needs to be made on what charities can benefit from the proceeds of the race. Commissioner Pionke stated that Kiwanis and Gower PTO were the targeted charities to receive any profits in 2015. However, there were no profits last year. Commissioner Schuurman suggested that profits should go to Gower PTO for the renovation of their courtyard area and also to the Children's Organ Transplant Association (COTA). One of the Village's employees has a sick child that will be undergoing a kidney transplant in the near future and will be benefited by COTA. Consensus of the Commission was for both of these charities.

Commissioner Schuurman also stated that a new name for the race needs to be decided. Suggestion was made for "Willowbrook Spring Fling". Consensus of the Commission agreed.

5. DISCUSSION – Community Resource Center (CRC) Design

Chairman Cobb advised that he has no changes to the proposal that was presented to the Commission. Interim Superintendent Fenske advised that the discussion tonight is to agree on the conceptual design of the CRC. Discussion for the schematics and design will occur during the next phase of the development. The consensus of the Commission was to agree with the conceptual plan as presented.

6. VISITORS' BUSINESS

There was no Visitors' Business.

7. COMMUNICATIONS

There were no Communications.

8. ADJOURNMENT

MOTION: Made by Commissioner Stetina, seconded by Commissioner Lazarski to adjourn the meeting at the hour of 7:52 p.m.

ROLL CALL VOTE: AYES: Chairman Cobb, Commissioners Grimsby, Kanaverskis, Landsman, Lazarski, Pionke, Schuurman, and Stetina. NAYS: None. ABSENT: None.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

January 5, 2016

\_\_\_\_\_  
Chairman

Minutes transcribed by Executive Secretary Cindy Stuchl.

**MINUTES OF THE REGULAR MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, DECEMBER 2, 2015, AT THE VILLAGE POLICE STATION BUILDING, 7760 QUINCY STREET, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS.**

**1. CALL TO ORDER**

Chairman Kopp called the meeting to order at the hour of 7:00 p.m.

**2. ROLL CALL**

Those present at roll call were Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp. Also present were Village Planner Jo Ellen Charlton, Building Inspector Roy Giuntoli, Secretary Joanne Prible and Administrative Intern Tiffany Kolodziej.

**3. OMNIBUS VOTE AGENDA**

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Regular Meeting November 4, 2015 (APPROVE)
- C. Minutes – Village Board Meeting October 12 and October 26, 2015

**MOTION:** Made by Commissioner Remkus seconded by Commissioner Lacayo, to approve the Omnibus Vote Agenda.

**MOTION DECLARED CARRIED**

Chairman Kopp stated that the next item on the agenda is a discussion and consideration of a motion on Public Hearing 15-06 and stated that Vice-Chairman Wagner will preside over the Public Hearing. Chairman Kopp recused himself.

- 4. PLAN COMMISSION OLD BUSINESS: Zoning Hearing Case 15-06: (ROC Willowbrook LLC – 7501-7601 Quincy) Consideration of a motion to approve a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD. (Remanded by Village Board on November 23, 2016)**

**A. DISCUSSION AND CONSIDERATION OF A MOTION**

**See Court Reporter Minutes**

**MOTION:** Made by Commissioner Remkus, seconded by Commissioner Lacayo that based on the submitted petition and testimony presented, I move that the Plan

Commission forward its findings for special use and planned unit development referenced in the staff report for PC 15-06 prepared for the December 2, 2015 meeting and recommend to the Village Board approval of the relief associated with PC 15-06 including a preliminary and final plat of subdivision, approval of a special use for a preliminary and final planned unit development, including exceptions outlined in exhibit 2 of the December 2, 2015 staff report, and other relief as may be necessary to accommodate proposed project, subject to the following conditions:

1. That the approval be in substantial compliance with the list of documents approved for PC 15-06 on December 2, 2015 meeting for PC 15-06, except as modified or required by all required changes or proposed conditions of approval identified in sections 2 and 3 respectively of the staff report for PC 15-06 except that Required Change Number 1 in Section 2 will not require a shade tree in the one island that contains a light pole, and except as may be required for compliance with the requirements of the village engineer or the building inspector as part of the building permit review process.

