

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, JUNE 8, 2016 AT 7:00 P.M. AT THE VILLAGE OF WILLOWBROOK VILLAGE HALL LOBBY, 835 MIDWAY DRIVE, WILLOWBROOK, IL.

1. CALL TO ORDER

2. ROLL CALL

3. OMNIBUS VOTE AGENDA

A. Waive Reading of Minutes (APPROVE)

B. Minutes - Regular Meeting May 4, 2016 and (May 18, 2016 minutes will be forwarded to the July 6, 2016 meeting)

4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-08: (Morgan Harbour Construction, LLC 7510 S. Madison Street, Willowbrook, IL) Petition requesting approval of a variation from Section 9-10-5G to reduce the required pavement setback from the west and south property lines from ten feet (10') to 4.57 and 5.24' respectively; and a variation from 9-10-5G3 to not require an intermediate landscape island in the north parking row, and other relief as may be required to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking in an M-1 Zoning District.

A. PUBLIC HEARING

B. DISCUSSION/RECOMMENDATION

5. Zoning Hearing Case 16-07: (Willowbrook 2012, LLC 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge IL), continued from the May 18, 2016 Special Meeting of the Plan Commission.

A. **NOTE:** This case is being re-noticed for a new public hearing that will be held at a future Plan Commission meeting because the address for the location of the May 18, 2016 hearing was shown incorrectly on the public notice sign located on the property. There will be no further action or decisions made on this project until the new hearing date is set.

6. VISITOR'S BUSINESS

7. COMMUNICATIONS

8. ADJOURNMENT



Village of Willowbrook Staff Report to the Plan Commission

Public Hearing Date: June 8, 2016 (Special Meeting)

Prepared By: Anna Franco, Planning Consultant

Case Title: 16-08: Morgan Harbour Construction, LLC Headquarters, 7510 S. Madison Street

Petitioner: Morgan Harbour Construction, LLC, 10204 Werch Drive, Suite 301, Woodridge, Illinois 60517

Action Requested by Applicant: Consideration of a petition for variations from Title 9 of the Village Code to allow a building alteration to an existing principal structure to reduce the size of the building and increase parking on Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza in the M-1 Zoning District.

Location: West side of Madison Street between Tameling Landscape Supply and Marquardt Printing Co.

Existing Zoning: M-1 Light Manufacturing

Existing Land Use: Office and Warehouse

Property Size: 0.897 Acres

Surrounding Land Use:

	Use	Zoning
North	Tameling Landscape Supply	M-1 Light Manufacturing
South	Marquardt Printing Co.	M-1 Light Manufacturing
East	S. Madison Street	S. Madison Street
West	Hygieneering	OR Office Research

Documents Attached:

1. Engineering Improvement Plans, dated 3/30/16 (1 Sheet)
2. ALTA/NSPS Land Title Survey, dated 05/26/16 (1 Sheet)
3. Photometric Plan, dated 03/30/16 (1 Sheet)
4. Architectural Elevations, dated 04/07/16 (4 Sheets)
5. Sign Details, dated 05/24/16 (3 Sheets)
6. MHC Letter Standards for Variations, dated 05/31/16 (3 Sheets)
7. Construction Schedule, dated 05/25/16 (1 Sheet)

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.



Site Description:

The property is located on the west side of Madison Street, and is bordered by Taming Landscape Supply to the north, Hygieneering to the west, and Marquardt Printing Co to the south. The site is a total 0.897 acres and contains an existing building currently used for office and manufacturing, with a loading area, and twenty-two (22) existing parking spaces. The property has a lot depth of 263 feet, with 150 feet of frontage along Madison Street. The existing building has an existing footprint of +/- 22,106 square feet.

Exhibit 1 (Site Location)



Development Proposal

The applicant wishes to make building alterations and site improvements to the property located at 7510 S. Madison Street. This would include making minor entrance and ADA improvements to the front of the existing building, removing part of the rear of the building to accommodate additional parking, making necessary access improvements, pavement repairs and resurfacing to existing parking lot, and adding storm sewer.

The building would be used as the headquarters for the applicant, Morgan Harbour Construction, LLC. Morgan Harbour Construction, LLC is a full-service design/build general contractor and construction manager originally focused on tenant improvements and ground-up construction. Their portfolio includes an impressive list of projects including LEED certified properties, office, healthcare, distribution/warehousing, manufacturing, aviation and sports entertainment, mainly located in the Chicago area and Northwest Indiana.



Summary of Variances Requested

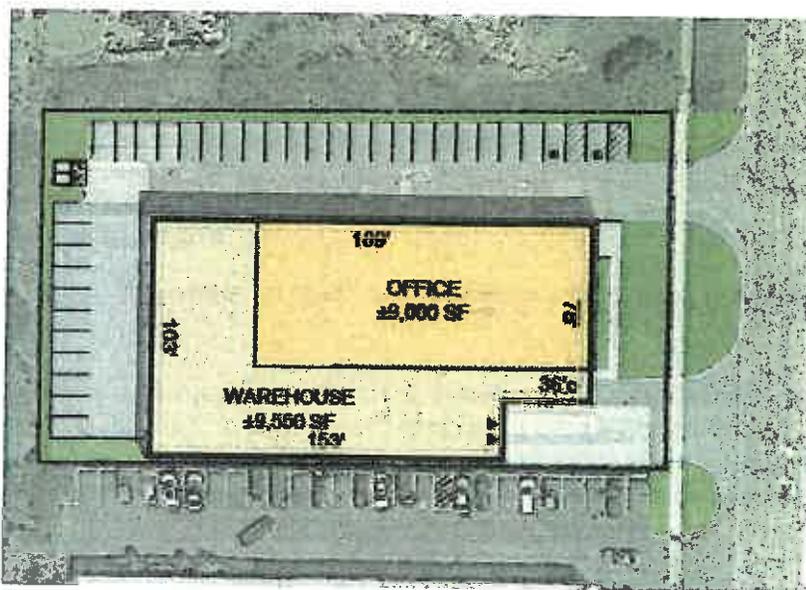
The purpose of this public hearing is to consider a petition requesting approval of variations to allow a building alteration to the existing principal structure to reduce the size of the building and increase parking. The variations are as follows:

1. Variation from section 9-16-2 to authorize an alteration to a non-conforming building to reduce the building in order to provide more parking, while maintaining setbacks from the south and east property line.
2. Variance from section 9-10-5(G) to reduce the required minimum pavement setback from the west (rear) and north (interior side) property lines from ten feet (10') to 4.55 and 4.97' respectively.
3. Variance from section 9-10-5(G) to reduce the required minimum intermediate parking island south of the dumpster enclosure from nine feet (9') to 6.83'.
4. Variance from section 9-14-2.23 (3)d to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').
5. Variance from section 9-10-5(K) to reduce the number of required parking stalls from forty-seven (47) to thirty-four (34) spaces.
6. Variance from section 9-10-5(G) to reduce the height of peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans.

Staff Analysis

Building Use Breakdown

The applicant wishes to modify the existing building at 7510 S. Madison Street to allow for additional parking on the subject site. The modification would include removing 3,555 square feet of existing building in order to provide 11 parking spaces on the west side of the property. The proposed building area would be +/- 18,550 square feet, with a floor area ratio (FAR) of 0.47. Approximately 9,000 square feet of the building would be dedicated to office related uses and approximately 9,550 dedicated to warehouse related uses. Loading for the building would be provided by two (2) dock doors located in the existing loading area and one (1) drive-in door located on the north side of the building.



Building Alterations

The existing building currently does not conform to the required M-1 zoning district front and interior side yard setbacks. Rather than require a variance to reduce the front and interior side yard setbacks, staff recommends that a variation to 9-16-2 to authorize an alteration to a non-conforming building be requested. This will contain the variance to this application and will not modify the yard setbacks for future development proposals on the subject property.



Bulk Requirements

The property is zoned M-1. A detailed discussion of important bulk exceptions and variations is provided below.

Height. The maximum height of a building in the M-1 district is 40'. As a one story building, there are no concerns that the height will comply with this standard. The building height will remain unchanged after building alterations.

1. **Building Setbacks.** The required and proposed minimum setbacks are shown in *Table 1* below. The existing building is currently not in conformance with the Village's required M-1 District front, interior side, and rear yard setback requirements. Alteration to the building's footprint will allow the building to be in compliance with the M-1 rear yard requirement. Relief from the front and south property lines are being requested.

Table 1

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance
Front	From Madison Street	Min. 40'	Min. 29.60	none (2)
Interior Side	From Marquardt Printing Co.	Min. 20'	Min. 1.25'	none (2)
Interior Side	From Tameling Landscape Supply	Min. 20'	Min. 43.61'	none
Rear	From Hygieneering	Min. 20'	Min. 44.57	none

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.
- (2) Addressed as an existing non-conforming building.

2. **Pavement Setbacks.** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The required and proposed minimum setbacks are shown in *Table 2* below.

Table 2

Yard	Description	Zoning Ordinance	Minimum Provided (1)	Variance	Description
Front	From Madison Street	Min. 15	Min. 17.13	no	n/a
Interior Side	From Marquardt Printing Co.	Min. 10	Min. 10	no	n/a
Interior Side	From Tameling Landscape Supply	Min. 10	Min. 4.97	yes	For parking north of the building
Rear	From Hygieneering	Min. 10	Min. 4.55	yes	For parking west of the building

- (1) Numbers represent minimums based on proposed design, not "build to" setbacks.

3. **Foundation Setbacks.** The Zoning Ordinance requires a minimum foundation landscape area of seven feet (7') per section 9-14-2.23 (3)d. Staff is applying this standard to the west side of the building since it is the only portion of the building being altered. Due to limited space for parking on the west side of the property, a variance is being requested to reduce the seven foot (7') foundation setback on west side of the building from seven feet (7') to zero feet (0').



Parking

The property currently provides twenty-two (22) existing parking spaces. The proposed building alterations and site improvements would allow for thirty-four (34) parking spaces, two (2) of which would be accessible spaces. According to the code, forty-seven (47) parking spaces are required on the site. The applicant is requesting a variance to reduce the required parking to 34 parking spaces. Staff believes the applicant will provide testimony based on employment levels to support this parking variation. Please see the parking breakdown below in *Table 3*:

Table 3

Use	Square Footage	Code Requirement	Required	Proposed	Variance
Office	+/- 9,000 sf	1 space for each 225 sf of floor area	40 spaces		
Warehouse	+/- 9,550 sf	4 spaces plus 1 space for each 1,500 sf of floor area over 4,500 sf	7 spaces	34 spaces	yes

Landscaping

The applicant has requested a variance to decrease the rear pavement setback to 4.55' to allow for parking on the west side of the principal building. While the applicant has supplied landscaping in this rear setback, the landscaping height does not meet the five foot (5') peripheral planting screening height required per section 9-10-5 (G) 2 of the Village Zoning Code. A variance is required to decrease the planting peripheral screening from five feet (5') to the proposed planting height per the submitted landscape plans. Staff supports the requested variance as the subject property faces existing vegetation and grass on the property adjacent to the west. Staff sees no reason to screen from these existing features.

Utilities

The property is served by an existing water main located along the north and east property lines and sanitary that is along the Madison Street right-of-way. Existing storm sewer is located just south of the site on the Marquardt Printing Co. property and along the eastern side of the subject property. Please see page five (5) of *Attachment (1), Engineering Improvement Plans*, for additional detail. The applicant proposes to extend the existing stormwater and add an inlet for drainage on the west side of the lot where new parking is located. Staff supports the proposed storm sewer improvements.

