

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, JULY 20, 2016 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER
2. ROLL CALL
3. APPOINTMENT OF CHAIRPERSON PRO TEM
4. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Special Meeting June 8, 2016
 - C. Minutes - Village Board Meeting May 9, May 23, June 13, and June 27, 2016
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-15:(7725 Quincy Partners LLC, an Illinois LLC) Petition requesting approval of variations from Title 9 of the Village code to allow an existing non-conforming principal structure to be in conformance with the Village's code, at the property commonly known as TruFragrance & Beauty LLC Headquarters, in the M-1 Zoning District.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
6. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-10: (Maercker School District 60, 5800 South Holmes Avenue, Clarendon Hills, Illinois) Petition requesting approval of an amendment to an existing special use for a variation from section 9-10-5(K) to reduce the requirement for onsite parking from one (1) space per employee to sixteen (16) spaces; and a variation from 9-10-5(B) to allow off-site parking on an adjacent lot with an existing use; and a variation from 9-10-5(O) to allow overnight bus parking; and other such relief as may be required to allow the location of two (2) temporary outdoor modular classrooms in an R-1 Zoning District.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION

7. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-07:
(Compass Arena, 635 Joliet Road, Willowbrook, Illinois)
Petition for a special use permit for a planned unit
development, including such relief, exceptions and
variations from Title 9 and Title 10 of the Village Code to
allow construction of a 45,554 square foot facility that
includes a 28,992 square foot indoor soccer facility and
16,562 square feet of restaurant, bar and golf simulator
entertainment space; and approval of a Preliminary and
Final Plat of PUD.

A. PUBLIC HEARING

B. DISCUSSION/RECOMMENDATION

8. COMMUNICATIONS

9. ADJOURNMENT



Village of Willowbrook Staff Report to the Plan Commission

Public Hearing Date:	July 20, 2016 (Special Meeting)	
Prepared By:	Anna Franco, Planning Consultant	
Case Title:	16-15: 7725 S. Quincy Street, Code Compliance	
Petitioner:	7725 Quincy Partners LLC an Illinois LLC, 7725 S. Quincy Ave, Willowbrook, IL	
Action Requested by Applicant:	Consideration of a petition for variations from Title 9 of the Village Code to allow an existing non-conforming principal structure to be in conformance with the Village's code, at the property commonly known as TruFragrance & Beauty LLC Headquarters, in the M-1 Zoning District.	
Location:	Located at the east end of Midway Drive between Stonewheel Inc. and Sterigenics.	
Existing Zoning:	M-1 Light Manufacturing, with special use	
Existing Land Use:	Office/Warehouse	
Property Size:	2.071 acres	
Surrounding Land Use:	Use	Zoning
	North Stonewheel Inc.	M-1
	South Sterigenics	M-1
	East Multi-tenant office/manufacturing bldg.	M-1
	West South Quincy Street	South Quincy Street
Documents Attached:	<ol style="list-style-type: none">1. Responses to Standards for Variations, dated 06/27/16 (2 Sheets)2. Narrative of Request, dated 06/27/16 (2 Sheets)3. ALTA/NSPS Land Title Survey, dated 05/05/16 (1 Sheet)4. Zoning Setback Exhibit, dated 03/25/16 (1 Sheet)5. Approved Site Plan, dated 03/20/16 (1 Sheet)6. Approved Building & Use Permit, dated 4/4/16 (5 Sheets)	
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.	

Staff's recommendation and a sample motion can be found on page 6.



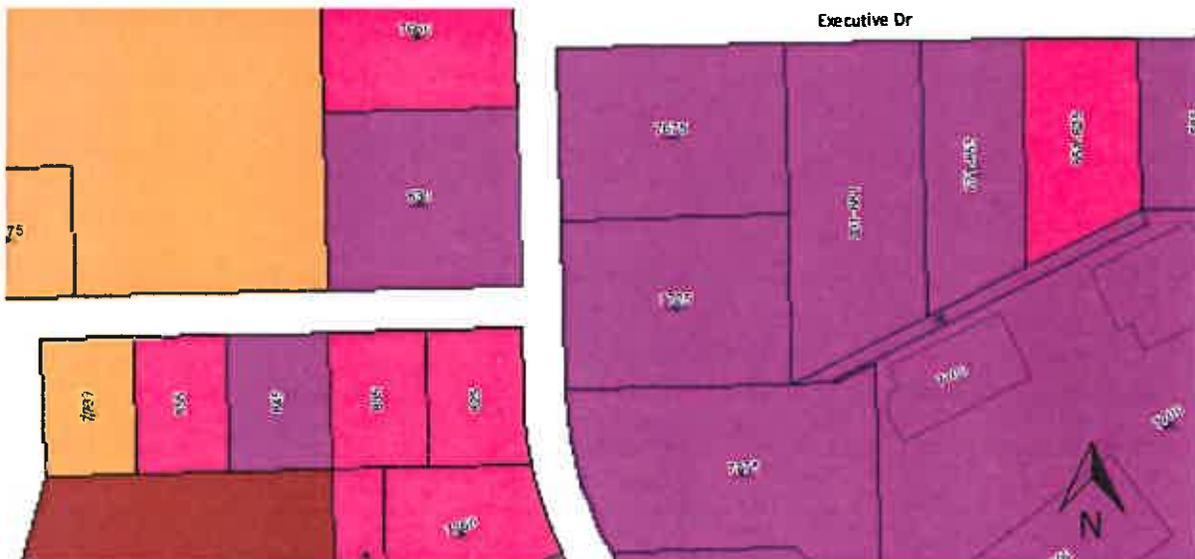
Site Description

The property is located at the east end of Midway Drive, bordered by Stonewheel Inc. to north, South Quincy Street to the west, Sterigenics to the south, and a multi-tenant office/manufacturing building to the east. The site is a total 2.071 acres and contains an existing office and warehouse building that houses the TruFragrance & Beauty LLC Headquarters. The property has one (1) parking lot with a total of forty (40) parking spaces and two (2) points of access from South Quincy Street. The south access to the parking lot is also used for access to a loading dock, located at the southwest corner of the existing building. The property has a lot depth of 343 feet, with 263 feet of frontage along S. Quincy Street. The existing building has a footprint of +/- 48,019 square feet and its main entrance is located on the northwest corner of the building, facing west.

Exhibit 1 Site Location



Exhibit 2 Village of Willowbrook Zoning Map





Development Proposal

Exhibit 3 Existing Building Elevation (looking southeast)



About the Petitioner

TruFragrance & Beauty LLC is a nationally recognized manufacturer and distributor of fragrance and cosmetics products, with offices throughout the United States, with their national headquarters located here in Willowbrook. Their Willowbrook headquarters handles the administrative functions of the national corporation including IT, accounting, human relations, as well as production, quality assurance, warehousing, and shipping.

The current owners of the subject property bought the property out of receivership in approximately 2010 and undertook a multi-million dollar renovation for use by TruFragrance & Beauty LLC National Headquarters. The renovations that were made to the facility have made it a modern and attractive office in the Village.

Sale Lease Back

TruFragrance leases their space in the building, however, the current owner and TruFragrance are related parties. The current property owner and TruFragrance wish to enter into a sale-lease back with Zilber Property Group. Zilber is a long term investor of industrial buildings, with more than six million square feet of industrial, office, and retail space, primarily in the Milwaukee and Chicago areas (More information on Zilber is available in *Attachment 2, Narrative of Request*). The sale lease back would allow Zilber to acquire the building and maintain TruFragrance as their tenant, under a long term lease with multiple renewal options.

Zoning Request

Zilber has been conducting zoning due diligence of the property prior to their final purchase. In their due diligence, they have identified that the south interior side yard setback of 9.8' is not in conformance with the Village's code requirement of a minimum of a twenty (20) feet. Before finalizing the sale-lease back, Zilber would like evidence that the current building is in conformance with the Village code; so, that if all or part of the current building were to be destroyed, they as the owner would not be required to rebuild on a different footprint than what currently exists.

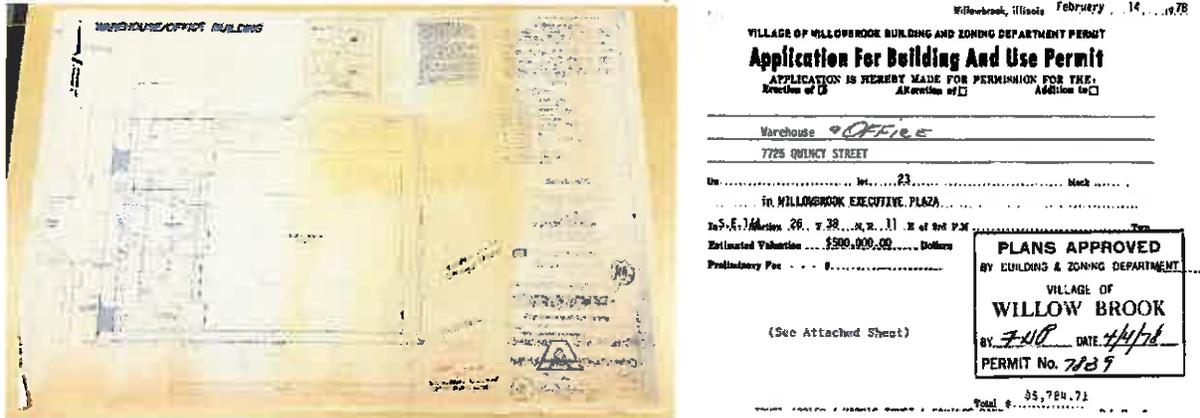
The current property owner has not been able to supply evidence that a variance had been approved for the interior side yard setback and approached the Village to supply this evidence. Multiple Village staff members have conducted a search for the original ordinance that granted the special use permit, and therefore the variance for the interior side yard setback. Staff has searched both the Village's electronic and hard copy files,



as well as meeting minutes from microfilm, but unfortunately have been unsuccessful in finding the subject ordinance.

Although staff was not able to find the ordinance granting approval, Staff did find a site plan (*Attachment 5, Approved Site Plan*) that illustrates an interior side yard setback of ten (10) feet from the south property line and was stamped with approval by the Building & Zoning Department in 1978. Additionally, Staff found an approved Building Permit that includes an illustrative site plan with a ten (10) foot setback from the south property line (*Attachment 6, Approved Building & Use Permit*).

Exhibit 4 Approved Site Plan & Building Permit



While the documents found by Staff suggest approval of the interior side yard setback, Staff needs the ordinance to confirm this approval. Therefore, the current property owner is petitioning for a variance to ensure that the current building is in conformance with the Village's code. Staff has also identified other variance necessary for conformance, which are listed below:

Summary of Variances Requested:

1. Variation from Section 9-8-3 (D) to reduce the required interior side yard setback from the south property line from twenty feet (20') to 9.80'.
2. Variation from Section 9-8-3 (E) to increase the maximum lot coverage from 50% to 53.3%.
3. Variance from Section 9-10-5(G) to reduce the required minimum pavement setback from the north (interior side) and south (interior side) property lines from ten (10) feet to 1.0' and 9.80' respectively.