2. Compliance at all times with the conditions of approval identified in Section 3 of the December 2, 2015 staff report for PC 15-06, except as discussed at the meeting, which is as follows:

a. Condition Number 5 shall be revised to identify 53 instead of 29 parking spaces in Lot 2, and eliminate the words “only as long as the use on Lot 1 is for self-storage”.

b. Condition Number 6 shall be revised to require the 10” pre-cast panels with painted reveal accent stripes only on the west elevation of Building A and only on the west and south elevations of Building B, which are the elevations visible to Quincy and Executive Drive.

c. Condition Number 18 is removed as it was a run-on error in the staff report.

ROLL CALL: AYES: Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, and Vice-Chairman Wagner; RECUSED: Chairman Kopp. NAYS: None.

MOTION DECLARED CARRIED

Chairman Kopp continued the Plan Commission Meeting.

5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-07: (David Froberg – Willowbrook Square Management Co. – 6262 S. Route 83) Amendment to PUD to reduce the “dwell time” on approved digital sign for each message from 20 seconds to 8 seconds.

A. PUBLIC HEARING

B. DISCUSSION

See Court Reporter Minutes

**MOTION:** Made by Vice-Chairman Wagner, seconded by Commissioner Remkus to continue discussion and deliberation of PC 15-07 to the January 13, 2016 meeting.

**ROLL CALL: AYES:** Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp. **NAYS:** None.

MOTION DECLARED CARRIED

6. **PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 15-08:** (The Willows PUD – Pete’s Fresh Market) Petition requesting a special use for a Planned Unit Development (PUD) that allows the reuse of part of the existing vacated K-Mart building as a multi-tenant building and construction of a new multi-tenant commercial building, including on-site improvements and offsite improvements to both Plainfield Road and Route 83.

- A. PUBLIC HEARING  
B. DISCUSSION

**MOTION:** Made by Commissioner Lacayo, seconded by Commissioner Soukup to continue discussion and deliberation of PC 15-08 to the January 13, 2016 meeting.

**ROLL CALL: AYES:** Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp. **NAYS:** None.

MOTION DECLARED CARRIED

7. VISITOR’S BUSINESS

None.

8. COMMUNICATIONS

None.

9. ADJOURNMENT

**MOTION:** Made by Commissioner Soukup, seconded by Commissioner Lacayo, to adjourn the regular meeting of the Plan Commission at the hour of 10:30 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

January 13, 2016

Minutes transcribed by Joanne Prible.

  
\_\_\_\_\_  
Chairman

MINUTES OF THE MEETING OF THE BOARD OF TRUSTEES OF THE POLICE PENSION FUND OF THE VILLAGE OF WILLOWBROOK HELD ON WEDNESDAY, OCTOBER 14, 2015, AT THE VILLAGE HALL, 7760 QUINCY STREET, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

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1. CALL TO ORDER

The meeting was called to order at the hour of 3:01 p.m. by President Umberto Davi.

2. ROLL CALL

Those present at roll call were President Davi, Trustees Carrie Dittman, Scott Eisenbeis, and Joseph Pec. Also present: Terese Krafchek and Bob DeMeulenaere of MB Financial.

ABSENT: Trustee Timothy Kobler.

3. APPROVAL - MINUTES OF THE REGULAR MEETING - July 8, 2015

The Board reviewed the minutes from the July 8, 2015 meeting.

MOTION: Made by Trustee Pec, seconded by Trustee Dittman to approve the minutes of the regular meeting of the Police Pension Fund Board of Trustees held on July 8, 2015.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

4. APPROVAL - APPLICATION FOR MEMBERSHIP INTO THE WILLOWBROOK POLICE PENSION FUND

The Board reviewed two applications for membership into the Willowbrook Police Pension Fund as Tier II employees by new officers Daniel Herrera and Othello Rosal.

Trustee Pec asked if the Village of Willowbrook pays for pre-employment medical exams and if the Pension Board has access to review the medical exams prior to approving them into the Pension Fund.

President Davi advised that the Village of Willowbrook does pay for pre-employment medical exams as part of the hiring process and the results are placed in their personnel file. The Pension

Board would have to request from the Chief of Police a copy of the medical record, if any medical issues arise in the future.