Elevations & Façade Improvements

Color elevation drawings are provided for the principal building on the property (*Attachment (4) Architectural Elevations*). A color rendering is provided illustrating the proposed building improvements from Madison Street as well as color elevations of the north and east sides of the building. The applicant is maintaining the existing brick exterior but adding the following to the building façade:

- Storefront glazing system and lintel for exterior windows
- A canopy above the building main entrance
- A red vertical identification fin just south of the main entrance
- A backlit metal sign (discussed below) above the main entrance
- A storefront entry/door



- New glass overhead door on the north side of the building
- New overhead door on the north side of the building

Signage

*Attachment (4), Architectural Elevations, and Attachment (5), Sign Details, provide detail on the placement of the wall sign on the enhanced façade. While the applicant will be complying with the wall sign square footage requirement of the Zoning Ordinance (One (1) square foot for each one (1) foot of frontage up to a maximum of a hundred (100) square feet), the exhibits indicate where on the façade the signage will be located and what materials, colors, and illumination style will be used. Please note that halo illumination will be used for the proposed sign. An example a halo sign is provided in *Exhibit 1* below. Staff supports the signage as requested.*

Exhibit 2 (Crate & Barrel in Geneva, IL)



Photometrics

The photometric plans submitted for review by the engineering are complete and in compliance with the Village code.

Wetland/Stormwater Management

The Village engineering requested that the applicant provide evidence that the subject property and propose disturbances are below the threshold to trigger a stormwater permit (per the requirements of the DuPage County Stormwater Ordinance). In response, the applicant provided the following:

With respect to this development, this development does not require a permit based on the requirements below:

- a) 15-30.A.1 On a Development Site that does not include Flood Plain, Wetlands or Buffers;
Response: No Floodplain, wetlands, or buffers are located onsite. The DuPage
- b) 15-30.A.2 The Development does not add 2,500 square feet or more of Net New Impervious Area compared to the pre-Development conditions.
Response: The development includes 624 square feet of net new impervious area.



- c) 15-30.A.3 Does not include 5,000 square feet or more of land disturbing activities.

Response: The development includes 930 square feet of disturbed area.

Standards

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provide in *Attachment (6)*. A list of the variance standards is provided below, along with the proposed findings to be incorporate in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The subject property is currently non-conforming with regards to the building and parking setbacks. The proposed variances will allow the rear building setback to be improved and will provide ample off-street parking for the intended use. Currently, the property does not provide the parking count that users in the marketplace desire or need.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed improvements will increase the amount of off-street parking and increase the rear building setback. The rear parking setback variance will be required, but will be an improvement from the current non-conforming building layout. These improvements are needed to attract a long term owner-occupied user.

In addition, the western portion of the building that is proposed to be removed will eliminate one (1) structural bay. In order to meet the current setback requirements, an additional entire bay would need to be removed back to the next structural column line thus making the building area too small to be feasible for our use.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The applicant has no current proprietary interest in the property.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The improvements will increase open air space along the rear property line and enhance landscaping.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.



Finding: The proposed improvements will increase supply of natural light and air to the adjacent property by pulling the building back from the property line.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variation is in keeping with the essential character of the locality by maintaining the original masonry aesthetics and enhancing landscaping.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variation allows a less than ideal property to be marketed to a long term owner-occupied user and will not negatively impact the neighboring properties.

Staff Recommendation

Staff supports the relief to allow the proposed building alterations and site improvements. The site meets the intended use of the M-1 district and encourages business development in the Village of Willowbrook.

Staff supports the requested variances and recommends the Plan Commission approve the following sample motion:

Based on the submitted petition and testimony provided, the variance for building alterations and site improvements at 7510 S. Madison Street meets the standards for a variance as outlined in this staff report dated June 8th for the June 8, 2016 Plan Commission meeting and deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-08 subject to the following conditions:

1. Site improvements shall be in compliance with the planning document associated with case 16-08.
2. The variance granted only applies to Lot 3, in the Resubdivision of Lots 1 & 2 in Willowbrook Executive Plaza.
3. The variance shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the variance by the Village Board.

ENGINEERING IMPROVEMENT PLANS FOR MORGAN HARBOUR HEADQUARTERS

7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS

PLANS PREPARED FOR



10204 WERCH DRIVE, SUITE 301
WOODRIDGE, IL 60517
(630) 734-6495



LOCATION MAP
SCALE: 1"=300'

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	□	□
PRECAST FLARED END SECTION	△	△
CONCRETE HEADWALL	△	△
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	⊙	⊙
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	748	748
SPOT ELEVATION	x(760.00)	x760.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	SF	SF
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

CONTACTS

MORGAN HARBOUR CONSTRUCTION
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PINNACLE ENGINEERING GROUP, LLC
BRIAN JOHNSON, P.E., CPESC
1051 E. MAIN ST., SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5301

UTILITY CONTACTS

ELECTRIC
COMED (800) 334-7661

NATURAL GAS
NICOR GAS (888) 642-6748

PHONE/CABLE/INTERNET
AT&T (800) 244-4444
COMCAST (866) 594-1234
DIRECTV (866) 810-7892

BENCHMARKS

REFERENCE BENCHMARK
SEE SITE PLAN FOR LOCATION & SURVEY

DATUM: NAVD83 & NAD83

EXISTING CONDITIONS

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY GERALD L. HEINZ & ASSOCIATES, INC. THE FIELD WORK WAS COMPLETED ON MARCH 30TH, 2016. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INW	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 PROJECT SPECIFICATIONS
- C-3 DEMOLITION PLAN
- C-4 SITE DIMENSIONAL & PAVING PLAN
- C-5 GRADING PLAN & UTILITY PLAN
- C-6 SITE STABILIZATION PLAN
- C-7 CONSTRUCTION STANDARDS
- C-8 CONSTRUCTION STANDARDS

ATTACHMENTS

- EX-1 ALTA/ACSM LAND TITLE AND SURVEY (GERALD L. HEINZ & ASSOCIATES, INC.)
- H-SE1 BUILDING PHOTOMETRIC PLAN (HINSDALE ELECTRIC CO.)

GENERAL NOTES

- THE VILLAGE OF WILLOWBROOK BUILDING DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND 48 HOURS PRIOR TO EACH INSPECTION AT (630) 920-2240.
- ALL UTILITY COMPANIES, INCLUDING THE VILLAGE OF WILLOWBROOK, SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY, OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
- PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS (LATEST EDITION):
 - VILLAGE OF WILLOWBROOK STANDARD NOTES, SITE DEVELOPMENT PLAN REQUIREMENTS, AND MUNICIPAL CODE.
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" BY ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
 - OTHER STANDARDS OR SPECIFICATIONS SPECIFICALLY REFERRED TO IN AN INDIVIDUAL PROVISION OF THESE STANDARDS AND SPECIFICATIONS.
 - "ILLINOIS URBAN MANUAL" AS PREPARED BY THE U.S. DEPT. OF AGRICULTURE & IL ASSOCIATION OF SOIL AND WATER CONSERVATION DISTRICTS/LAKE COUNTY DIVISION OF TRANSPORTATION AND UNIFIED DEVELOPMENT ORDINANCE.
 - THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC.
- ALL DOCUMENTS CITED IN THE ABOVE STANDARDS AND SPECIFICATIONS RELEVANT TO THE SUBJECT UNDER CONSIDERATION. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE REFERENCE ITEMS ABOVE AND ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MORE RESTRICTIVE PROVISION(S) SHALL APPLY.

FOR CONSTRUCTION

EXPIRATION DATE: NOVEMBER 30, 2017

Formerly JULE 1-800-882-0123

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LICENSE

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

CHICAGO OFFICE:
3051 E. MAIN ST. | SUITE 217
EAST DUNDEE, IL 60118
(847) 551-5300

MORGAN HARBOUR HEADQUARTERS
7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS

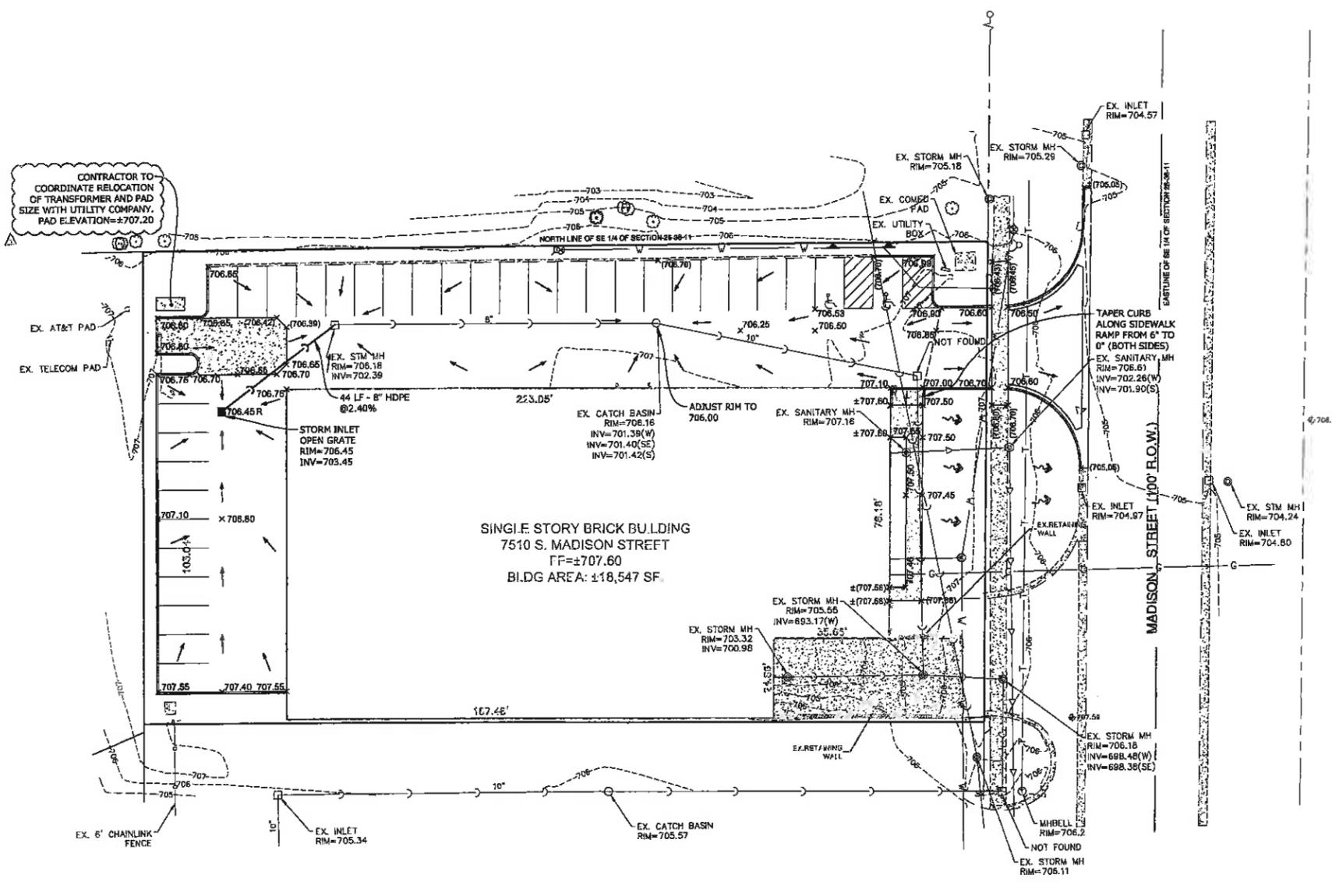
REVISIONS	
1. REVIEW PER VILLAGE	5/26/16

COVER SHEET

SHEET
C-1
of
C-8

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF PINNACLE ENGINEERING GROUP, LLC. NO PART OF THESE PLANS OR SPECIFICATIONS ARE TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

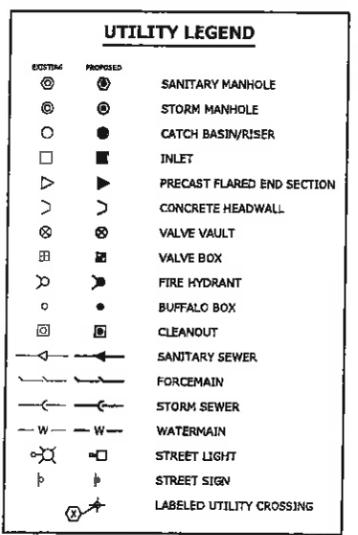
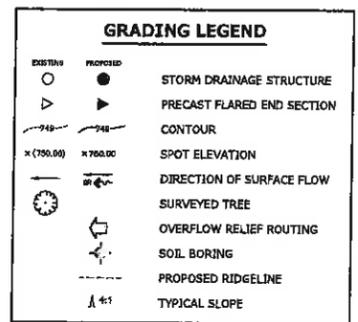
www.pinnacle-engr.com



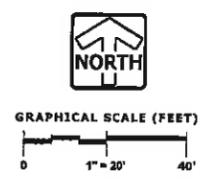
- ### GRADING NOTES
1. CONTRACTOR SHALL CONTACT 811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 2. BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 3. CONTRACTOR SHALL MEET ALL COMPACTION REQUIREMENTS AS SPECIFIED ON SHEET C-2 AND PER IDOT.
 4. CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 5. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 6. REFER TO CONSTRUCTION DETAILS FOR SIDEWALK RAMP AND HANDICAP STRIPING.
 7. ALL EXISTING AND PROPOSED CONTOURS ARE SHOWN IN 1' INCREMENTS.
 8. CONTRACTOR SHALL NOT BLOCK DRAINAGE.
 9. CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE.