Staff Analysis

Bulk Requirements

The property is zoned M-1. A detailed discussion of important bulk exceptions and variations as it relates to the petition is provided below.

1. **Height.** The maximum height of a building in the M-1 zoning district is 40'. The total height of the existing building is 22.5' and is therefore in conformance with the Village's code.
2. **Building Setbacks.** The required and existing minimum building setbacks are shown in *Table 1* below. The existing building is currently not in conformance with the Village's required M-1 District interior side yard setback requirement and therefore the applicant is requesting a variance to reduce the minimum side yard setback to 9.80'.

Table 1 Building Setbacks

Yard	Description	Required	Minimum Provided	Variance
Front	From Quincy Street	Min. 40'	Min. 96.25'	none
Interior Side	From Sterigenics	Min. 20'	Min. 9.80'	yes
Interior Side	From Stonewheel Inc.	Min. 20'	Min. 39.55'	none
Rear	From Multi-tenant Building	Min. 20'	Min. 20'	none

3. **Maximum Lot Coverage.** The maximum lot coverage for a property in the M-1 zoning district is 50%. The existing building comprises approximately 53.24% of the total lot. The applicant is therefore requesting a variance to increase the allowable maximum lot coverage to 53.24%.
4. **Pavement Setbacks.** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The required and proposed minimum setbacks are shown in *Table 2* below. The existing pavement setbacks are currently not in conformance with the Village's requirements and therefore the applicant is requesting a variance to reduce the minimum interior side yard pavement setback to 1.0' on for the north property line and 9.80' for the south property line.

Table 2 Pavement Setbacks

Yard	Description	Zoning Ordinance	Minimum Provided	Variance	Description
Front	From Quincy Street	Min. 15'	Min. 25'	none	For parking west of the building
Interior Side	From Sterigenics	Min. 10'	Min. 9.8'	yes	For parking and concrete loading dock
Interior Side	From Stonewheel Inc.	Min. 10'	Min. 1'	yes	For parking west of the building
Rear	From Multi-tenant Building	Min. 10'	Min. 247'	none	For parking west of the building



5. **Foundation Landscaping Area.** The Zoning Ordinance requires a minimum foundation landscape area of seven feet (7') per section 9-14-2.23 (3)d. As evidenced in *Table 3*, the existing foundation landscaping is in conformance with the seven foot (7') foundation landscaping on all sides of the building.

Table 3 Foundation Landscaping Area

Yard	Description	Required	Minimum Provided	Variance
Front	From Quincy Street	Min. 7'	Min. 9'	none
Interior Side	From Sterigenics	Min. 7'	Min. 9.8'	none
Interior Side	From Stonewheel Inc.	Min. 7'	Min. 39.55	none
Rear	From Multi-tenant Building	Min. 7'	Min. 20'	none

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provided in *Attachment 1* of this staff report.

Staff Recommendation

Staff supports the requested relief to allow the existing building at 7725 S. Quincy to be in conformance with the Village's code. TruFragrance is a national corporation with their headquarters in Willowbrook. Granting the subject relief to satisfy their potential buyer, Zilber, will allow TruFragrance to finalize their sale lease back and to remain part of the Willowbrook business community.

Staff supports the requested variances and recommends the Plan Commission approve the following sample motion:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for variations as shown in Attachment 1 of the staff report prepared for the July 20, 2016 Plan Commission for PC 16-15, and recommend approval of variations as outlined in this staff report prepared for the July 20, 2016 Plan Commission for PC 16-15, to allow an existing non-conforming principal structure to be in conformance with the Village's code.



Attachment 1

Variation Standards and Findings for PC 16-15 7725 South Quincy Street

9-14-4.5: Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The building located on the 7725 S. Quincy St. site was constructed in 1978. It is currently a nonconforming use due to the southern interior set back; with the building set back 10 feet instead of the 20 feet as required by the Willowbrook Municipal Code. In the event of a partial casualty or complete destruction of the building, it could not be rebuilt on the current foundation and comply with current Village code. Zilber Property Group ("Zilber") is an established commercial real estate investor, and is the proposed purchaser and intends to lease the property to the existing tenant, TruFragrance & Beauty LLC for 10 years with two 5 year renewal option. Zilber intends to hold the property in its portfolio. The proposed variance would make the current southern set back a legal and conforming use, allowing Zilber to repair or rebuild the property on its existing foundation in the event of a casualty. The costs that would be incurred to rebuild or repair the building and complying with the 20 foot set back makes the Property unmarketable to institutional investors or their lenders.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: No changes in the User, zoning, parking, or other aspects of the existing building are being requested. The building was purchase out of foreclosure by its current owners who undertook in 2010 a multimillion dollar renovation of the Building to make it suitable to serve as the National Headquarters for TruFragrance & Beauty LLC. The attractiveness of the building and its the ability to maintain the current user in place makes this property very attractive to Zilber. However, the existing nonconforming status with respect to the southern interior set back presents a potentially uninsurable risk for an investor like Zilber who are long term investors. The variance, if granted, would make the current configuration of the building legal and conforming, and give Zilber the certainty that in the event of a casualty they could repair or rebuild the building on the existing footprint.

This is the one remaining issue delaying the closing of the sale and leaseback. The existing Building has been on this same footprint since it was constructed in 1978.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: Petitioner did now construct the Building located on the 7725 S. Quincy St. site, but purchased it out of receivership and has invested several million dollars to renovate it into the Tru Fragrance & Beauty National Headquarters.



- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: No exterior or interior changes are being requested by this variance, and by having a well-respected institutional investor take ownership, it provides additional assurance that the Building will be maintained as a quality asset.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: No physical changes to the building will occur and the light and air to adjacent buildings will not be impacted. Since there will not be a change with respect to the Tenant in the Building, no increase in street congestion, danger of fire, or endangerment to public safety will occur.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: Since no physical changes will occur and there will not be a change in users, the proposed variation will not alter the essential character of the locality.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

Finding: The proposed variance provides Zilber, as a long term institutional investor, the certainty that in the event of a casualty or destruction of the Building, that their investment can be insured for the costs to rebuild or restore it on the existing footprint, and that it would not face a potentially uninsurable risk that the building footprint and foundation would have to be relocated. This variance would ensure that 7725 S. Quincy Ave. is an attractive asset for Zilber to add to its established portfolio of building owned in sought after locales and would identify Willowbrook as one of those locales.

7725 Quincy Partners, LLC

7725 S. Quincy St.
Willowbrook, IL 60527

June 27, 2016

7725 S. Quincy St
Willowbrook, Illinois 60527

Descriptive Narrative of Background to Request for Setback Variance.

The current owners of 7725 S. Quincy Ave. bought the property out of receivership in approximately 2010. They then undertook a multimillion-dollar renovation of the property to make it suitable for use as the National Headquarter for Tru Fragrance & Beauty LLC. A picture of the renovated building is attached. The owners of the property and Tru Fragrance are related parties, a very common structure for ownership of a building and leasing to a related entity.

Tru is a manufacturer and distributor of fragrance and cosmetic products, with offices throughout the United States, including an office in Manhattan in New York City. The multitude of administrative functions necessary to support a National Headquarters occur at the 7725 site. This includes front office work (account management, product development and sales), Back office support (IT, Accounting, and Human Relations), and Production (assembly of the cardboard shipping containers and individual fragrance and cosmetic boxes), quality assurance, warehousing, and shipping. No bottling, handling, or liquid products occur in Willowbrook but are handled at another site not within Willowbrook.

Tru Fragrance handles a variety of products, labels that it owns, manufactures and distributes, as well as products that are handled for third parties. Its line of products numbers into the hundreds and it is a nationally recognized leader in fragrance and cosmetic development, production, and distribution.

The renovations that were made to the 7725 facility make it a modern and very attractive site for Tru Fragrance by allowing it to serve as its National corporate Headquarters and combines some packaging assembly. The market for industrial building has improved significantly, and the Tru Fragrance facility, as well as its desirable location in Willowbrook, has

attracted the interest of Zilber Property Group, a long-term investor in quality industrial buildings. Zilber was established in 1949 and owns more than six million square feet of industrial, office, and retail space, primarily in the Milwaukee and Chicago markets.

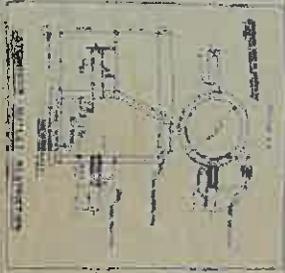
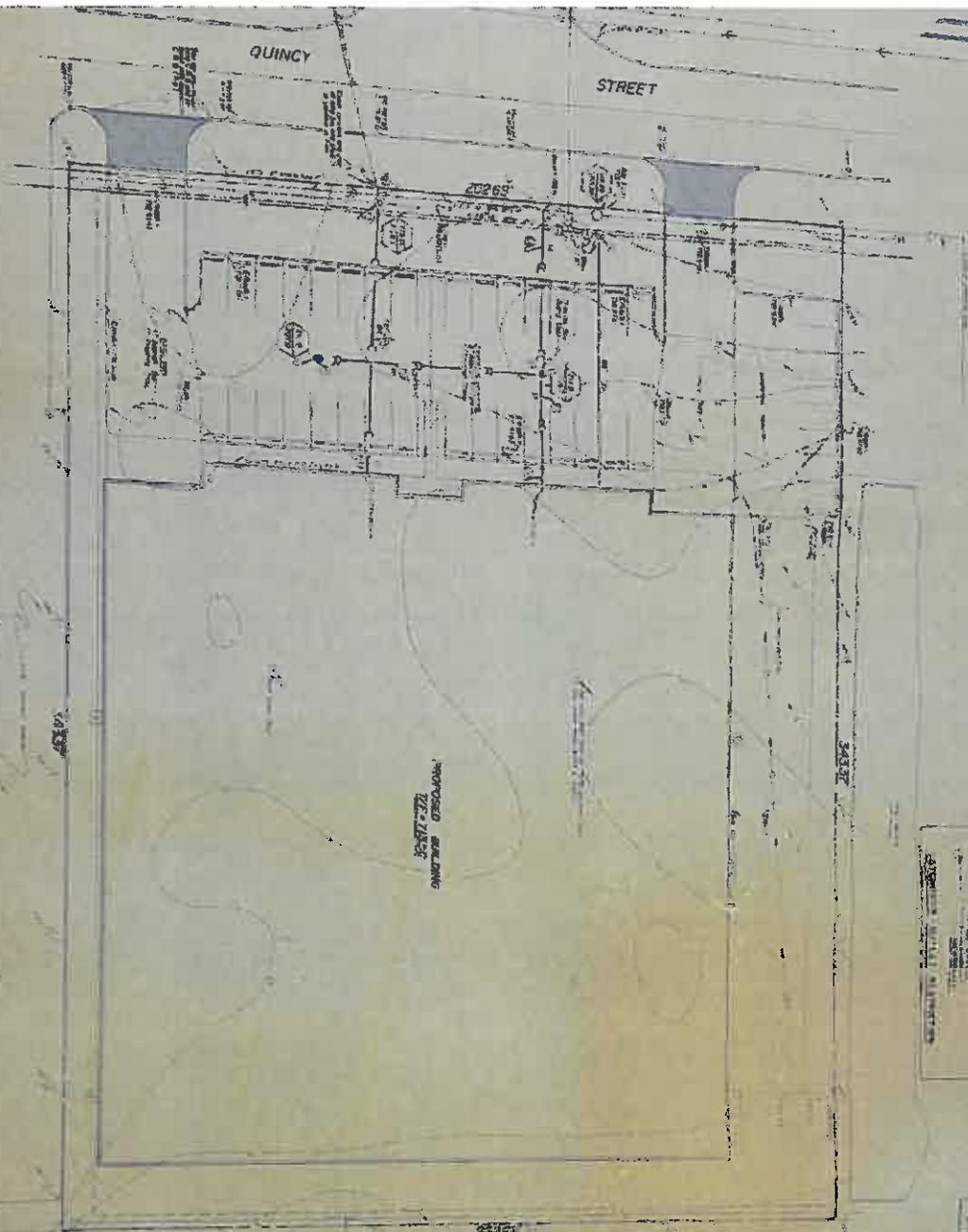
Zilber also provides leasing and property management services, for its own buildings as well as for third parties. They are well respected in the market place, and they have a well-established reputation, exceptional maintenance of their building, for focusing and exceeding on the expectations of their tenants.