After a brief discussion, the following motion was made:

MOTION: Made by Trustee Pec, seconded by Trustee Dittman to approve membership into the Willowbrook Police Pension Fund as Tier II employees for Officers Daniel Herrera and Othello Rosal.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

5. APPROVAL - APPLICATIONS FOR RETIREMENT BENEFITS FOR OFFICERS JOHN SKIBA AND MARK LONG

At the last Pension Board meeting on July 8, 2015, Trustee Dittman provided a memo to the Pension Board regarding Officer John Skiba's Pension Application. She read the following for the record:

*Enclosed for your review is an application for regular retirement benefits submitted by Patrolman John Skiba. As noted on the paperwork, Patrolman Skiba's retirement date (last day of work) is August 13, 2015 and his retirement pension will begin on February 1, 2016, when he attains the age of 50. He will have earned 24 years, 1 month, and 4 days of service (net of 190 unpaid break days) credited at that time granting him 60.00% of his current salary plus longevity of \$91,142.10. This calculates to an annual pension amount of \$54,685.26 (\$4,557.11 monthly).*

*He will be eligible for his first increase on 3/1/2021, the month following his attainment of age 55.*

*As required under state statute, as the Pension Fund Treasurer, I have attached Patrolman Skiba's pension calculation.*

At the July meeting, this item was tabled until the October meeting due to Officer Skiba's last day of work being August 13, 2015. Officer Skiba's pension will begin on February 1, 2016, when he reaches the age of 50.

After a brief discussion, the following motion was made:

MOTION: Made by Trustee Dittman, seconded by Trustee Pec to approve the retirement benefits for Officer John Skiba beginning February 1, 2016, when he attains the eligible age of 50.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

Trustee Dittman read a memo to the Pension Board regarding Officer Mark Long's Pension Application. She read the following for the record:

*Enclosed for your review is an application for regular retirement benefits submitted by Patrolman Mark Long. As noted on the paperwork, Patrolman Long's retirement date (last day of work) is October 7, 2015 and his retirement pension will begin on October 8, 2015. He will have earned 30 years, 0 month, and 1 day of service credit granting him 75.00% of his current salary plus longevity of \$91,142.10. This calculates to an annual pension amount of \$68,356.58 (\$5,696.38 monthly).*

*He will be eligible for his first increase on 11/1/2016, the month following one year of retirement.*

*As required under state statute, as the Pension Fund Treasurer, I have attached Patrolman Long's pension calculation.*

After a brief discussion, the following motion was made:

MOTION: Made by Trustee Dittman, seconded by Trustee Eisenbeis to approve the retirement benefits for Officer Mark Long beginning October 8, 2015.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

\* TRUSTEE KOBLER JOINED THE MEETING AT 3:22 P.M.

6. EXPENSES INCURRED JULY 2015 THRU SEPTEMBER 2015

Trustee Dittman reviewed the expenses incurred June 2015 thru September 2015. She noted that the report includes monthly pension benefit payouts of \$57,637.13, widow's benefit of \$3,209.37, and a disability benefit of \$4,446.08. Legal fees for Atwell & Atwell were \$200.00, IPPFA conference registration fees of \$975.00, and the quarterly fee for MB Financial was \$8,361.11.

After Trustee Dittman reviewed the expenses, the following motion was made:

MOTION: Made by Trustee Pec, seconded by Trustee Kobler, to approve the expenses incurred for July 2015 through September 2015.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

7. APPROVAL - INVESTMENTS MADE JULY THRU SEPTEMBER 2015 -  
Quarterly Investment Report - MB FINANCIAL BANK

Terese Krafchek, a representative of MB Financial Bank, reported that the total fund value is at \$18,281,410.00. She summarized the portfolio allocations are targeted at 50% in equities and remains at 50%; however it was down at 43.57 in the fixed income portion of the fund vs the targeted amount of 44%. Alternative strategies were 4.83% vs. our targeted amount of 5%.

Total fund performance for the quarter is down -4.12% vs. the benchmark at -3.72%. The 5-year returns came in at 6.46% vs. the benchmark of 6.26%. Although the quarter was down a bit, the housing market is the highest it's been in 7 years for sales.

The Account Activity summary for the quarter was a loss of \$904,873.00. There was one withdrawal for the MB Financial fee of \$8,003.00. The Market Value began the quarter at \$19,075,335.00 but with withdrawals and losses the fund stands at \$18,281,410.00.