- ### ELEVATIONS
1. CONTOURS ARE SHOWN AS FINISHED GRADE.
 2. SPOT ELEVATIONS ARE SHOWN AS FLOW LINE ALONG THE CURB AND GUTTER AND FINISHED GRADE ELSE WHERE UNLESS SPECIFIED AS BELOW:
 EP = EDGE OF PAVEMENT
 TC = TOP OF CURB
 ME = MATCH EXISTING (630.71) = EXISTING SPOT GRADE

- ### UTILITY NOTES
1. CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND 811 AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY WORK AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR UTILITY CONSTRUCTION.
 3. ALL EXISTING INFORMATION AND EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES.
 4. ALL UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
 5. ALL MANHOLES AND VALVE VAULTS SHALL BE PER VILLAGE OF WILLOWBROOK AND "WATER," "STORM SEWER," OR "SANITARY SEWER" CAST INTO THE LID. ALL OPEN LIDS OR GRATES SHALL HAVE THE WORDS "DRAINS TO RIVER, DUMP NO WASTE" PERMANENTLY INSCRIBED.
 6. BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 7. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF ALL BUILDING SERVICES WITH ARCHITECTURAL AND MEP PLANS.
 8. CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE.
 9. ALL UTILITY DIMENSIONS ARE TO CENTER OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
 10. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS OF ALL ELECTRIC, GAS, AND TELEPHONE SERVICES PRIOR TO START OF CONSTRUCTION. ALL UTILITY SLEEVES AND PIPE SHALL BE INCLUDED IN BID.
 11. CONTRACTOR SHALL LOCATE ALL EXISTING SEWER AND WATERMAIN LOCATION, SIZE, ELEVATION, AND CONDITION AT POINTS OF CONNECTION AND WHERE PROPOSED UTILITIES SHALL CROSS OR POTENTIALLY COME IN CONFLICT WITH EXISTING LINES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS.
 12. UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE VILLAGE, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IDOT. IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.



NOTE:
 EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY GERALD L. HEINZ & ASSOCIATES ON MARCH 30, 2016. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.



PINNACLE ENGINEERING GROUP
 CHICAGO OFFICE:
 1051 E. MANN ST. | SUITE 217
 EAST DUNDEE, IL 60118
 847.553.5300
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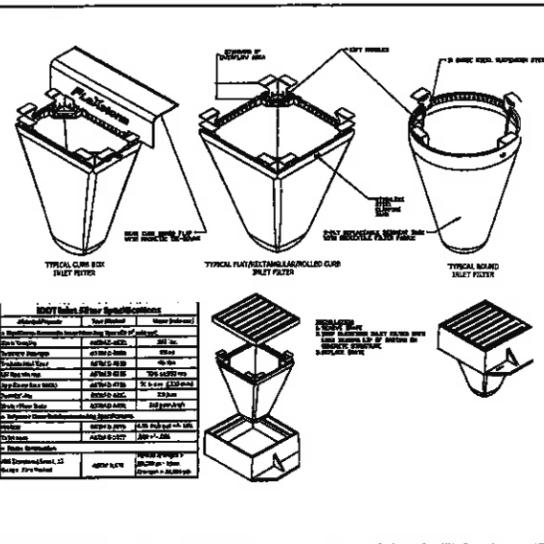
MORGAN HARBOUR HEADQUARTERS
7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS

REVISIONS	
1. REVIEW PER VILLAGE	5/26/16

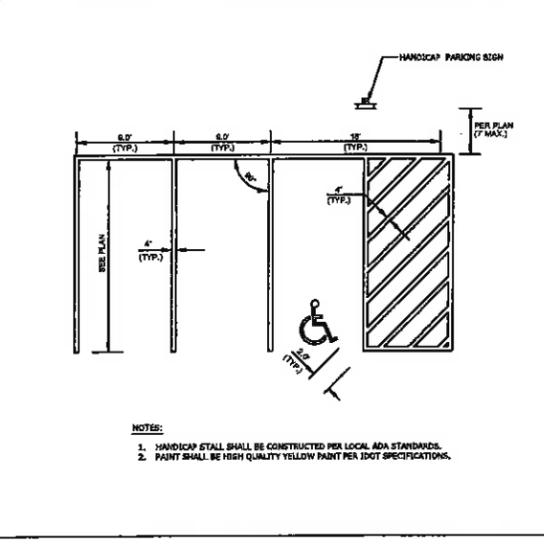
GRADING & UTILITY PLAN
 SHEET
C-5
C-8
 PROJECT NO. 16-01-01
 PER. NO. 1603
 START DATE: 04/07/16
 SCALE: 1" = 20'
 DATE: 05/26/16

GRADING & UTILITY PLAN

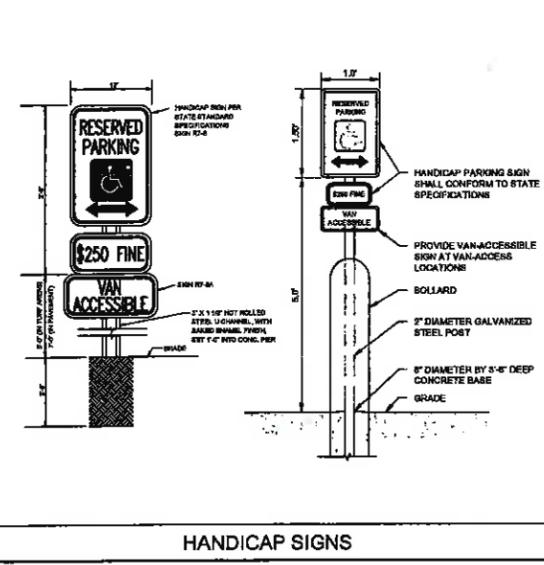
DESIGNED BY: [REDACTED] DRAWN BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED]



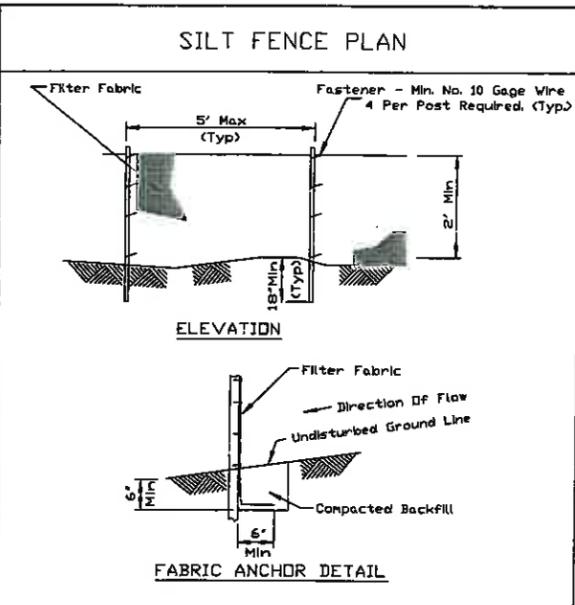
INLET PROTECTION



STRIPING DETAIL



HANDICAP SIGNS

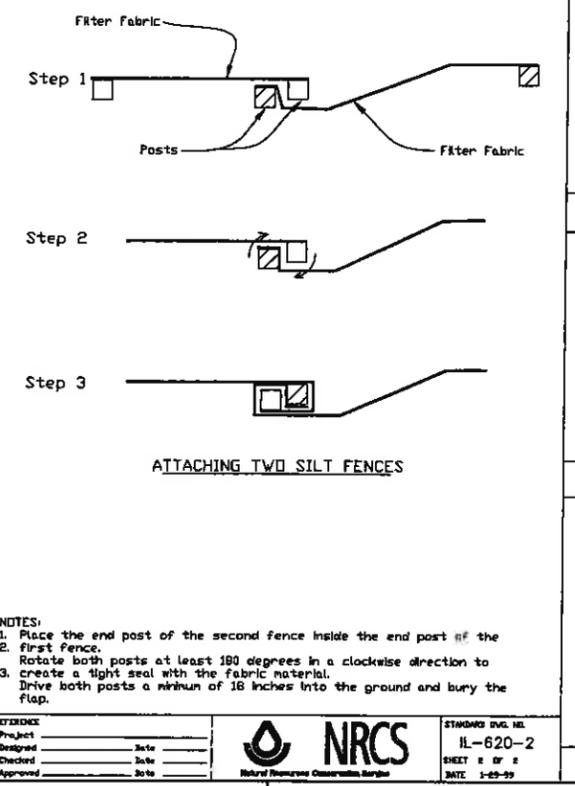


NOTES:

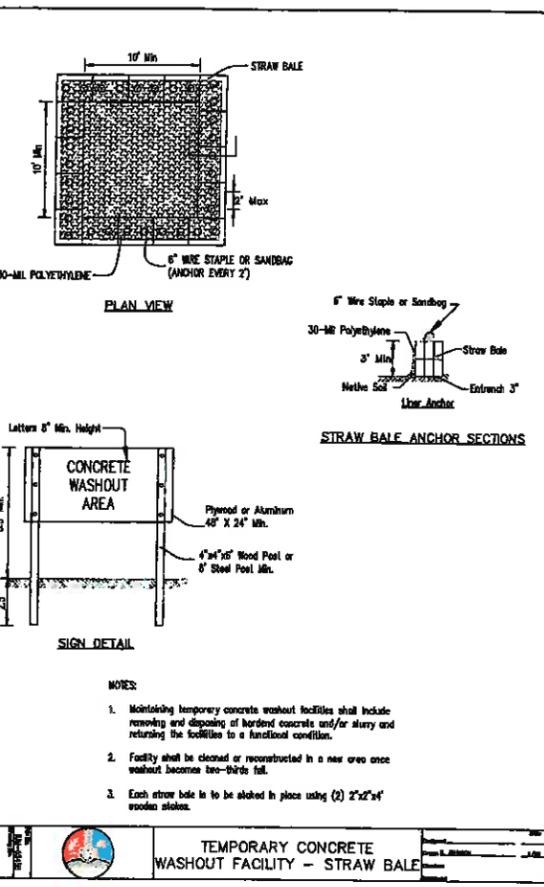
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