They are continuing to expand their portfolio, and are continuing to acquire high quality industrial buildings that are consistent with their long-term investment philosophy. One of the attractive strategies they have undertaken is the sale and lease back, where they acquire an industrial property and maintain an existing high quality tenant, in this case Tru Fragrance, under a long term lease with multiple renewal options.

Their interest in Willowbrook is further recognition of the reputation that Willowbrook has established in the market place as a well-managed Village, with a positive growing reputation as a desirable partner for business. The fact that a substantial long term institutional investor sees Willowbrook as a very desirable locale is a reflection of the quality of the Village elected officials, Mayor and Trustees, its well qualified staff, and the efforts of its Plan Committee and Planning Staff to support, assist and maintain a welcoming and cooperative atmosphere for business activities within the Village. Notwithstanding Willowbrook's record of exceptional growth in recent years, it has been accomplished without compromising the goal to continue to quality enhance the overall quality of the businesses who reside in the Village. Petitioner believes attracting a long-term investment entity like Zilber is consistent with the long-term interests of the Village.

WAREHOUSE/OFFICE BUILDING

All dimensions are to USGS Datum



GENERAL NOTES

1. All dimensions are to USGS Datum.

2. The proposed building is shown in blue.

3. The existing building is shown in black.

4. The proposed parking area is shown in light gray.

5. The proposed driveway is shown in dark gray.

6. The proposed utility lines are shown in red.

7. The proposed street layout is shown in black.

8. The proposed site plan is shown in black.

- LEGEND**
- Proposed Building
 - Existing Building
 - Proposed Parking Area
 - Proposed Driveway
 - Proposed Utility Lines
 - Proposed Street Layout
 - Proposed Site Plan

PROPOSED NOTES

Compare with Chicago Code

Side Entry

WILLIAM BRONX (MARTIN) ARCHITECTS

CONSULTING CIVIL ENGINE



GEORGE B. ANDERSON AND ASSOCIATES



George B. Anderson, P.E.

Prop Warehouse/Office building

20' x 20' of Earthwork shown on Quincy St.

ALL DIMENSIONS ARE TO USGS DATUM



VILLAGE OF WILLOWBROOK BUILDING AND ZONING DEPARTMENT PERMIT

Application For Building And Use Permit

APPLICATION IS HEREBY MADE FOR PERMISSION FOR THE:
Erection of [X] Alteration of [] Addition to []

Warehouse OFFICE

7725 QUINCY STREET

On lot 23 block

in WILLOWBROOK EXECUTIVE PLAZA

In S.E. 1/4 Section 26 T. 38 N. R. 11 E of 3rd P.M. Twp

Estimated Valuation \$500,000.00 Dollars

Preliminary Fee \$

PLANS APPROVED
BY BUILDING & ZONING DEPARTMENT
VILLAGE OF WILLOW BROOK
BY FNO DATE 4/4/78
PERMIT No. 7839

(See Attached Sheet)

Owner TRUST #38150 / HARRIS TRUST & SAVINGS BANK
C/O Robert B. Fridstein
Address 1100 Jerie Boulevard Oak Brook, Ill. 60521 Tel. 325-6960
Architect THEODORE SENTE & ASSOCIATES
Address 4333 Transworld Road Schiller Park, 60176 Tel. 671-1500
General Contractor FRIDSTEIN & MURRAY CONSTRUCTION CO.
Address 1100 Jerie Blvd. Oak Brook, Ill. 60521 Tel. 325-6960

In consideration of the issuance of said permit, I agree that, in the erection and use of the structure covered by said permit, I will conform to the regulations set forth in the Willowbrook Zoning Ordinance, Willowbrook Health Ordinance and in the Willowbrook Building Ordinance, and I also agree that all work performed under said permit will be in accordance with the plans and plot diagram which accompanies this application, except for such changes as may be authorized by the Building Official, and that I will use the building only for the purpose of -

Rec. # 1, Rec. # 2,
Inspector, Signature of owner or authorized agent Robert B. Fridstein
PERMIT NO. 7839 Issued
House No., Tag No. Issued

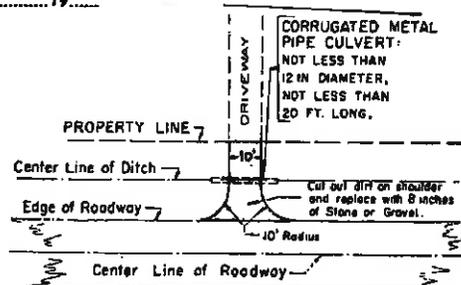
El. School D.
High School D.
F.P.D.

Fee # 1, \$ Paid Date 19
Fee # 2, \$ Paid Date 19

ENTRANCE DRIVEWAY PERMIT

In consideration of the issuance of said permit I agree that, in the construction and use of this entrance driveway, I will conform with the applicable regulations of the Willowbrook building Ordinance; all regulations and requirements of the highway authority having jurisdiction; and that all work will be performed in accordance with the sketch hereon drawn.

OWNER OR AUTHORIZED AGENT
Robert B. Fridstein

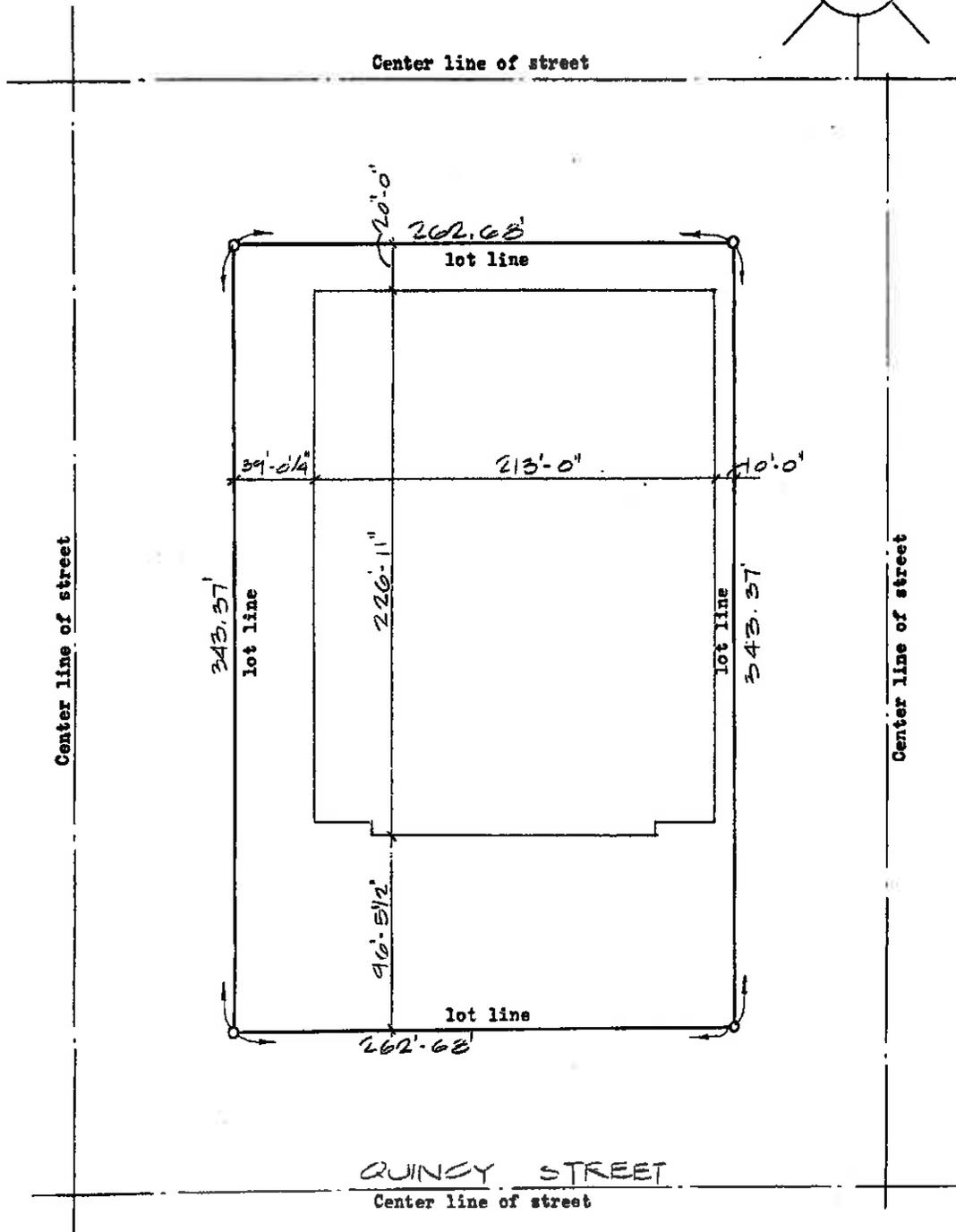
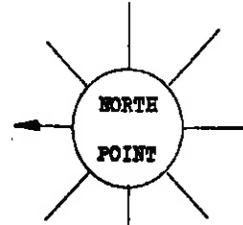


Permission is hereby granted to construct an entrance driveway on the property described in the above application upon the express condition that the owner of said property constructs the proposed improvement in a workmanlike manner in accordance with the conditions agreed upon

ALL INSPECTIONS REQUIRE A 24 HOUR NOTICE - VILLAGE OFFICE 323-8215

PLOT PLAN (Not to scale)

Show location of all buildings in reference to lot lines, dimensions of buildings, dimensions of property, and distance from lot boundary to center line of abutting street or streets.