Mr. Meulenaere advised that at the end of September, due to poor performance during the quarter, the Bank of America Foreign and High Yield bonds were switched to Goldman Sachs Group bonds.

After a discussion by the Board, the following motion was made:

MOTION: Made by Trustee Kobler, seconded by Trustee Eisenbeis to approve MB Financial's Quarterly report.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

8. REPORT - 2015 AUDITED FINANCIAL STATEMENTS

Trustee Dittman presented the final Willowbrook Police Pension financial statements from the April 30, 2015 audit, which was approved at the October 12, 2015 Village board meeting. The Village (including the Police Pension Fund) received an unqualified or "clean" opinion, as a result of the audit.

The Village's independent auditors had no comments or suggestions for improvement for the Police Pension Fund relating to the April 30, 2015 annual audit.

The new GASB 67 Statement went into effect this fiscal year, which affects the Police Pension Fund and dramatically lengthened the amount of disclosures that the Pension Fund has to provide. Since the Police Pension Fund doesn't issue its own financial statements, these are included in the Village's financial statements. Trustee Dittman reviewed the report for the Board.

The 1<sup>st</sup> report is the Statement of Plan Net Position which reports assets and liabilities. On April 30, 2015, there was \$19,313,682 of market value of assets and \$0 liabilities. The following page is the Statement of Changes in Plan Net Position - Budget to Actual, which is the income statement. The Village's contribution was \$519,915; police contribution was \$199,522 for a total of \$719,437. Investment income was \$852,604 (interest), Net Appreciation in Fair Value of Investments was \$353,134 for a total of \$1,205,738 less investment expenses of \$32,655 for a Net Investment Income of \$1,173,083. Total additions to the fund were \$1,892,520. Deductions for the fund which included administration expenses, pension benefits and refunds were a total of \$731,639, which reflects a positive change in the net position of \$1,160,881. The net position held in trust for Pension Benefits as of April 30, 2015 is \$19,313,682.

GASB also requires a 6-year Schedule of for Funding Progress and Schedule of Village Contributions. As of April 30, 2015, the fund is 76.99% funded. The annual Village contribution to the fund was \$519,915, which was 100% contribution based on the actuary's recommendation. The Net Pension Asset at April 30, 2015 was \$252,642. On the Investment Rate of Return; the actuary reduced the assumed return to 7.25% from the prior valuation amount of 7.5%.

The next schedule, which is new under GASB 67, is the Schedule of Changes in Village's Net Pension Liability. This is the difference between the current market value of the assets of the fund (Plan Net Position) vs. what the actuary determines is the plan's liability to make all future benefit payments to the officers (Total Pension Liability). The difference is called the Employer's Net Pension Liability. Going forward, this will be presented as 10-years' worth of data.

The Schedule of Investment Returns is a new schedule which shows the annual money weighted rate of return, net of investment expenses which is 6.47%. This also will be report as 10-years' worth of data moving forward.

9. REPORT - ACTUARIAL VALATION REPORT AS OF APRIL 30, 2015

Trustee Dittman presented the Actuarial Valuation Report prepared by the Tepfer Consulting Group, Ltd. This reports on the value of the Fund as of April 30, 2015 and includes funding recommendations which will be used for the fiscal year ending April 30, 2017.

The amount from the last valuation that is being contributed this year is \$614,530. For the next fiscal year, the actuary calculated the following contribution amounts from the Village: \$805,810 to be 100% funded by 2040, or \$665,410 to be 90% funded by 2040. The latter is the statutory minimum. In both cases, 7.25% is the assumed investment rate of return. A new mortality table was adopted in this valuation.

The board discussed requesting the higher amount of \$805,810 from the Village for its contribution.

The GASB Statement No. 67 went into effect for the year ending April 30, 2015 which increased the disclosures and audit work relative to the police pension fund as previously discussed in item 8. As a result, the actuary had to prepare a second report to satisfy the audit requirements, which is also included.

After a brief discussion, the following motion was made:

MOTION: Made by Trustee Kobler, seconded by Trustee Pec to approve the Actuarial Valuation Reports as of April 30, 2015.