Project	Date	Designed	Date	Checked	Date	Approved	Date

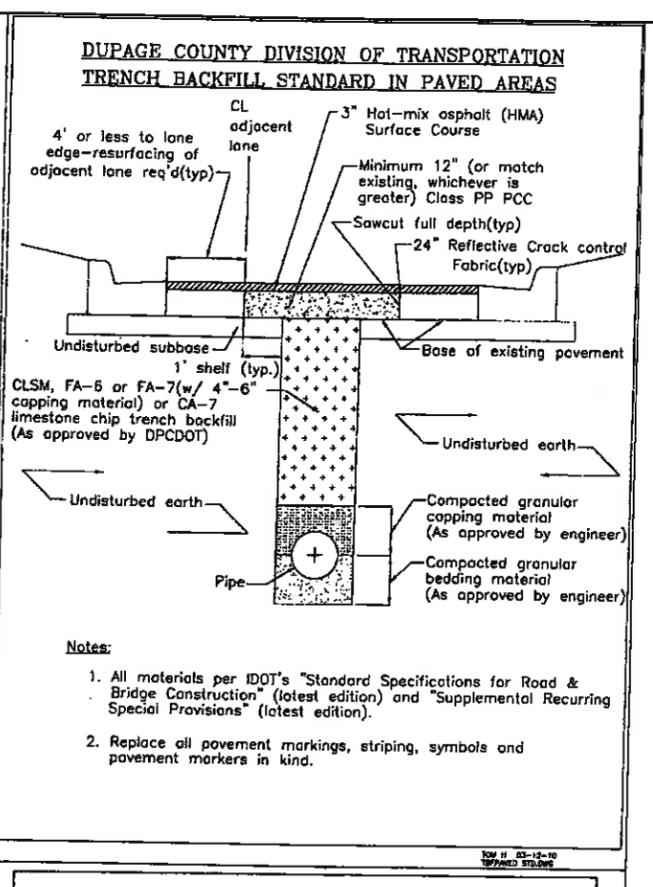
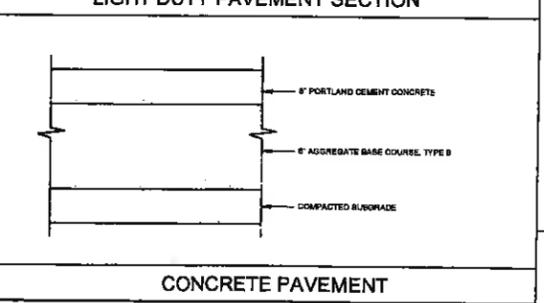
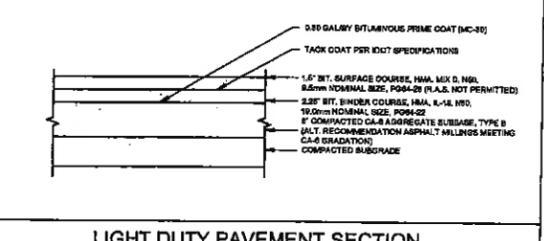
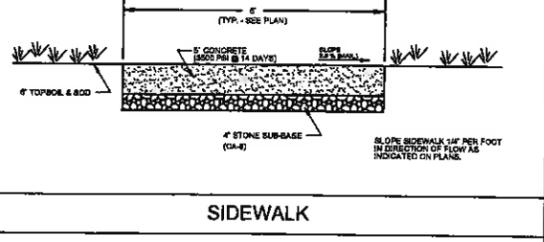
SILT FENCE



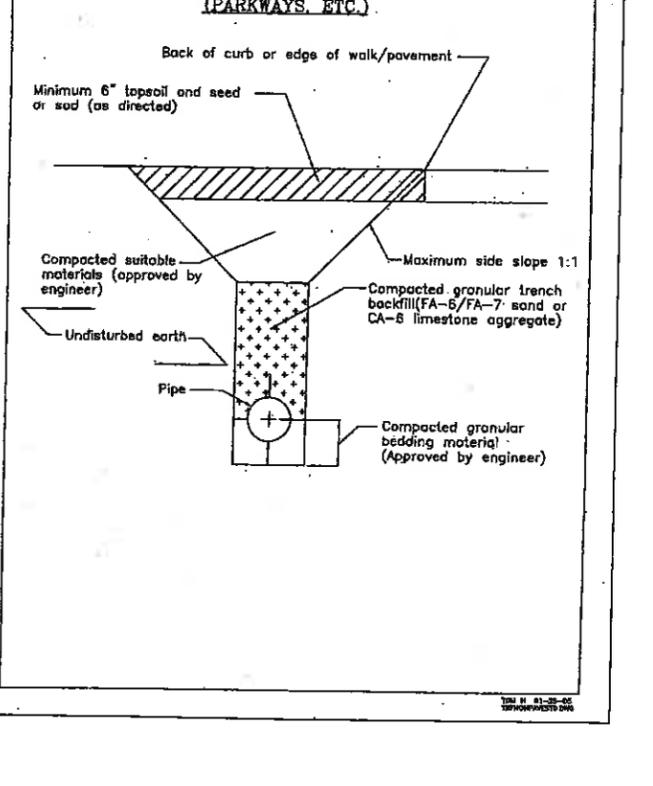
Project	Date	Designed	Date	Checked	Date	Approved	Date



TEMPORARY CONCRETE WASHOUT FACILITY - STRAW BALE



DUPAGE COUNTY DIVISION OF TRANSPORTATION TRENCH BACKFILL STANDARD IN NON-PAVED AREAS (PARKWAYS, ETC.)



PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

CHICAGO OFFICE: 3053 E. MAIN ST. | SUITE 217
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(847) 551-5300
CHICAGO | MELWALKEE | NATIONWIDE

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MORGAN HARBOUR HEADQUARTERS
7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS

STANDARD ENG. NO. IL-620-2
SHEET 1 OF 2
DATE: 1-29-22

NO.	REVISIONS

CONSTRUCTION STANDARDS

REG. JOB NO. 482-0801
JOB NO. 1802
START DATE: 05/07/16
SCALE: NONE

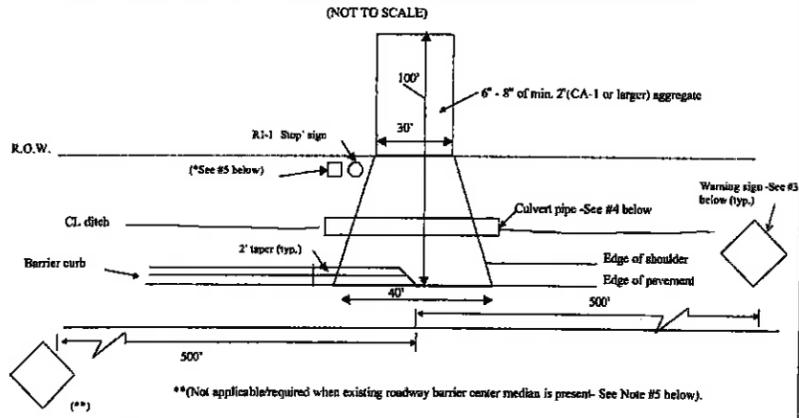
SHEET C-7 of C-8

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www.pinnacle-engr.com CONSTRUCTION STANDARDS

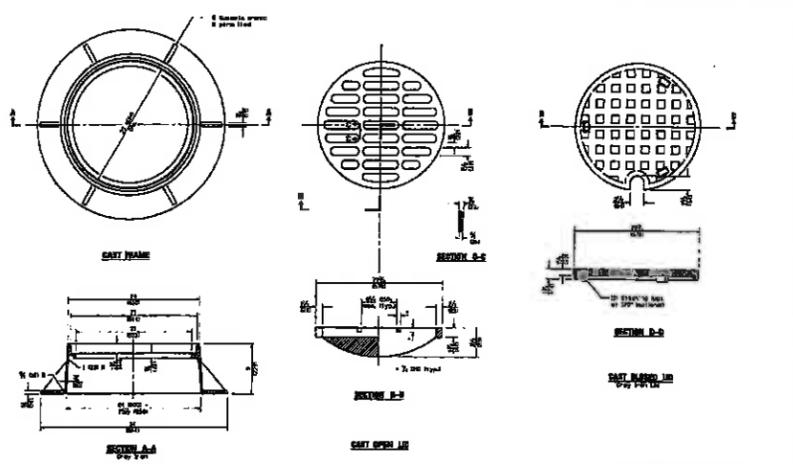
THESE PLANS AND SPECIFICATIONS ARE COPYRIGHTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.

DuPage County Division of Transportation - Temporary Construction Entrance Standard



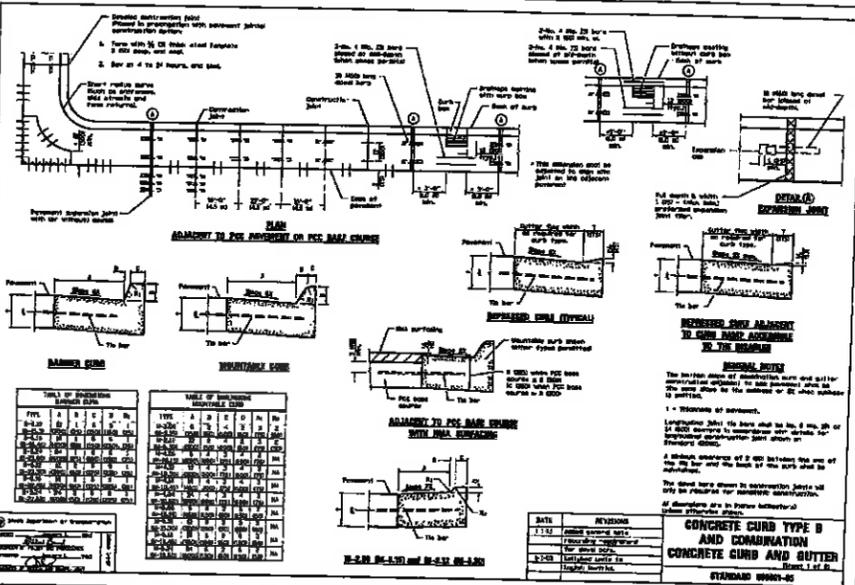
** (Not applicable/required when existing roadway barrier center median is present - See Note #5 below).

- Construction requirements/conditions:**
1. Pavement, curb/gutter and storm structures shall be maintained free of mud/debris at all times. Rubber tired equipment and a street sweeper shall be kept on call on an "as needed" basis at all times during construction.
 2. The petitioner is solely responsible for any repairs and associated costs for replacement to any pavement or curb/gutter adjacent to temporary construction entrance(s) road damaged due to the permitted work.
 3. The petitioner is responsible to erect and maintain the black on orange warning signage until the time that the temporary entrance is removed. Signage shall state be either: "Construction Entrance 500' - Trucks Entering and Leaving Highway" according to the M.U.T.C.D. Sign frames shall be sand bagged.
 4. Culvert pipe, if applicable, shall be 15" (min.) dia. x 30' (min.). Side slopes from edge of drive, back of curb and edge of shoulder shall not exceed 3:1.
 5. Barrier median on roadway will require that the petitioner/contractor install an R1-2 "No Left Turn" (symbol) sign (per the M.U.T.C.D.) to prevent unbound cross median traffic.
 6. Disturbed areas of the right of way shall be dressed with a minimum of 6" topsoil and seed (with erosion control blanket or hydro seeding) or seed (rain tolerant and staked in place). Erosion control measures shall comply with the minimum requirements of the DuPage County Stormwater and Floodplain Ordinance specifications at all times.