OFFICE & WAREHOUSE FACILITY
7725 Quincy Street

April 4, 1978
Permit #7839

PERMIT FEES

Driveways	2@\$10.00	\$ 20.00
Plumbing	26 fixtures @\$2.00 Connection to water system	52.00
Electrical	Service - 600 amps 212 circuits @\$1.00 362 openings @ .20 22 motors @ 1.10	18.00 212.00 72.40 24.20
Mechanical	2 A/C units @ 5.00	10.00
Parking Lot	17,610 square feet @ .0025	44.00

Building Cubicle Content

Office	3210 x 8 = 25,680
Mezzanine	3210 x 9 = 28,890
Warehouse	44,675 x 12 = 536,100

TOTAL 590,670 cubic feet

100,000 x .01 = 1000
100,000 x .005 = 500
300,000 x .0025 = 750
90,670 x .0015 = 136

TOTAL	2386	2,386.00
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Review Charges		848.16
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Tap-On Fee		2,062.95
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Sewer Tap Inspection		10.00
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Water Tap Inspection		10.00
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Final & Certificate of Occupancy		<u>15.00</u>
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TOTAL FEES		\$5,784.71
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**VILLAGE OF WILLOWBROOK
PLUMBING INSPECTION DEPARTMENT
WILLOWBROOK, ILLINOIS**

PERMIT NO. 7839
PERMIT FEE \$52.00
Bond Approved: Yes No

APPROVED

BLDG. COMM 9/16 VILLAGE OF WILLOWBROOK
PLUMB. DEPT. ✓ 7221 MADISON
DATE 3-30-78 HINSDALE P.O.
CHECK JOB CONDITIONS WILLOWBROOK,
SUBJECT TO LOCAL ILLINOIS 60521
CODES AND ORDINANCES 312/323-8215

Application Filed: _____ 19 _____

Permission is hereby granted to:

(Contractor) C. J. ERICKSON PLUMBING CO.
(Address) 4141 W. 124th Place - Alsip, Illinois

to (install) ~~(repair)~~ plumbing on Lot 23
Block _____ Subdivision Willowbrook Executive Plaza
Street No. 7725 Owner WILLOWBROOK PARTNERS
Address 1100 Jorie Blvd. - Oak Brook, Illinois 60521

This permit is hereby granted with the understanding that the Contractor shall construct the work in accordance with the description set forth in the application, plans and specifications; and that all general and detail work connected with such installation, alteration or repair of any such plumbing, shall be done in strict compliance with the ordinances of the Village of Willowbrook.

It is hereby required that the plumbing contractor shall have completed the roughing in of the plumbing and shall have tested his work before requesting a plumbing inspection. The request for the inspection shall be made at least 24 hours in advance of such requested inspection. It shall be the duty of the plumbing contractor or his authorized agent to be in attendance at the time of inspection of the plumbing by the Building Inspector.

Should it be deemed necessary for the plumbing contractor to request an inspection other than the final inspection, such inspection shall be requested as outlined above. A fee of five dollars (\$5.00) shall be charged for each such added inspection, which fee shall be payable to the Village of Willowbrook.

The applicant hereby certifies to the correctness of the above and agrees to install, alter or repair the above plumbing in strict compliance with all provisions of the Plumbing Ordinance of the Village of Willowbrook and amendments thereto.

Signature _____ Signature Donald E. Seline
Owner or Approved Agent Plumbing Contractor - Donald E. Seline, V.P.
Address _____ Address 4141 W. 124th Place - Alsip, Illinois
State License #7635

FIXTURE SPECIFICATIONS

NO.	KIND	SIZE	SIZE OF WASTE	SIZE OF VENT	SIZE OF WATER
	Bath Tub				
	Shower Bath				
2	Automatic Water Heater	20 gal.			3/4"
	Automatic Dishwashers				
6	Lavatory	20 x 18	1 1/2"	1 1/2"	1/2"
	Dental Lavatory				
	Automatic Washer				
6	Toilets		4"	4"	1/2"
	Toilets with Flushometer				
	Kitchen Sink				
	Slop Sink				
	Water Softeners				
	Laundry Trays				
2	Urinals	18"	2"	2"	3/4"
2	Sump Pumps & Sewer Ejectors	2"	2"		
4	Floor Drains	4"	4"		
4	Others - EWC's		1 1/2"	1 1/2"	1/2"

SEWER AND WATER SPECIFICATION

Sewer Type Sanitary & Storm Size 6" sanitary and 10" storm
Water Service Domestic and Fire 8"

APPLICATION FOR PERMIT TO DO ELECTRICAL WORK

Village of Willowbrook

DuPAGE COUNTY, STATE OF ILLINOIS

DEPARTMENT OF BUILDINGS — BUREAU OF ELECTRICAL INSPECTION

THE PERMIT ISSUED ON THIS APPLICATION WILL AUTHORIZE ONLY
WORK SPECIFIED. CONTRACTOR MUST GIVE COMPLETE
INFORMATION AS INDICATED BELOW:

JOB INFORMATION — PLEASE PRINT — FOUR (4) COPIES

Location 7725 Quincy Street
Number and Street of Installation — Specify: North, South, East, or West
Street Corner Locations Not Acceptable

Willowbrook Partners Harris Trust - under Trust #38150
Owner or User

Room No. _____ Floor _____

Near what streets _____

ACE ELECTRIC CONSTRUCTION, INC.

Person, Firm or Corporation doing work

4527 N. Ravenswood Avenue

Street Address

Chicago

Illinois

Town

State

Steve Amiskovaty
Supervising Electrician (Written Signature)

C-2005

State License Number

Village License Number

Bonding Company & Bond Number

Remarks:

PLANS APPROVED
BY BUILDING & ZONING DEPARTMENT

VILLAGE OF
WILLOW BROOK

BY JNP DATE 4-4-78

PERMIT No. 7839

Date 4/1/78

Permit No. 7839

Work to be Commenced 5/1/78

Work to be Completed 11/15/78

CHECK TYPE WORK APPLIED FOR

Signs Fee

No. of Signs		Fee
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POWER

Number Total H.P. Fee

Appliances	10	20KW	
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Motors	18	62	
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Fee

40	Circuits		
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56	Openings		
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2	Services	200 ampere	
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Other

New Building

TOTAL FEE: _____

Approved:

Building Commissioner



Village of Willowbrook Staff Report to the Plan Commission

Public Hearing Date:	July 20, 2016 (Special Meeting)															
Prepared By:	Anna Franco, Planning Consultant															
Case Title:	16-10: Holmes Elementary School Modular Classrooms, 5800 South Holmes Avenue, Clarendon Hills, Illinois 60514															
Petitioner:	Maercker School District 60, 1 South Cass Avenue, Suite 202, Westmont, IL															
Action Requested by Applicant:	Consideration of a petition for approval of an amendment to an existing special use for a variations from Title 9 of the Village Code to allow the location of two (2) temporary modular outdoor classrooms at the property commonly known as Holmes Elementary School, in the R-1 Zoning District															
Location:	Northwest corner of 58 th Place and Holmes Avenue, south of Christian Church of Clarendon Hills															
Existing Zoning:	R-1 Single Family Residence District															
Existing Land Use:	Elementary School															
Property Size:	4.13 acres															
Surrounding Land Use:	<table border="1"><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>Christian Church of Clarendon Hills</td><td>Village of Clarendon Hills</td></tr><tr><td>South</td><td>58th Plaza</td><td>58th Plaza</td></tr><tr><td>East</td><td>Holmes Avenue</td><td>Holmes Avenue</td></tr><tr><td>West</td><td>Single Family Residential</td><td>Unincorporated</td></tr></tbody></table>		Use	Zoning	North	Christian Church of Clarendon Hills	Village of Clarendon Hills	South	58 th Plaza	58 th Plaza	East	Holmes Avenue	Holmes Avenue	West	Single Family Residential	Unincorporated
	Use	Zoning														
North	Christian Church of Clarendon Hills	Village of Clarendon Hills														
South	58 th Plaza	58 th Plaza														
East	Holmes Avenue	Holmes Avenue														
West	Single Family Residential	Unincorporated														
Documents Attached:	<ol style="list-style-type: none">1. Standards for Special Use Permit, dated 06/23/16 (2 Sheets)2. Standards for Variations, dated 06/23/16 (2 Sheets)3. Site Plan, dated 06/23/16 (1 Sheet)4. ALTA/NSPS Land Title Survey, dated 01/02/02 (1 Sheet)5. 2002 Architectural Site Plan, dated 01/02/02 (1 Sheet)6. Engineering Plans, dated 06/06/16, (5 Sheets)7. Landscape Plan and Protection Plan, dated 06/23/2016 (1 Sheet)8. Architectural Elevations, dated 05/30/07 (14 Sheets)9. Construction Schedule, no date (1 Sheet)10. Summary of Costs, no date (1 Sheet)11. Parking Agreement with Christian Church of Clarendon Hills (1 Sh)12. Existing Special Use Ord. No. 02-0-06 (10 Sheets)															
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.															

Staff's recommendation and a sample motion can be found on page 11.



Site Description

The property is located at the northwest corner of Holmes Avenue and 58th Place in Willowbrook. Although the property has a Clarendon Hills address, it is incorporated in the Village of Willowbrook. The subject property is bordered by Christian Church of Clarendon Hills to the north (incorporated to Clarendon Hills), unincorporated single family residential to the west, 58th Place to the south, and Holmes Avenue to the east. Land uses across Holmes Avenue and 58th Place include a combination of incorporated and unincorporated single family residential homes (as shown in *Exhibit 2*).

Exhibit 1 Site Location



The site is a total of 4.13 acres and contains an existing +/- 52,870 sq. ft. building commonly known as Holmes Elementary School (part of Maercker School District 60). The building is used solely for school instruction for children in grades pre-kindergarten through second grade. The site contains a paved play area, a playground, nine (9) overnight bus parking stalls, and sixteen (16) parking spaces. The property has a lot depth of +/- 603 feet, with +/- 264 feet of frontage along Holmes Avenue and +/- 603 feet of frontage along 58th Place. The main entrance to the building and a school drop-off area is located on the east side of the building off of Holmes Avenue.