ROLL CALL VOTE: AYES: President Davi, Trustees Eisenbeis, Kobler, and Pec. NAYS: None; ABSENT: None. ABSTAIN: Trustee Dittman

MOTION DECLARED CARRIED

10. REPORT - 4/30/15 ANNUAL REPORT TO THE VILLAGE

Trustee Dittman presented the required annual reporting to the Village by the Pension Board for fiscal year ending April 30, 2015. The report was prepared by the Police Pension Board's actuary, Art Tepfer. It was noted that the contribution amount by the Village for the next fiscal year was listed at \$665,410; however the consensus of the police pension board was to request

\$805,810 from the Village. Trustee Dittman will amend this number and send a new report to the pension board members, and the \$805,810 will be the amount formally requested of the Village board.

The report should be signed by the Pension Board President and submitted to the Village Board with the proper attachments.

11. REPORT - ANNUAL DEPARTMENT OF INSURANCE REPORT - 4-30-15

The Board reviewed the annual Department of Insurance report that was prepared by Trustee Dittman. The documents will be forwarded to the Department of Insurance once the Pension Board members approve and sign the certification form. This must be completed by their deadline of October 31, 2015.

12. VISITOR BUSINESS

None presented.

13. NEW BUSINESS

A. Officer Eric Babczak's Resignation

The Board reviewed the resignation letter of Officer Eric Babczak. As of this date, Officer Babczak has not submitted any paperwork to the Pension Board.

14. OLD BUSINESS

None presented

15. COMMUNICATIONS

None presented.

16. ADJOURNMENT

MOTION: Made by Trustee Kobler, seconded by Trustee Pec to adjourn the meeting of the Board of Trustees of the Police Pension Fund at the hour of 4:13 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

1/13/16  
Date

  
President

Minutes transcribed by Debbie Hahn.

## AGENDA

Minutes of the Public Safety Committee of the Village of Willowbrook that was held on November 9<sup>th</sup>, 2015 at 6:00 p.m. at the Willowbrook Police Department, 7760 Quincy Street, in the Village of Willowbrook, DuPage County, Illinois.

### CALL TO ORDER

*The meeting was called to order at 6:00 p.m.*

### ROLL CALL

*Those present at roll call were Chief Mark Shelton, Chairman of the Public Safety Committee Terrence Kelly, and Trustee Sue Berglund.*

1. Reviewed the October 12<sup>th</sup>, 2015 Public Safety Committee Meeting Minutes.  
*The Committee approved the October 12<sup>th</sup>, 2015 Public Safety Committee Meeting Minutes.*
2. Reviewed the Weekly Press Releases – Information.
3. Reviewed the Overtime Report for 09/14/2015 – 10/11/2015 - Information.
4. Reviewed the Monthly Expenditure Report for October 2015 – Information.  
*Trustee Kelly inquired about the expenditure in Line Item 630-345. Chief Shelton advised the expenditure was due to the new Officers' uniforms and the year ending Officers' clothing allowance.*
5. Reviewed the Monthly Offense Summary Report for October 2015 - Information.
6. Reviewed the Letter(s) of Recognition and Appreciation – Information
  - Officer Nick Volek
  - Secretary Debbie Hahn
  - Secretary Lori Rinella
7. Discussion Items
  - Recent Cases  
*Chief Shelton discussed recent cases. He advised the Committee the department has taken numerous reports, involving youth, who were removing items from unlocked vehicles in the northeast subdivisions. Chief Shelton advised the Committee of a report of a residential burglary which had occurred. Chief Shelton also advised the Committee of persons who were arrested that were residing at the Red Roof Inn.*
  - Recruit Update  
*Chief Shelton advised the Committee that both recruits are attending the Champaign PTI Academy and are progressing well. They will graduate the Academy in December.*
  - Training Certifications  
*Chief Shelton advised the Committee that due to the State of Illinois budget deadlock that funds are not being disbursed to NEMRT our Mobile Training Unit. This has caused the cancellation of numerous training classes.*

***Chief Shelton advised the Committee that numerous patrol shifts were covered by reallocating personnel to minimize overtime for the shift coverage which was caused by retirements and an Officer off on medical leave.***

8. \* Visitor's Business (Public comment is limited to three minutes per person).

9. Adjournment

***The meeting was adjourned at 6:20p.m.***

Next Meeting Scheduled December 14<sup>th</sup>, 2015 at 6:00 P.M.