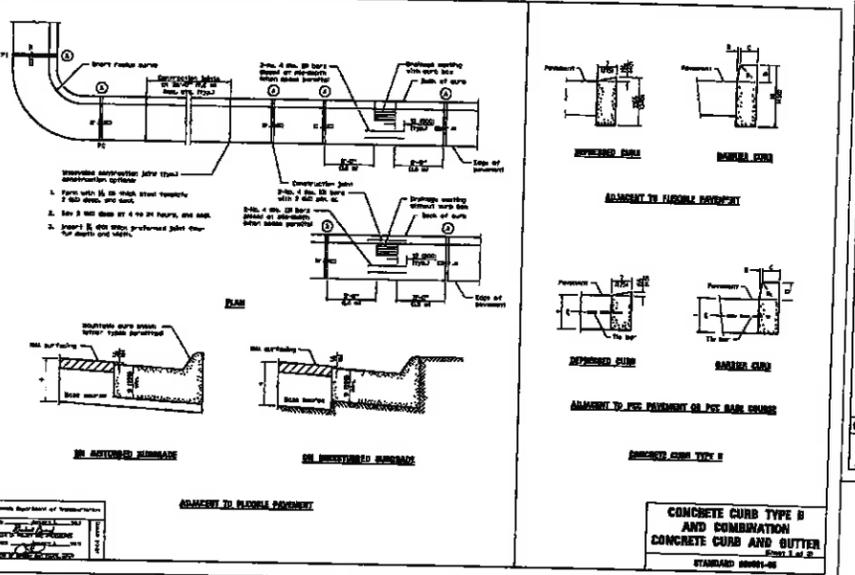
DATE	REVISION
11-13-13	ADDED SECTION B-B
11-13-13	ADDED SECTION C-C
11-13-13	ADDED SECTION A-A

FRAME AND LIDS TYPE 1
STANDARD 08001-01

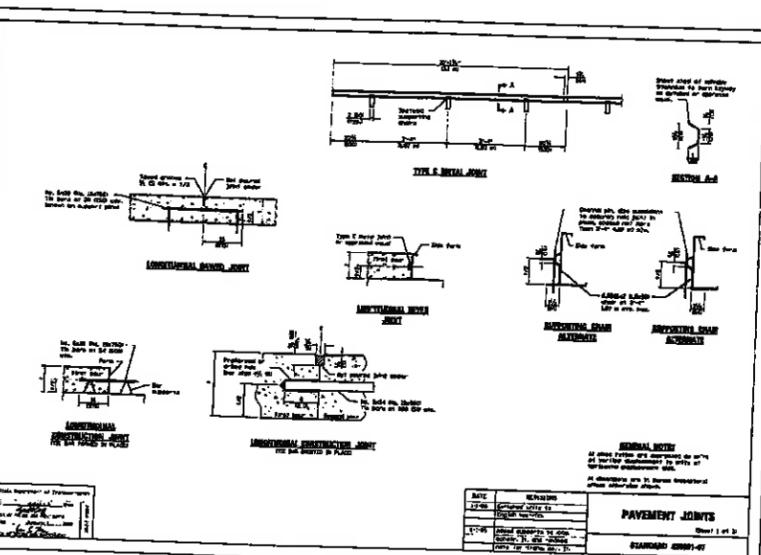


DATE	REVISION
11-13-13	ADDED SECTION B-B
11-13-13	ADDED SECTION C-C
11-13-13	ADDED SECTION A-A

CONCRETE CURB TYPE B AND COMBINATION AND COMBINATION CONCRETE CURB AND GUTTER
STANDARD 08001-02

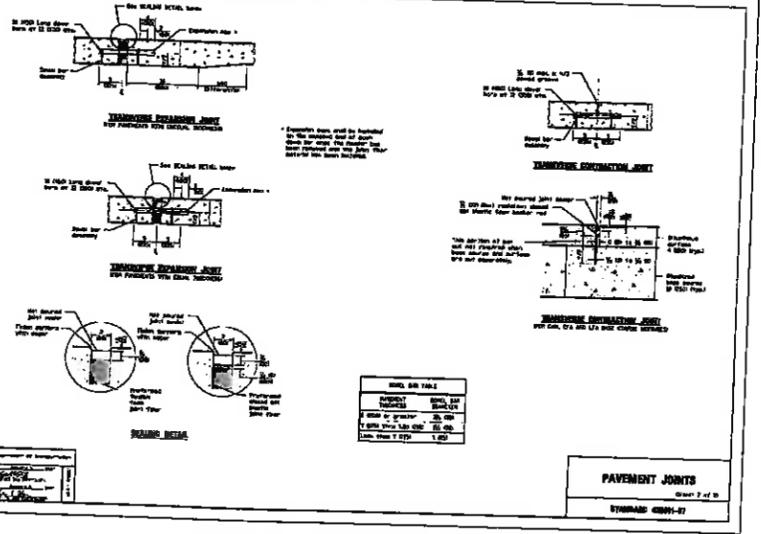


CONCRETE CURB TYPE B AND COMBINATION AND COMBINATION CONCRETE CURB AND GUTTER
STANDARD 08001-03



DATE	REVISION
11-13-13	ADDED SECTION B-B
11-13-13	ADDED SECTION C-C
11-13-13	ADDED SECTION A-A

PAVEMENT JOINTS
STANDARD 08001-04



DATE	REVISION
11-13-13	ADDED SECTION B-B
11-13-13	ADDED SECTION C-C
11-13-13	ADDED SECTION A-A

PAVEMENT JOINTS
STANDARD 08001-05

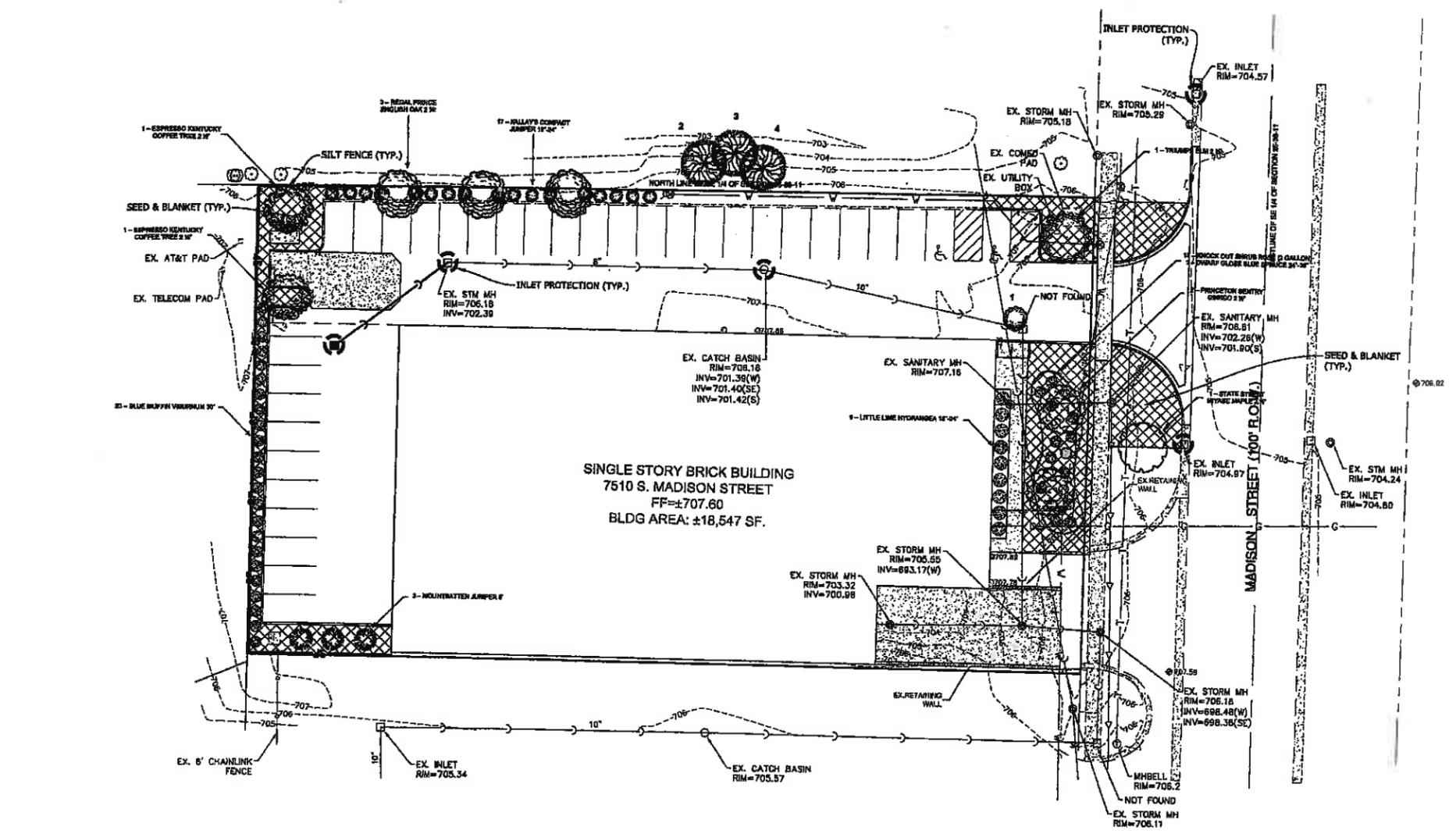
PINNACLE ENGINEERING GROUP
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 CHICAGO OFFICE: 2051 E. WAIN ST. | SUITE 217 | EAST DUNDEE, IL 60118 | (773) 553-3300
 CHICAGO HEADQUARTERS: NATIONWIDE

MORGAN HARBOUR HEADQUARTERS
 7510 S. MADISON STREET
 WILLOWBROOK, ILLINOIS

NO.	REVISIONS

CONSTRUCTION STANDARDS
 SHEET C-8
 C-8

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 CONSTRUCTION STANDARDS



PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks
1	State Street Miyabe Maple	Acer miyabei 'Morton'	2 1/2'	B&B
2	Pinkaton Sentry Glirge	Gleditsia 'Princeton Sentry'	2 1/2'	B&B
2	Espresso Kentucky Coffee Tree	Gymnocladia dioica 'Espresso'	2 1/2'	B&B
3	Royal Prince English Oak	Quercus robur 'Royal Prince'	2 1/2'	B&B
1	Triumph Elm	Ulmus campestris 'Morton Glazy'	2 1/2'	B&B
3	Moundsham Juniper	Juniperus chinensis 'Moundsham'	6"	B&B
9	Little Lime Hydrangea	Hydrangea paniculata 'Jenny'	18"-24"	Cont.
17	Kalley's Compact Juniper	Juniperus chinensis 'Kalley's Compact'	18"-24"	Cont.
3	Dwarf Globe Blue Spruce	Picea pungens glauca 'Globea'	34"	Cont.
15	Knock Out Shrub Rose	Rosa 'Radrazz'	3 Gallon	Pots
23	Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	30"	B&B

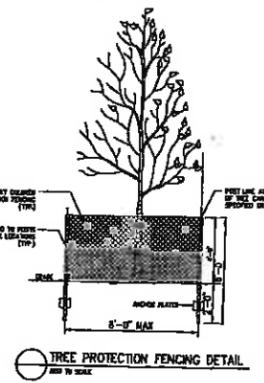
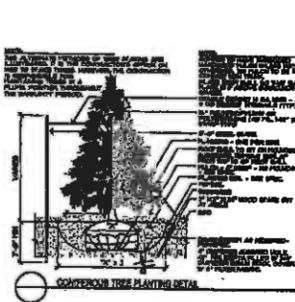
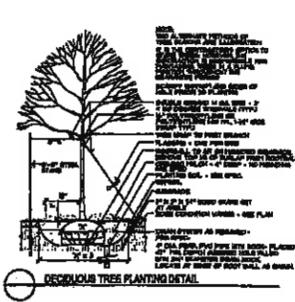
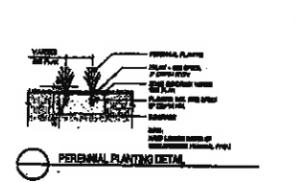
TREE INVENTORY/PROTECTION