Exhibit 2 Adjacent Zoning

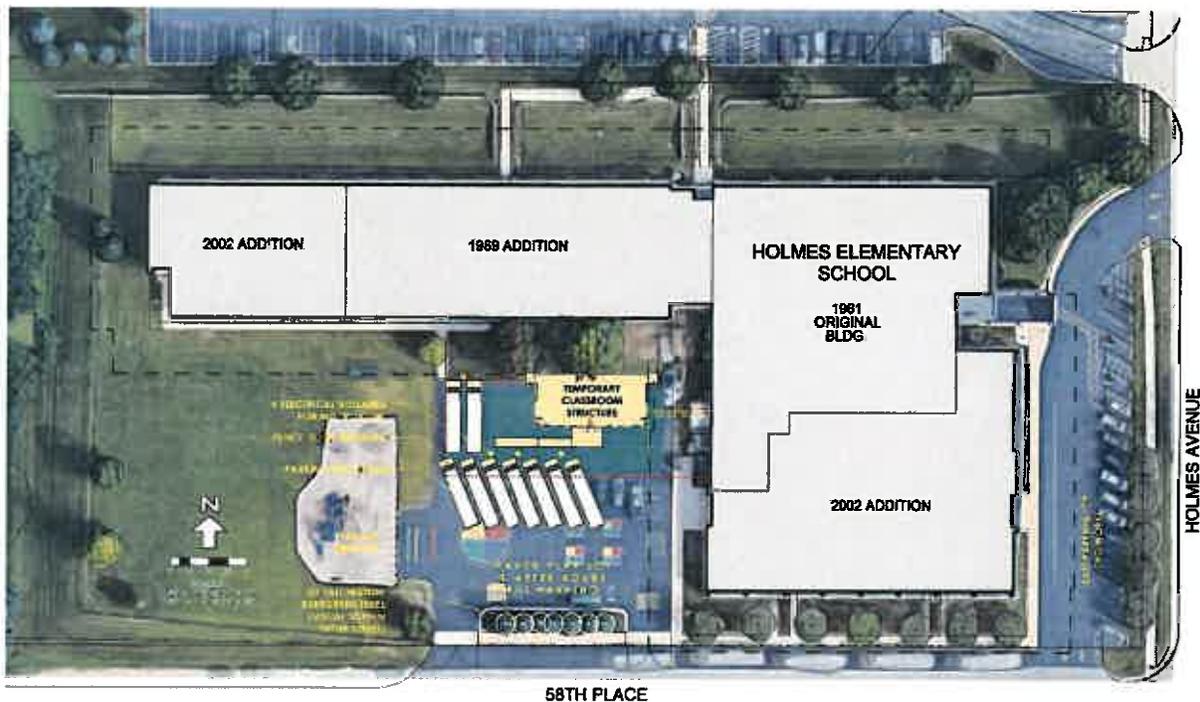


Development Proposal

Overview

Maercker School District 60 is requesting approval to place two (2) temporary modular classrooms outside at Holmes Elementary School, located at 5800 South Holmes Avenue, Clarendon Hills. The modular classrooms will be used for school children of three (3) to five (5) years of age to meet the requirements of the state mandated Individualized Education Plan (IEP) program. Maercker School District will have a three (3) year lease of the modular classrooms, which will be placed in an area that is currently used for overnight school bus parking. The overnight bus parking will remain on the site and be relocated just south of the modular classrooms (please see *Exhibit 3* below).

Exhibit 3 Proposed Site Plan



Individual Education Plan (IEP) Requirement

Maercker School District 60 is required by law to provide educational services to the three (3) to five (5) year old population identified with special needs and that require an Individual Education Plan (IEP). These children are identified through pre-school screening conducted by Maercker School District 60 staff. The children are also referred to the School District through Child Find services. As soon as a child turns three (3) years old and is identified as requiring special services, the School District must meet the child's needs.

As a result of the required preschool screenings, the number of students requiring early childhood services in the fall has grown significantly. The School District was unaware of the number of children until the screenings were conducted in late Spring. In the previous school year, the School District utilized space at the Christian Church for this need, but unfortunately that space is not available for the coming school year. The law prohibits class sizes from exceeding ten (10) special needs students per classroom, and the number of students coming



to the School District in the Fall require additional classroom space that the School District does not have available in the school building.

Long Term Solution

The School District is investigating permanent options for the location of the early childhood program; including, but not limited to, construction of a new facility. An expenditure of this nature would require adequate time to vet appropriate options, secure funds, and design and construct a facility. Since the needs of the students are immediate, the School District is requesting approval to install the temporary structure at Holmes Elementary School.

About Maercker School District 60

Maercker School District 60 is a school district located in DuPage County, Illinois, and has an enrollment of approximately 1,350 children in pre-kindergarten through eighth grade. Geographically, the District covers 3.5 square miles and has approximate boundaries as follows: 55th Street on the north; 67th Street on the south; Madison Street in Hinsdale, on the east; and Williams Street, the boundary between Westmont and Downers Grove, on the west. The District encompasses a portion of the Villages of Westmont, Willowbrook, Clarendon Hills, Darien, Hinsdale and unincorporated DuPage County.

The educational needs of students are met in programs housed in three (3) District schools:

1. **Holmes Primary School** serving children in pre-kindergarten, kindergarten, first, and second grade
2. **Maercker Intermediate School** providing educational services for children in third, fourth, and fifth grades
3. **Westview Hills Middle School** serving the educational needs for children in sixth, seventh, and eighth grade

Upon completion of the eighth grade, Maercker School District students attend high school in either Hinsdale High School District 86 or Downers Grove High School District 99.

Summary of Variances Requested

The purpose of this public hearing is to consider a petition requesting approval of an amendment to an existing special use for the following variations:

1. Variation from Section 9-10-5 (K) to reduce the requirement for onsite parking from one (1) space per employee to sixteen (16) spaces.
2. Variation from Section 9-10-5 (B) to allow off-site parking on an adjacent lot with an existing use.
3. Variation from Section 9-10-5 (O) to allow nine (9) overnight bus parking stalls on the subject property.



Staff Analysis

Property History & Special Use

Holmes Elementary School was originally approved and constructed in DuPage County in 1961 and the first building addition was completed in 1969. In association with a second building addition, the subject property was annexed to the Village of Willowbrook in 2002. A Special Use Permit was granted to allow a school on the subject property, per Section 9-5A-2 of the Village code, and approved variations related to the second building addition.

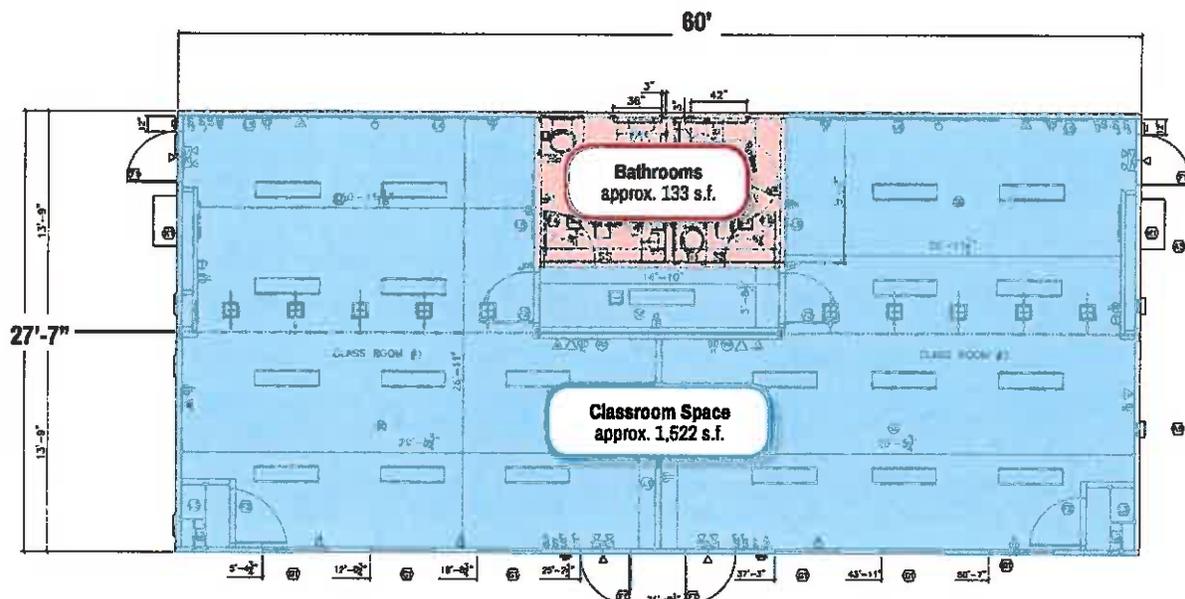
Timeline:

- 1961** - Approval through DuPage County and Initial Construction
- 1969** - First Building Addition
- 2002** - Annexation to the Village of Willowbrook (02-R-25, 02-O-05)
 - Special Use Approval (02-O-06)
 - Plat of Easement (02-R-26)
 - Second Building Addition

Modular Classrooms

The modular classrooms have a combined total length of sixty (60') feet and width of 27'-7". The total combined footprint is approximately 2,130 square feet, including the ramp and two (2) staircases, with approximately 1,522 of that dedicated to instructional space.

Exhibit 4 Modular Classroom Floor Plans





The two (2) modular classrooms will be located side-by-side on the existing paved overnight bus parking area, approximately thirty (30) feet from each wall of the existing building. The units will be accessible via a ramp (to meet ADA standards) on the south side of the units and a staircase on the west and east side of the units. As illustrated in the attached architectural elevations (*Attachment (8) Architectural Elevations*), the modular classrooms will be oriented so that the main entry door and windows face south toward 58th Place. The exterior building materials will consist of grooved, cement fiber vertical siding. Additionally, four (4) new painted, steel bollards with electric will be located just south of the modular classrooms and replace the existing bollards on site. The bollards will act as a barrier between the overnight bus parking and the temporary classroom units.

Exhibit 4 Proposed Modular Classroom Unit



Bulk Requirements

The property is zoned R-1 (with a Special Use). A detailed discussion of important bulk exceptions and variations as it relates to the modular classrooms is provided below.

1. **Height.** The maximum height of a building in the R-1 zoning district is 35'. The total height of the modular classrooms will be between 12' to 13' when installed.
2. **Building Setbacks.** The required and proposed minimum setbacks are shown in *Table 1* below. The proposed modular classrooms are in conformance with the Village's required R-1 District front, interior side, and rear yard setback requirements.

Table 1 Building Setbacks

Yard	Description	Required	Provided	Variance
Front	From Holmes Avenue	Min. 60'	Approx. 251'	none
Interior Side	From Christian Church of CH	Min. 15'	Approx. 161'	none
Exterior Side	From 58 th Place	Min. 50'	Approx. 83'	none
Rear	From unincorporated residential	Min. 50'	Approx. 287'	none

3. **Maximum Lot Coverage.** The proposed modular classrooms are being constructed on existing pavement. Therefore, the subject property's lot coverage is unchanged.



4. Pavement Setbacks. No new pavement or other impervious surfaces are being proposed.
5. Foundation Setbacks. Staff is not applying this standard as the structure is only temporary.

Employee & Visitor Parking

Non-Conforming Parking

The parking for the site is currently not in conformance with the approved Special Use for the property. The property currently provides sixteen (16) existing parking spaces along the east property line near the main entrance to the school, two (2) of which are accessible parking spaces. The Special Use for the property (approved in 2001) originally approved a total of forty-two (42) spaces. The twenty-six (26) missing spaces were located at the paved area along 58th Place, which also includes the nine (9) bus parking stalls and children’s playground painting. However, repaving occurred sometime between 2012 and 2013 (according to Google Earth historical aerials) and while the children’s playground painting and the bus parking remain, the parking spaces were never restriped.

Code Conformance

According to Maercker School District, Holmes Elementary School employs approximately fifty-nine (59) employees. According to the Village Code, per Section 9-10-5 (K), one (1) parking space for each faculty member plus one (1) parking space for each full time employee is required (Please reference *Table 2* below). That is essentially one (1) parking space for each employee.

Table 2 Parking Breakdown

Use	Employees	Code Requirement	Required	Provided	Variance
Elementary School	59 employees	One (1) parking space for each faculty member plus one (1) for each other full time employee	59 spaces	16 spaces	yes

Even if Holmes School were to restripe the paved area off of 58th Place to be in conformance with their special use, they would still be seventeen (17) parking spaces short per the Village Code and what is necessary for daily parking needs.

Due to the shortage of on-site parking, Maercker School District has an arrangement with Christian Church of Clarendon Hills (located directly north of the subject property), for off-site parking. Their property has a total of 229 parking spaces. Until recently, shared parking was only a verbal agreement, but the School District and Church will enter into a one-year written agreement, starting July 2016 (*Attachment 11*).

Staff supports the agreement for off-site parking for the following reasons:

Location – The Church’s parking lot is conveniently located and easily accessible by all relevant users of Holmes School. The School has ensured easy access to and from the parking lot via two (2) walkways to the north side of the school.

Peak Parking Hours Coordination – Off-peak and peak hour parking schedules between the Church and the School directly coincide. On weekdays, peak parking hours occurs between the hours of 8:00 am and 4:00 pm, while the Church’s main activity, and thus peak parking occurs after 5pm. On



weekends, the Church lot operates at peak conditions due to higher activity, while Holmes School has virtually no parking needs on the weekends.

Efficient Use of Existing Parking Infrastructure – The use of the Church parking lot preserves the blacktop for recreational space on the Holmes School property. Additionally, the off-site parking agreement avoids the creation of new impervious surfaces on the Holmes Schools site.

History of Successful Partnership – Maercker School District and Christian Church of Clarendon Hills already have a successful history of shared parking on the Church lot. According to School Officials, Holmes School employees have been parking on the Church lot since 2002, perhaps even longer, and without a written agreement. The written parking agreement should further secure this successful partnership.

Parking Variations

To allow the parking arrangement to occur, the applicant is requesting an amendment to their existing special use for a variation from Section 9-10-5 (K) to reduce the requirement for onsite parking from one (1) space per employee to sixteen (16) spaces, and a variation from Section 9-10-5 (B) to allow off-site parking on an adjacent lot with an existing use.

Overnight Bus Parking

Maercker School District currently provides nine (9) overnight bus parking stalls on the paved area off of 58th Place. The buses leave at 7:00 am before students arrive for the school day and park overnight from 4:30 pm to 7:00 am the next morning.

Relocation & Configuration

Maercker School District's original plan was to relocate the buses to another Maercker School District 60 location, however, the School District has had a difficult time finding an alternate parking location within the tight timeframe. Maercker School District is therefore proposing to retain the existing overnight bus parking on the paved play area at Holmes School, but relocate the stalls just south of their original location to accommodate the proposed modular classrooms.

The bus parking stalls are being proposed with a diagonal parking configuration for the easiest maneuverability. The two (2) additional parking stalls west of the modular classrooms are "spare" bus parking stalls. These buses will remain parked throughout the day.



Exhibit 6 Overnight Bus Parking Configuration



Exhibit 7 Future Overnight Bus Parking

Fence Removal

A black wire 8'-6" fence currently encloses the bus parking stalls to help prevent vandalism to the buses. However, the fence will be removed due to the proposed placement of the modular classrooms and the relocation of the bus parking stalls. The fence will not be relocated as it would block access from the school building to the playground.

Overnight Bus Parking Variation

The existing overnight bus parking is currently not allowed per Village code Section 9-10-5 (O), which states:

"The outdoor storage or parking of any vehicles requiring a state vehicle license greater than a class B, or any vehicle in excess of eight thousand (8,000) pounds as regulated by the state, or buses designed for more than sixteen (16) occupants, is prohibited within all residential districts.

To allow overnight bus parking on the property, the applicant is requesting an amendment to their existing special use for a variation from Section 9-10-5 (O) to allow nine (9) overnight bus parking stalls on the subject property.

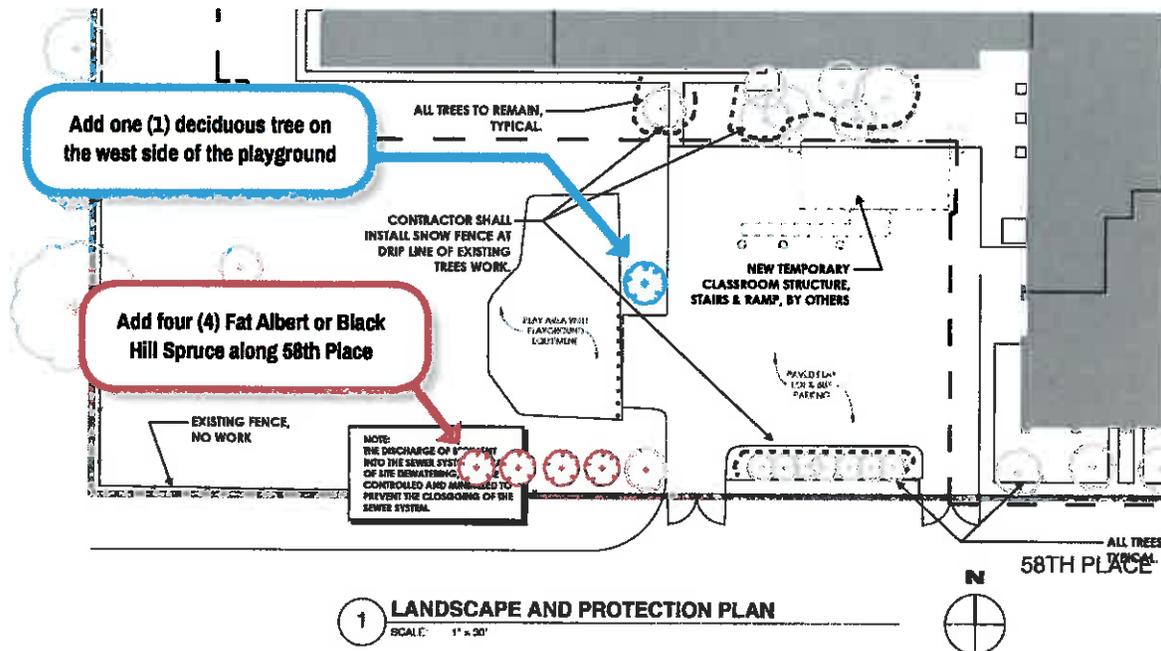
Landscaping

The appearance of the modular classrooms and overnight bus parking to nearby residents is one of Staff's chief concerns regarding the applicant's proposal. Currently, seven (7), twenty (20) foot evergreen trees along 58th Place provide ample screening for the two (2) homes directly across from the paved area where the classrooms and bus are to be located. However, little screening is provided for those homes who can view the paved area at an angle.

The Landscape Plan submitted by the applicant does not propose the removal of any of the existing trees on the subject site. However, the Landscape Plan does not propose any new landscaping to provide screening of the modular classrooms and the overnight school bus parking. As a condition of approval, Staff is requiring the addition of four (4) evergreen trees along the south property line, at an install height of at least eight (8) feet as well as one (1) deciduous tree near the playground area, to provide additional screening. Staff is recommending a deciduous tree near the playground, as opposed to an evergreen, as a somewhat unobstructed view of the playground from the building may be necessary for faculty.



Exhibit 8 Landscape Plan Changes



Traffic Concerns

At the June 8th, 2016 Plan Commission meeting, Staff informed Plan Commissioners in attendance of the Maercker School District's upcoming request for temporary modular classrooms. During the discussion that ensued, Plan Commissioners expressed deep concerns regarding morning and afternoon traffic related to the drop-off and pick up of Holmes School students. According to reports, backs up occur along North Avenue just north of the school due to drop-off congestion. In an effort to allow better circulation and to disallow attempts to "cut" the drop off line, "no left turn" signs were installed at the eastbound 58th Place stop sign and at the north bound drop off entrance.

While further investigation of these traffic conditions is desired, school is currently not in session and any traffic analysis conducted will be inaccurate. Staff is not requiring the applicant to submit a traffic study as part of their request for the same reason.

Utilities

The applicant is proposing new sanitary, water, and electric infrastructure to service the modular classrooms. Please see *Attachment (6)*, Engineering Plans, for additional detail.

Sanitary - The applicant will saw cut existing asphalt to route new underground 4" sanitary pipe to service the modular classrooms. The new piping will connect to existing underfloor sanitary on the property. A sanitary connection inside the building will require a Flagg Creek permit.

Water - A new underground 1 1/4" domestic cold water pipe is to be routed to connect the modular classrooms with the existing underground 3" domestic cold water piping that runs through the site.

Stormwater - Because no new impervious surface is being proposed, and because the utility work is only a temporary impact, the applicant will not require a DuPage County Stormwater permit for their request.



Electric – Electric for the modular classrooms will run east from the temporary structure to the existing school building at 18” below grade. New exterior and interior pull boxes will be mounted on the building at an inaccessible height.

Standards for Special Use Permit

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the special use permit. The applicant’s responses are provided in *Attachment (1)*.

Standards for Variations

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant’s responses are provided in *Attachment (2)*.

Staff Recommendation

Maercker School District is required by the state mandated IEP program to provide special services for children three (3) to five (5) years of age identified with special needs. Up until this school year, the School District was able to use space at the Christian Church of Clarendon Hills for instructional space; however, this space is not available for the coming school year.

While Staff does not desire a hasty decision regarding the School District’s request, Staff understands that the School District has been put in an onerous situation in trying to provide space for the state mandated early childhood program. If a vote is delayed to an August Plan Commission meeting, the modular classrooms will not be installed on the property prior to the first day of school on August 24th, which is the intended goal.

Therefore, Staff supports the requested special use amendment and variances and recommends the Plan Commission approve the following sample motion:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for special uses and variations as shown in Attachments 1 and 2 of the staff report prepared for the July 20, 2016 Plan Commission for PC 16-10, and recommend approval of an amendment to the existing special use to allow a variation from 9-10-5 (K) to reduce the minimum required on-site parking spaces, a variation from 9-10-5 (B) to allow off-site parking on an adjacent lot with an existing use, and a variation from 9-10-5 (O) to allow nine (9) overnight bus parking stalls, to allow two (2) temporary modular classrooms on the subject property, subject to the following conditions:

- 1. Additional landscaping, including four (4) evergreen trees and one (1) deciduous tree, shall be added to the Landscape Plan, and that the Landscape Plan shall be prepared per Village code requirements.**
- 2. Construction and maintenance of the modular classrooms shall at all times be in substantial compliance with the plans identified in the attachments of the July 20, 2016 staff report for PC 16-10.**



Attachment 1

Special Use Standards and Findings for PC 16-10 Holmes School Modular Classrooms

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The Maercker School District affirms that the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The school district puts a high value on the safety of its students and staff and by extension, the general public.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: The Maercker School District affirms that the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

- i. Temporary Structure: The school district is seeking to make as little change as possible. By setting the temporary structure as far back from the side yard as possible we feel they can accomplish this goal.
- ii. Car and Bus Parking: The proposed parking variations represent no change in the current or past practice regarding car and bus parking since prior to the original 2002 Special Use Permit and annexation.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: The Maercker School District affirms that the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for use permitted in the district.