Tree #	Common Name	Botanical Name	Condition	Size	Action
1	Hawthorn	Crataegus var.	Poor	12'	Remove
2	Clump River Birch	Betula nigra	Good	14'	Maintain (A)
3	Clump River Birch	Betula nigra	Good	16'	Maintain (A)
4	Clump River Birch	Betula nigra	Good	14'	Maintain (A)

(A) Plants located on neighboring property adjacent to construction. These trees shall be protected and maintained. (See tree protection detail)

Notes:

- The Contractor shall provide and install all plant materials in quantities sufficient to complete planting shown on the drawings. All plants shall comply with the requirements of the current American Standard for Nursery Stock, published by the American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or damage. No "junk grade" material shall be accepted. Trees not exhibiting a central (or single) leader shall be attached unless called out in the plant list as multi-stem. Quantity lists are supplied as a convenience. The Contractor shall verify all quantities and, in case of a discrepancy, the plan shall prevail. No plants are to be changed or substituted without approval from a representative of James Dowden & Associates, Inc.
- All plants shall be watered during the first 24-hour period after installation. A watering schedule must be agreed upon with the Owner, before planting, and be followed, at which, when and how plant materials are to be properly watered. The Contractor is responsible for site visits to ensure the proper watering is being done for establishment and health of all plant materials.
- Plants shall be balled and burlapped unless otherwise noted on the landscape plan. Not soil bound material shall be accepted and all wrapping materials made of synthetic or plastic shall be removed at the time of planting. It is the Contractor's option to soil back burlap from the top of the root ball.
- Recommended mulch depth is 4" of shredded hardwood bark. The Contractor shall avoid over mulching and the creation of "mush volcanoes". Mulch beds shall extend a minimum of two feet beyond the center of a tree or shrub. Mulch must be added at least two inches from the base of a tree so the base of the trunk and root crown are exposed.
- Protect perennial beds with one cubic yard of garden compost per 100 sq. ft. The compost shall be installed to an 8" depth.
- All plants shall be set plants. It is the Contractor's responsibility to obtain satisfactory trees and to also the Contractor's responsibility to ensure plants remain plants with the aid of the grower's product. All structures shall be equipped with an approved fire wrap to prevent water damage. The Contractor shall remove all fire wrap following the first winter.
- Trees shall be installed a minimum of five (5) feet horizontally from underground electrical lines, sanitary sewers, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, water towers and fire hydrants.
- The Contractor shall locate the utilities of all underground utilities prior to planting work. The Contractor shall also mark the permanent and work areas in red and white caution tape throughout the construction process. The Contractor shall excavate lines, and verify, working conditions in advance of submitting a proposal. Failure to investigate relevant responsibilities does not relieve the Contractor of his obligations due to subcontractors.
- Turf protection shall include topsoil, grading, heavy mat grass seed and straw blanket, in all disturbed areas, to meet existing lawn.



TREE PRESERVATION NOTES:

- PRIOR TO ANY CONSTRUCTION OR ANY TREE REMOVALS, THE CONTRACTOR SHALL SELECT A TREE PROTECTION FENCE AND ALL TREES TO BE PRESERVED. THE LOCATION AND DESIGN OF THE FENCE SHALL BE AS SHOWN ON THE DRAWING AND DETAILS. APPROVED BY THE VILLAGE PRIOR TO CONSTRUCTION.
- WITHIN THE TREE PROTECTION FENCING THERE SHALL BE NO EQUIPMENT OR MATERIAL STORAGE, VEHICLES, ACCESS OR CONSTRUCTION EQUIPMENT ACCESS.
- WITHIN THE TREE PROTECTION FENCING THERE SHALL ALSO BE NO EXCAVATION, TRENCHING, CHEMICAL OR WATER TREATING. ALL UTILITY LINES OR INDICATION LINES SHALL BE ROUTED AROUND THE TREE PROTECTION FENCING.
- OUTDOOR TOILET FACILITIES SHALL NOT BE LOCATED WITHIN TWENTY FEET (20') OF ANY TREE PROTECTION FENCING.
- THE TREE PROTECTION FENCING IS TO REMAIN IN PLACE UNTIL THE SURROUNDING AREAS ARE FINISH GRADED AND READY FOR SOIL, SEED OR PLANTING.



James Dowden & Associates, Inc.
 Landscape Design & Planning Since 1941
 P.O. Box 415, Libertyville, Illinois 60048
 Phone: (847) 362-1254
 Email: dowdenassoc@bcglobal.net

LANDSCAPE PLAN

SCALE: 1"=20'
 DATE: 03.30.16
 APPROVED BY: [Signature]
 DRAWN BY: CJD
 REVISION: 06.28.16

MORGAN HARBOUR HEADQUARTERS
 7510 MADISON STREET
 WILLOWBROOK, ILLINOIS

DRAWING NUMBER: L-1.0

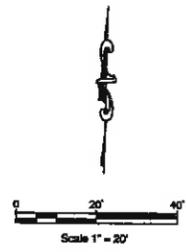
ALTA/NSPS LAND TITLE SURVEY

PROPERTY DESCRIBED AS:

LOT 8, IN THE RESUBDIVISION OF LOTS 1 & 2 N WILLOWBROOK EXECUTIVE PLAZA, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED JULY 8, 1975 AS DOCUMENT R 75-33288, IN DU PAGE COUNTY, ILLINOIS.

COMMON ADDRESS:
7510 S. MADISON STREET
WILLOWBROOK, IL

Tax Identification No.: 09-28-403-011



LEGEND

- (REC.) INDICATES RECORD LENGTH
- (MEAS.) INDICATES MEASURED LENGTH
- ⊙ MANHOLE
- COMBINED SEWER
- ⊙ CATCH BASIN
- ⊙ FIRE HYDRANT
- EXISTING CHAINLINK FENCE
- ▭ EXISTING BITUMINOUS PAVEMENT
- ▭ EXISTING CONCRETE SIDEWALK/STOOP
- EXISTING BOLLARD
- FOUND IRON PIPE
- EX. WATER VALVE
- EX. WATERMAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. GAS LINE
- EX. PHONE LINE

SURVEYOR'S CERTIFICATION

TO: MORGAN HARBOR CONSTRUCTION, LLC

THIS IS TO CERTIFY THAT:

- THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 5, 7, AND 11 OF TABLE (A), THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 30TH, 2016.
- THE UNDERSIGNED HAS NOT RECEIVED AND EXAMINED A COPY OF THE TITLE INSURANCE COMMITMENT.
- THIS SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL EXISTING BUILDINGS, STRUCTURES, UTILITY STRUCTURES AND OTHER IMPROVEMENTS ON, UNDER AND ABOVE THE SUBJECT PROPERTY UTILITIES BY ABOVE GROUND OBSERVATION ONLY, I.E. LOCATE NOT AVAILABLE FOR TIME LINE PROVIDED).
- THERE ARE NO VISIBLE SIGNS THAT THE SUBJECT PROPERTY SERVES ANY OTHER PROPERTY FOR INGRESS AND EGRESS DRAINAGE OR ANY OTHER PURPOSE, (TOPOGRAPHY NOT WITHIN SCOPE OF WORK.)
- SUBJECT PROPERTY HAS UNRESTRICTED VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS TO AND FROM NORTH MADISON STREET AND SUCH STREETS, ROADS AND AVENUES ARE DEDICATED PUBLIC STREETS AND PAVED AND MAINTAINED BY THE VILLAGE OF WILLOWBROOK.

WITNESS the due execution hereof as of this 29th day of MAY, 2016.

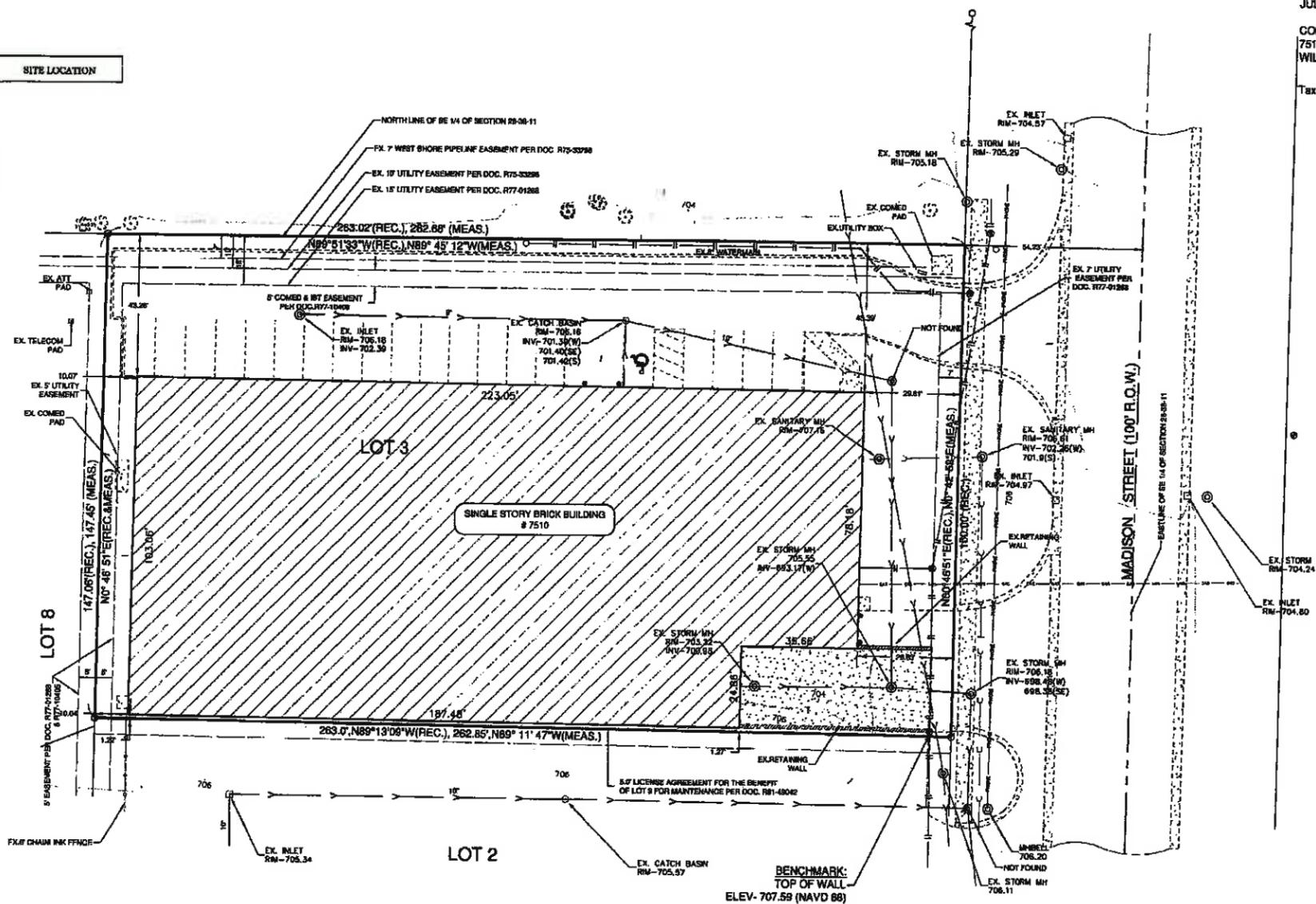


Gerald L. Heinz
Professional Land Surveyor No. 0351
License Expires 11-30-16
Design Firm Registration No. 184-002048

DATE:	03-30-2016
JOB NO.:	S-1624
SCALE:	1"=20'
SHEET	1 OF 1



LOCATION MAP



NOTES CORRESPONDING TO SCHEDULE B

NO TITLE INSURANCE COMMITMENT REPORT PROVIDED

SURVEYOR NOTES

THIS SURVEY IS SUBJECT TO ANY AND ALL ENFORCEABLE RESTRICTIVE COVENANTS. REFER TO THE RECORDED PLAT OF SUBDIVISION IN THE RECORDER'S OFFICE OF DU PAGE COUNTY, ILLINOIS FOR ANY EASEMENT PROVISIONS AND COVENANTS, IF ANY, WITHIN THE SUBJECT SUBDIVISION, WHICH MAY AFFECT THESE LOTS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, WHETHER SHOWN ON THIS SURVEY OR NOT PRIOR TO COMMENCEMENT OF WORK. THIS SURVEY HAS BEEN PREPARED USING PROVIDED PRIOR SURVEY. THIS SURVEYOR DOES NOT MAKE STATEMENTS OF ACCURACY BASED UPON MAPS AND UTILITY LOCATES OF OTHERS.