- i. The use of the Temporary Structure is in keeping with the use of the existing school and will have little impact on the surrounding properties.
- ii. The Car and Bus Parking variations will present no change to past practices.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: The Maercker School District affirms that adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

- i. The proper utilities have been professionally engineered.
- ii. There are no proposed changes regarding site access, site drainage or impervious surfaces.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.



Finding: The Maercker School District affirms that adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The proposed Use does not represent any significant change to the current traffic or parking routines on the surrounding public streets.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is isolated, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: The Maercker School District affirms that the special use shall in all other respects conform to the applicable regulations of the district in which it is located except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Finding: The Maercker School District affirms that conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site.

- i. The change (growth) in student enrollment created by the State mandated Early Childhood program has created the need for the temporary structure.
- ii. Car and Bus Parking use has not changed since prior to the 2002 Special Use Permit. The school district is seeking to make as little change in this regard as possible, but merely maintain their current operations.
- iii. The school district has not petitioned the village for a Special Use Permit in the last year.



Attachment 2

Variation Standards and Findings for PC 16-10 Holmes School Modular Classrooms

9-14-4.5: Standards for Variations

The Plan Commission shall not recommend and the Board of Trustees shall not grant variations from the regulation of this title unless affirmative findings of fact shall be made as to all of the standards hereinafter set forth, which findings of fact shall be based upon evidence adduced upon the hearing held thereon, that:

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

Finding: The property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district under the current Special Use Permit. The "returns" are defined in this situation in terms of student wellbeing and the school districts' ability to continue to provide a satisfactory educational environment and enhancement education programs.

- i. Temporary Structure: The proposed variance to install a Temporary Structure would permit the school district to meet the growing enrollment needs resulting from increasing State of Illinois mandated Early Childhood requirements.
- ii. Car Parking: The proposed variance to relieve the district of providing on site automobile parking will further allow the school district to provide adequate play area for the general population of students as well as students with special needs.
- iii. Bus Parking: The proposed variance to permit buses to continue to park in the south lot as they have since prior to the 2002 annexation and Special Use Permit is essential to the school districts' continued success and maintenance of their services to the students within the district.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

Finding: The proposed variation will alleviate hardship for classroom space and bus parking:

- i. Temporary Structure: No other off-site facility has been found that meets the school districts need for their students without undue costs and division of staff resources.
- ii. Car Parking: The school district has a long-standing agreement with the adjacent church to the north to utilize parking for the school's staff during regular school days and for parent and visitors during special events. This agreement allows the students to utilize the paved play areas as well as the grass & mulch play areas.
- iii. Bus Parking: Allowing the continued parking of the buses on the paved lot outside of school hours will alleviate the burdening high cost of leasing off-site space for these vehicles.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

Finding: The hardship has not been created by any person having a proprietary interest in the school. The school district has no proprietary interest in the property.



- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

Finding: The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

- i. Temporary Structure: will be well within the property boundaries and far away from any neighboring properties.
- ii. Car & Bus Parking: the current parking agreement with the church will continue to be maintained. The parking and bus situation will remain as it has since prior to the 2002 Special Use Permit and annexation.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

Finding: The proposed variations will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, substantially increase the danger of fire, or endanger the public safety.

- i. Temporary Structure: will be set far away from any neighboring properties and will not reduce the amount of air or light to adjacent properties. This structure will meet all applicable building codes, electrical codes, fire codes
- ii. Car & Bus Parking: the current parking agreement with the church will continue to be maintained. The parking and bus situation will remain as it has since prior to the 2002 Special Use Permit and annexation.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

Finding: The proposed variation will not alter the essential character of the locality.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

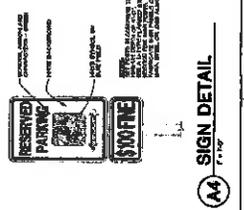
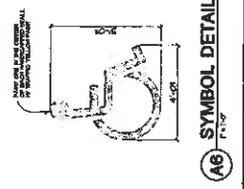
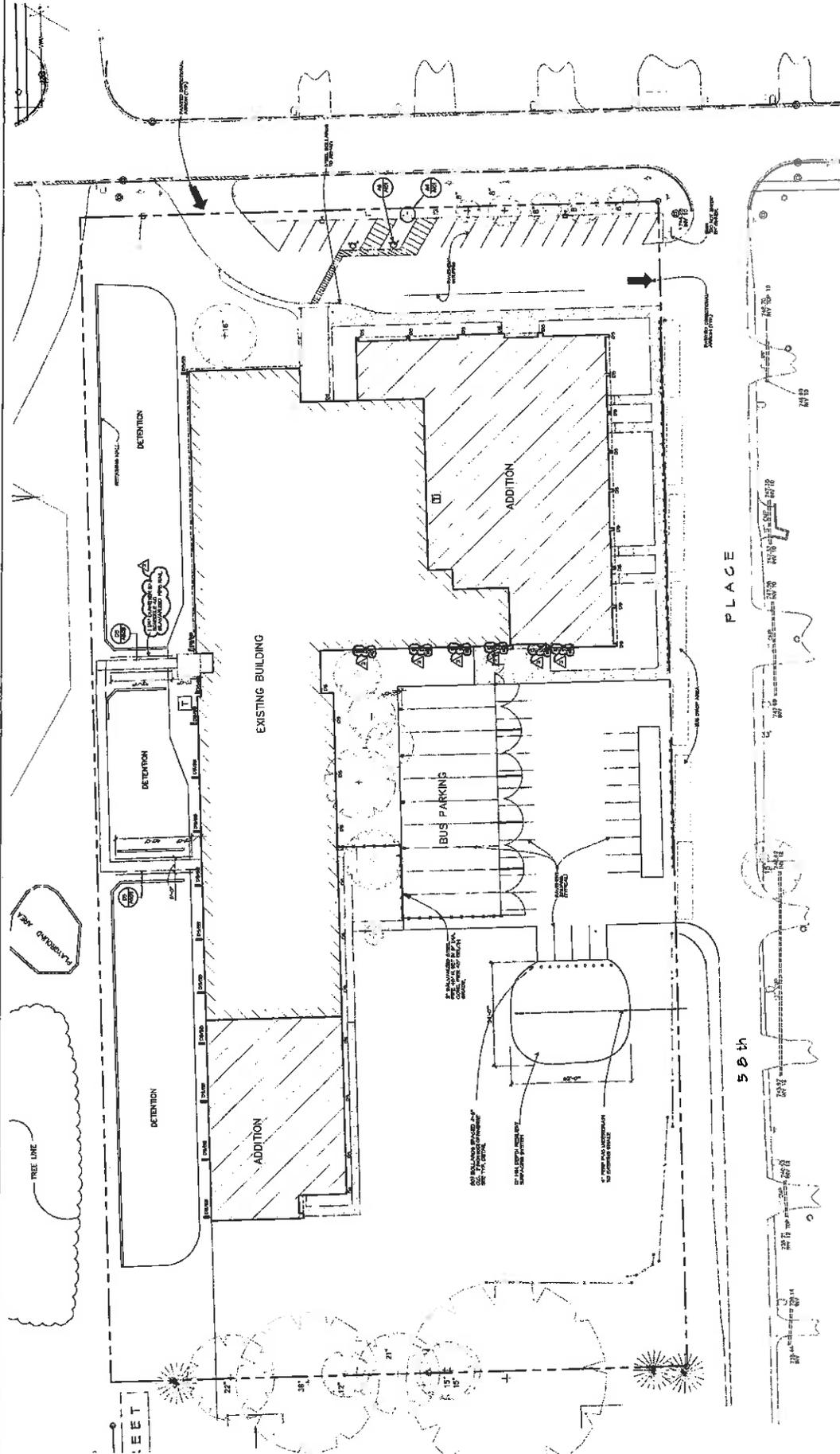
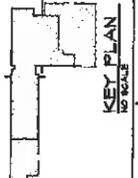
Finding: The proposed variations are in harmony with the spirit and intent of Title 9 of this Code

- i. The proposed variations will allow the school district to meet the State requirements for Early Childhood education and further maintain the high standard of education the community it serves has come to expect.
- ii. The proposed variations will not negatively impact the adjacent properties.

Architecture
Ruck/Pate
 1000 N. LAUREL
 CHICAGO, IL 60610
 TEL: 312.467.1000
 FAX: 312.467.1001
 WWW: RUCKPATE.COM