FIELDWORK COMPLETED ON: 03-30-2016

GERALD L. HEINZ & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
206 NORTH RIVER STREET
EAST DUNDEE, IL 60118
PHONE: (847) 426-4535
FAX: (847) 426-4584

NO.	DATE	REVISIONS	NO.	DATE	REVISIONS
1	5-26-16	REVISED PARCEL INDEX NUMBER			

ALTA SURVEY
LOT 3
WILLOWBROOK EXECUTIVE PLAZA RESUBDIVISION

7510 S. MADISON STREET
WILLOWBROOK, ILLINOIS



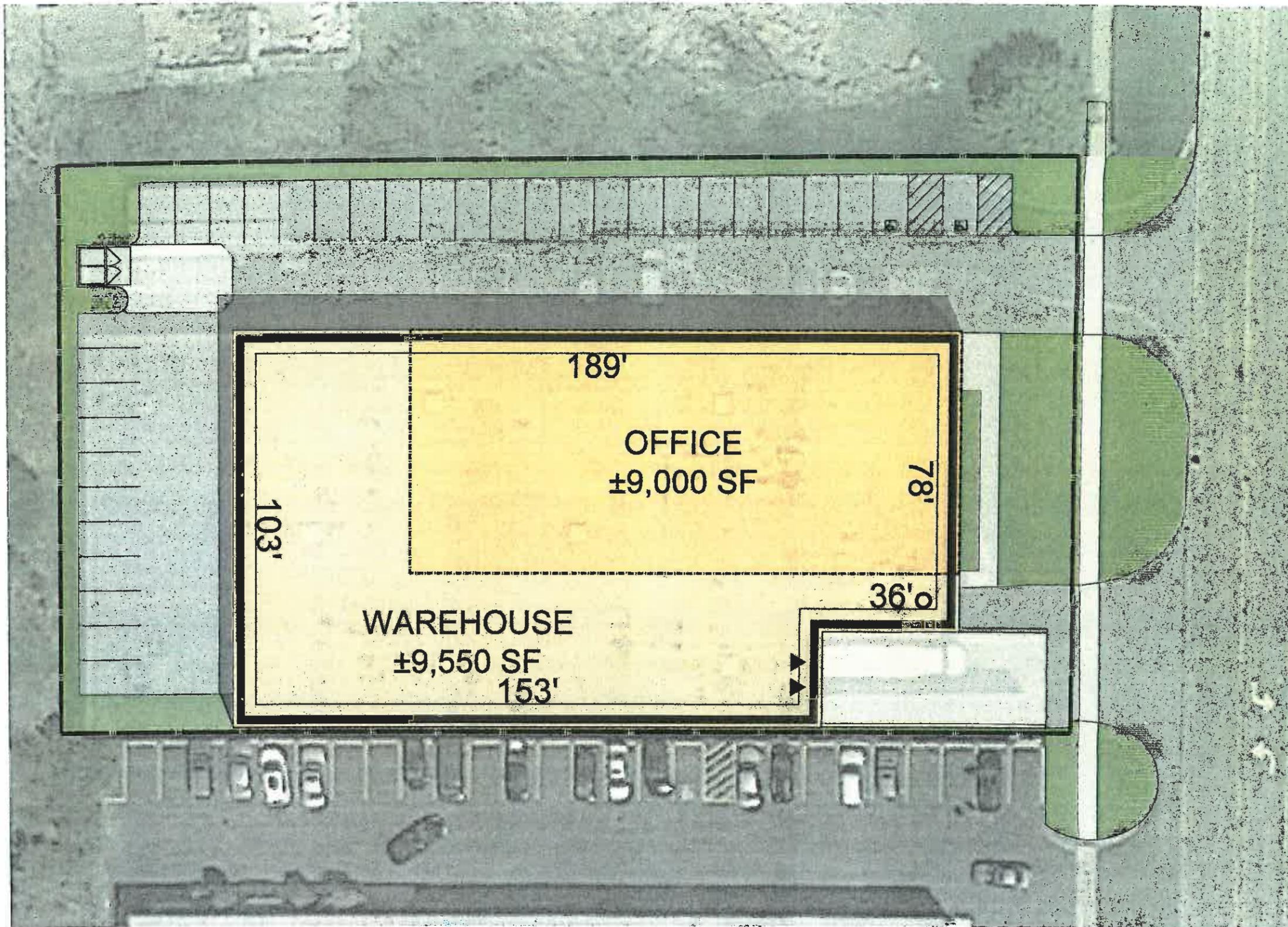
Morgan Harbor Construction HQ

7510 MADISON STREET
WILLOWBROOK, IL

CHI16-0079-00
CONCEPTUAL DESIGN SCHEMES
04.07.2016

WARE MALCOMB

architecture | planning | interiors | branding | civil



PROJECT DATA:

SITE AREA:	
GROSS: ±0.80 AC (±38,078 SF)	
BUILDING AREA:	±18,550 SF
F.A.R.:	.47
DOCK DOORS:	2 POSITIONS
DRIVE-IN DOORS:	1 POSITION
PARKING REQUIRED:	
OFFICE	40 STALLS
WAREHOUSE	7 STALLS
TOTAL REQUIRED	47 STALLS
PARKING PROVIDED:	34 STALLS

SITE LEGEND:

- ◀ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

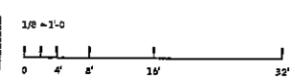


scene: 07

Conceptual Site Plan

Morgan Harbour Construction Headquarters
7510 Madison St., Willowbrook, IL

This conceptual design is based upon a preliminary review of available information and is intended to provide a general overview of the project. It is not intended to be used for construction or other purposes without the approval of the architect.



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CH12-0874-00
05.11.2011

SHEET
1



Proposed

KEY NOTES

- 1 EXISTING BRICK
- 2 STOREFRONT GLAZING SYSTEM AND LINTEL
- 3 CANOPY
- 4 VERTICAL IDENTITY FIN
- 5 BACKLIT METAL BUILDING SIGNAGE
- 6 STOREFRONT ENTRY/DOOR
- 7 NEW GLASS OVERHEAD DOOR
- 8 NEW OVERHEAD DOOR



Existing

SCHEME 1

Conceptual Design

MORGAN HARBOUR CONSTRUCTION HQ
WILLOWBROOK, IL



This conceptual design is based upon a preliminary review of site/owner requirements and an assumed and generally acceptable site and building information, and is intended merely to assist in exploring how the project might be developed.

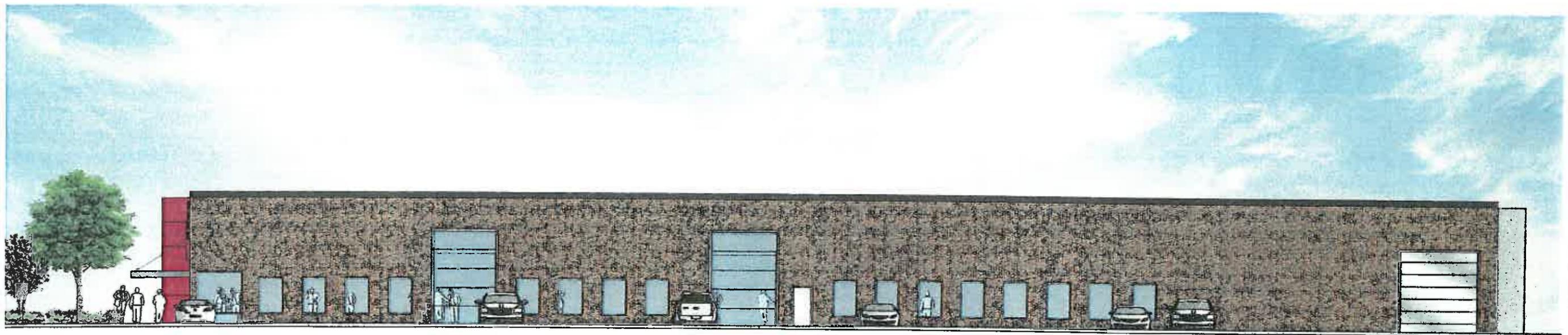
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04.07.2016

SHEET
2



East



North

SCHEME 1

Conceptual Exterior Elevations

MORGAN HARBOUR CONSTRUCTION HQ
WILLOWBROOK, IL



This conceptual design is based upon a preliminary review of preliminary requirements and an assumed and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

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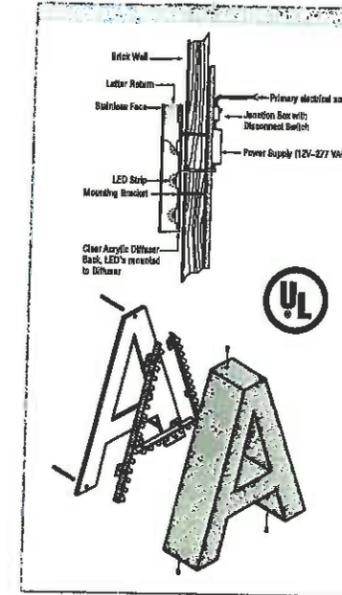
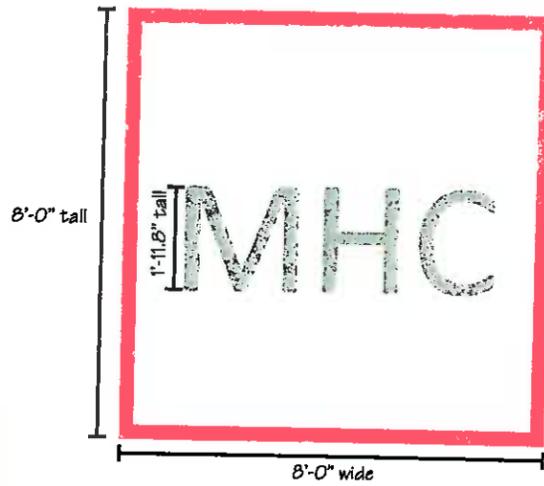
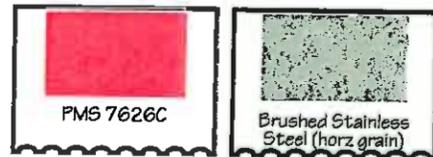
CHI16-0079-00
04.07.2016

SHEET
3

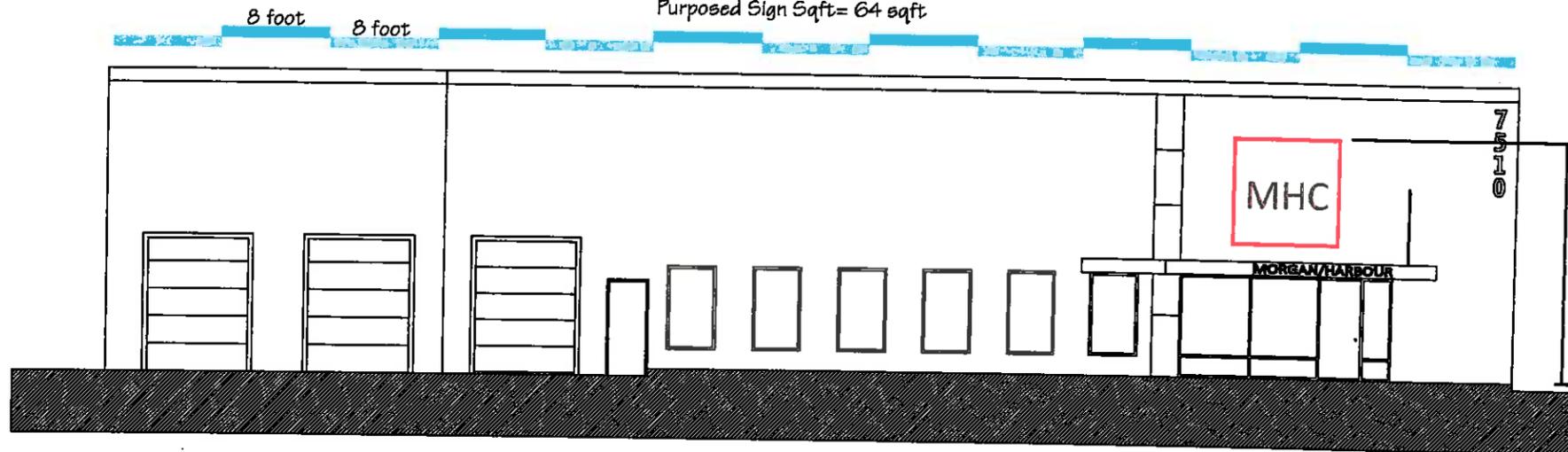


Sign Details

Material- Stainless Steel
 Frame: To be 4" deep, Painted
 Letters: to be 4" deep, Brushed
 Illumination Type- White L.E.D.
 Illumination Sytle- Halo
 Mount- Pin
 Projection Mount- 1"
 Power Supplies- Remote



Linear Building Frontage= 110 feet
 Allowed Sign Sqft= 137.5 sqft
 Purposed Sign Sqft= 64 sqft



	Designed Exclusively For Morgan Harbour			Date 5-24-2016	<p>Signature states that above proof is accepted and client is authorizing to produce the specified.</p> <p>Signature _____ Date _____</p>
	Account Rep Al Frapolli	Designer AAF	Scale N/A	Date/Revision	
File Path \\FILES\Morgan Harbour\	File Name wall sign proof				

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Sign Details

Material- Aluminum

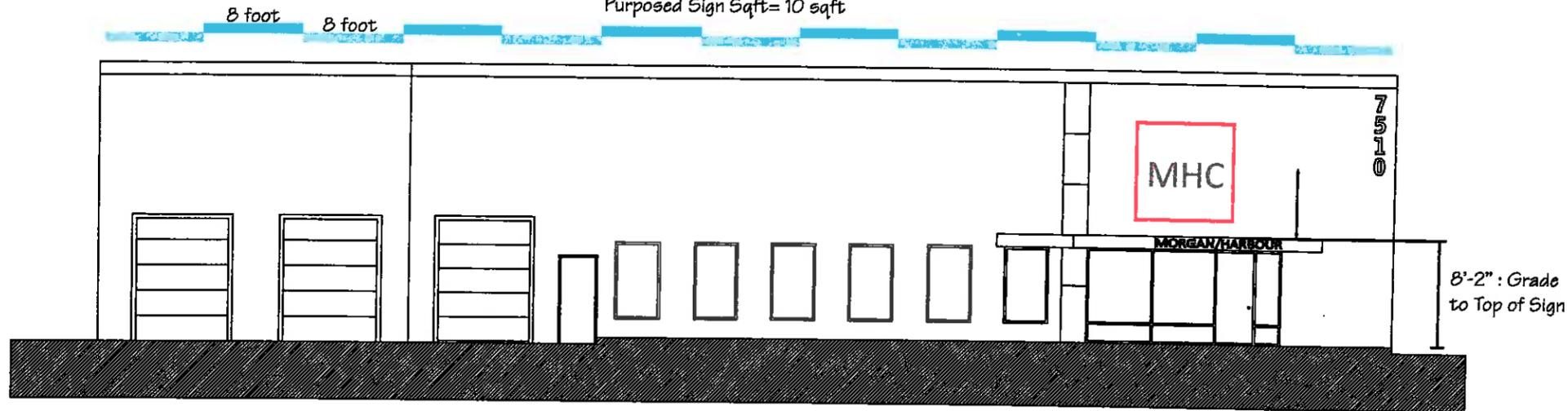
Thickness- 1/4"

Finish- Painted Matte Black

Mount- PExterior Grade 3M VHB, fullcoverage

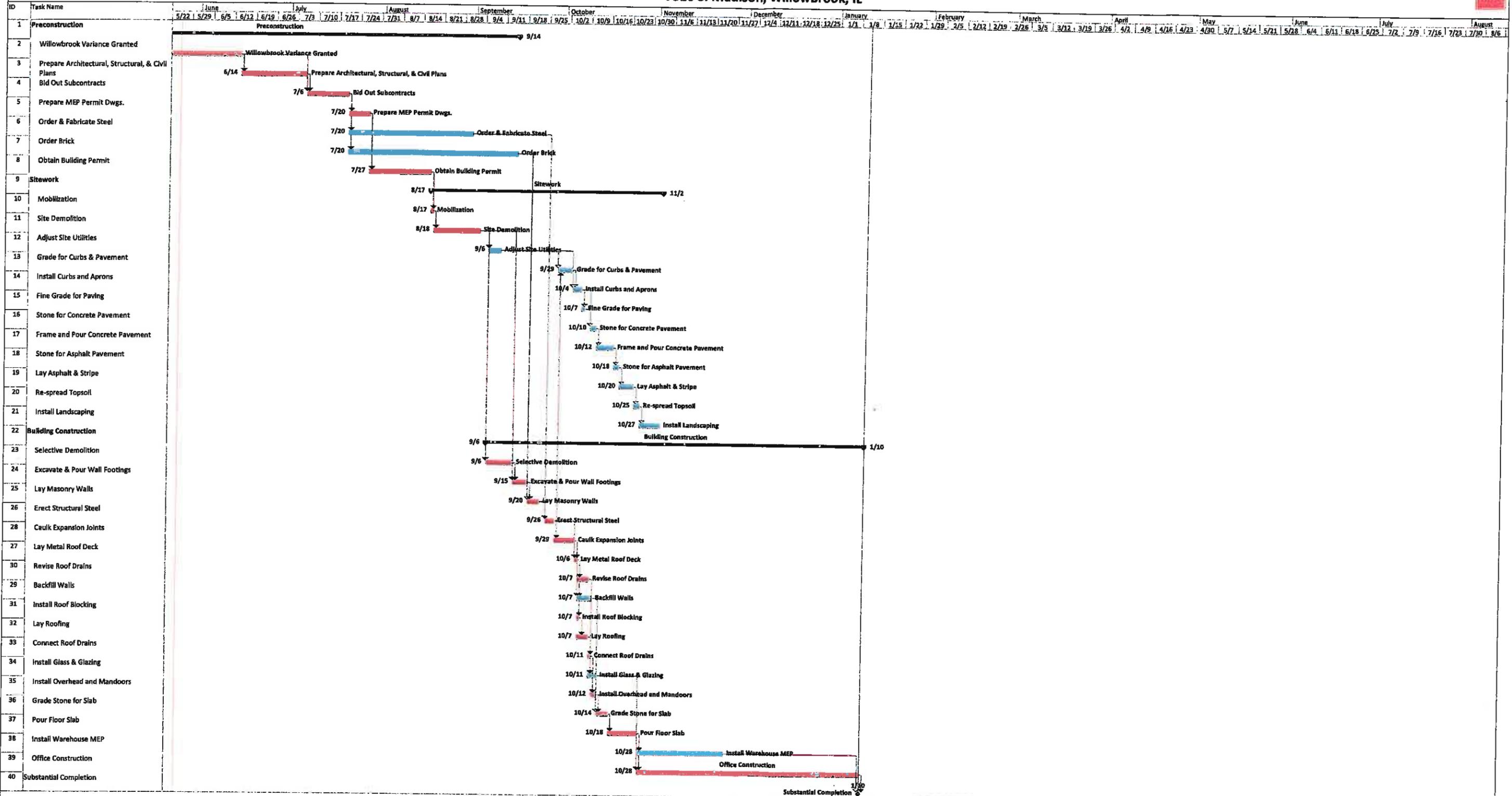


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CUSTOM SIGN CONSULTANTS	Designed Exclusively For Morgan Harbour			Date 5-24-2016	Signature states that above proof is accepted and client is authorizing to produce the specified.
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Morgan/Harbour Construction
7510 S. Madison, Willowbrook, IL





May 31, 2016

The Village of Willowbrook
7760 Quincy Street
Willowbrook, IL 60527

RE: 7510 S Madison Street Response to Standards for Variation

To Whom it May Concern:

Below please find the response to the standards for variation on the building located at 7510 S Madison Street in regards to the Morgan Harbour Headquarters:

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

The subject property is currently non-conforming with regards to the building and parking setbacks. The proposed variances will allow the rear building setback to be improved and will provide ample off-street parking for the intended use. Currently, the property does not provide the parking count that users in the marketplace desire or need.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

The proposed improvements will increase the amount of off-street parking and increase the rear building setback. The rear parking setback variance will be required, but will be an improvement from the current non-conforming building layout. These improvements are needed to attract a long term owner-occupied user.

In addition, the western portion of the building that is proposed to be removed will eliminate one (1) structural bay. In order to meet the current setback requirements, an additional entire bay would need to be removed back to the next structural column line thus making the building area too small to be feasible for our use.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

The applicant has no current proprietary interest in the property.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

The improvements will increase open air space along the rear property line and enhance landscaping.



(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

The proposed improvements will increase supply of natural light and air to the adjacent property by pulling the building back from the property line.

(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

The proposed variation is in keeping with the essential character of the locality by maintaining the original masonry aesthetics and enhancing landscaping.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

The proposed variation allows a less than ideal property to be marketed to a long term owner-occupied user and will not negatively impact the neighboring properties.

We are seeking relief from the setback requirements for the parking lot, the parking spots required as well as the landscaping.

The village code requires a setback of 10 feet. Currently the building is non conforming in regards to the setbacks and we would like to reduce the west side setback to 4 feet so that we can fit the necessary parking spots for our office personnel. It would be hard for us to reduce the building further due to cost and needed square footage. Currently the site to the west of our building is a heavily wooded area (see attached picture). We are also adding a trash enclosure on the west side as required by the village as the building does not currently have one in place.

The village code requires the width of an intermediate parking island of 9' according to 9-10-5G3 of the Village code. We are requesting a variance for a 6' intermediate parking island just south of the dumpster enclosure. This will enable us to bring the parking ratio closer to conforming.

The landscaping is also non conforming and we are not eliminating but rather adding landscaping. We believe the added landscaping and façade improvements will make the frontage more visibly pleasing to the community and our neighbors.

The parking ratio is also currently none confirming. Our intent is to build out 9,000 SF of office for our employees and use the warehouse as storage space only (no employees or manufacturing). Currently on a



daily basis we have 20-25 employees in the office, as such we believe the count to be sufficient to accommodate our office and have some surplus parking.

We appreciate your time and consideration on this matter. Please feel free to contact me should you have further questions or concerns.

Sincerely

George Olmos
CFO/Partner
Morgan Harbour Construction