HOLMES ELEMENTARY SCHOOL
 1800 HOLMES AVENUE
 CLAYTON HILLS, ILLINOIS 60514

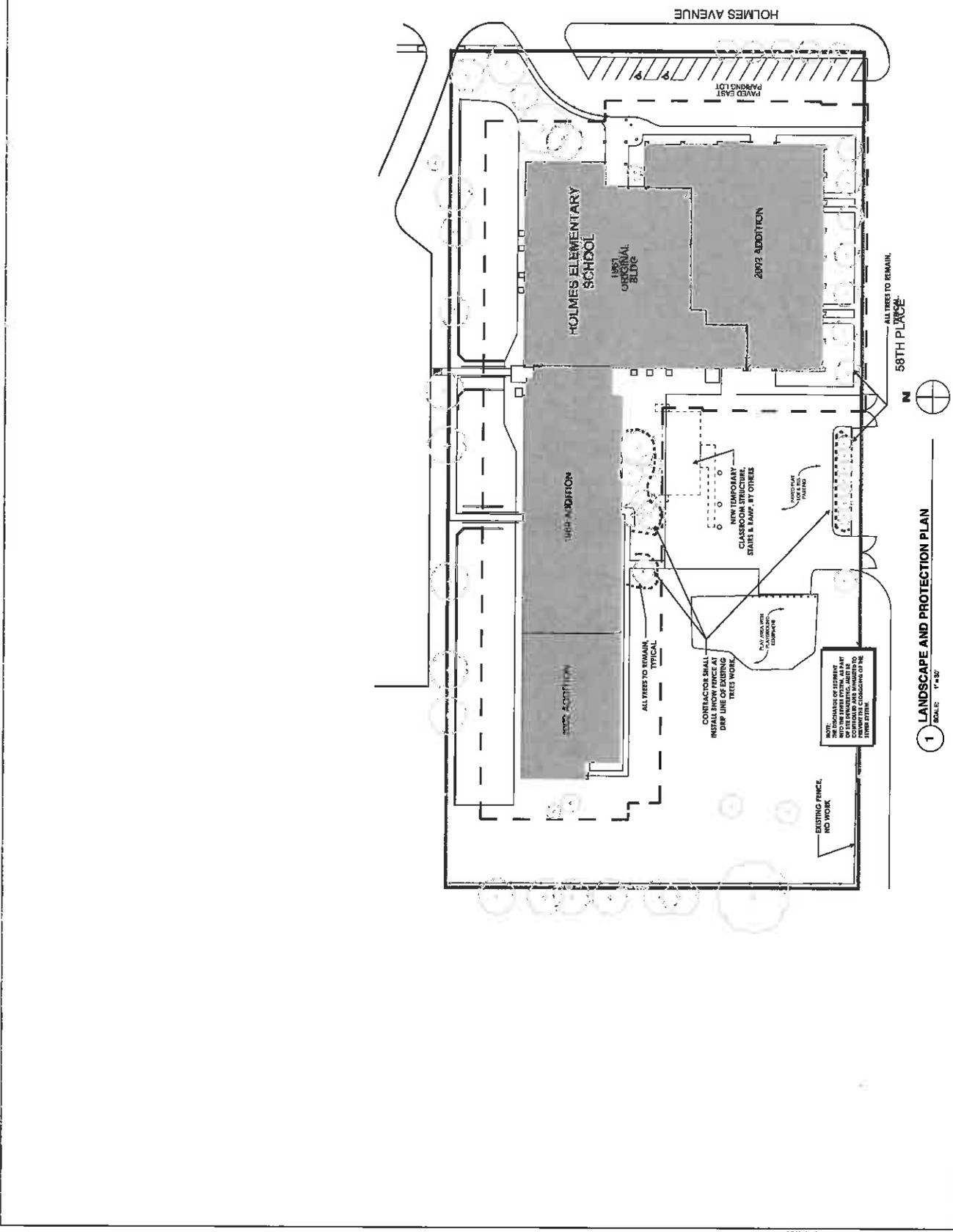
ARCHITECTURAL SITE PLAN



B4 SITE PLAN
1/8" SCALE

HOLMES SCHOOL
 1-STORY BRICK BUILDING
 20,770 SQ. FT. (ADDITIONS)
 53,702 SQ. FT. (TOTAL GROSS)
 179,433 SQ. FT. (TOTAL SITE)
 42 PARKING SPACES

1" = 100'



1 LANDSCAPE AND PROTECTION PLAN
 SCALE: 1" = 30'

TEMPORARY CLASSROOM TO RECEIVE NEW COAT OF PAINT ON SIDING, DOORS & TRIM



TEMPORARY CLASSROOM TO BE RELOCATED TO HOLMES ELEMENTARY SCHOOL

WOOD STAIRS AND RAMP AT EXISTING LOCATION NOT TO BE RE-USED AT HOLMES E.S.



EXAMPLE OF ALUMINUM STAIRS AND RAMPS BEING PROVIDED

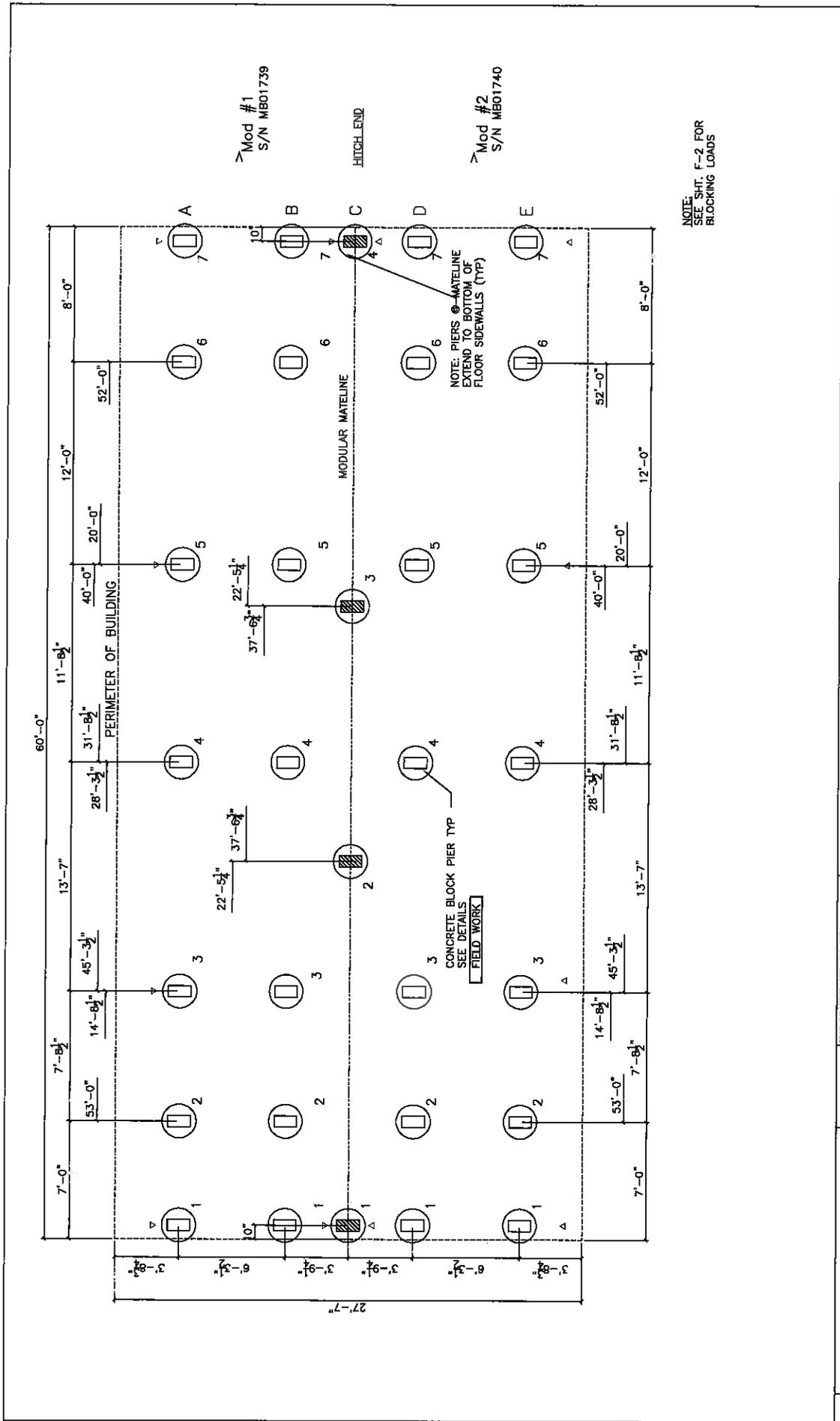
AREA OF UNIT

Temporary Unit:	1,660 sq. ft.
Ramp:	370
Stair (east):	50
Stair (west):	50
	<hr/>
	2,130 sq. ft.

CONSTRUCTION DRAWINGS AND SPEC'S
by INOVATIVE MODULAR SOLUTIONS

SHEET INDEX:

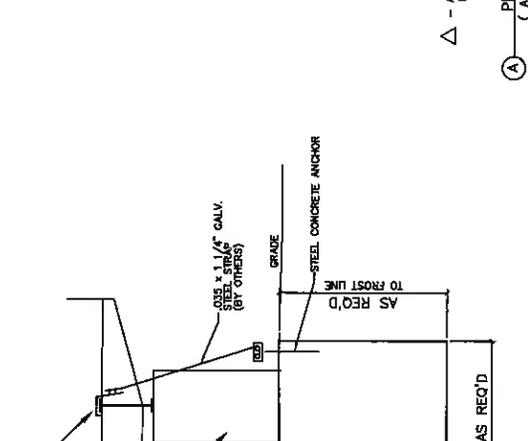
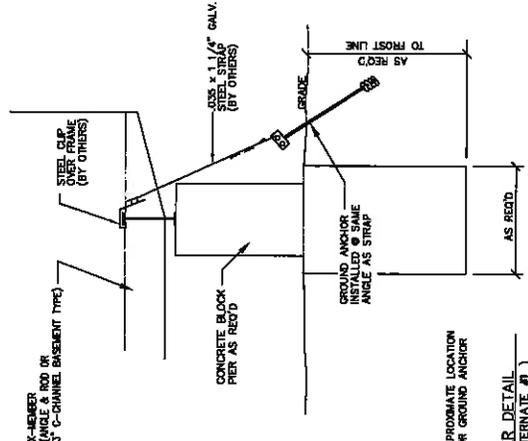
- COVER: PHOTO OF EXISTING UNIT & METAL STAIR
- A1 - BUILDING ELEVATION
- A2 - FLOOR PLAN
- F1 - FOUNDATION PLAN
- F2 - FOUNDATION DETAILS
- S1 - CROSS SECTION
- M1 - MECHANICAL PLAN
- P1 - PLUMBING SCHEMATICS
- E1 - ELECTRICAL PLAN SPECIFICATIONS



NO.	REVISION	DATE

<p>THIS DRAWING AND ALL INFORMATION OF WHITLEY APIS, CO. INC. AND IS NOT TO BE REPRODUCED WITHOUT THE EXPRESS PERMISSION OF WHITLEY MFG. CO., INC.</p> <p>WHITLEY MFG. CO., INC. ASSUMES NO LIABILITY FOR UNAUTHORIZED USE OF THIS DRAWING.</p>		<p>Drawn By Irs-oppr/y</p> <p>Checked By </p> <p>Rev </p>
<p>MODULAR BUILDERS, INC. 2705 FORT WAYNE ROAD BOONVILLE, MO 64608 PHONE: 816.652.4864 FAX: 816.652.4865 www.modularbuilders.com</p>		<p>Sheet No. MB01739-740</p> <p>Drawn No. 21470-48</p> <p>Model No. 6169 07</p> <p>Job No. 2007-037-MF</p>
<p>Foundation Plan Innovative Modular Solutions BUDGET SERIES DOUBLE WIDE CLASSROOM W/ 64'X28' (2) 60'-0"X13'-9" modules</p>		<p>Date 5/20/07</p> <p>Scale Noted</p> <p>Page No. F1</p>

PIER ROW	COLUMN	TOTAL LOAD K
A	1	3.73
A	2	5.71
A	3	8.77
A	4	11.01
A	5	10.06
A	6	8.36
A	7	4.21
B	1	2.39
B	2	2.86
B	3	4.39
B	4	5.94
B	5	5.33
B	6	3.95
B	7	2.29
C	1	7.98
C	2	12.96
C	3	12.96
C	4	7.98
D	1	2.42
D	2	2.86
D	3	4.39
D	4	5.64
D	5	4.89
D	6	3.95
D	7	2.29
E	1	3.73
E	2	5.71
E	3	8.77
E	4	11.01
E	5	10.06
E	6	8.36
E	7	4.21

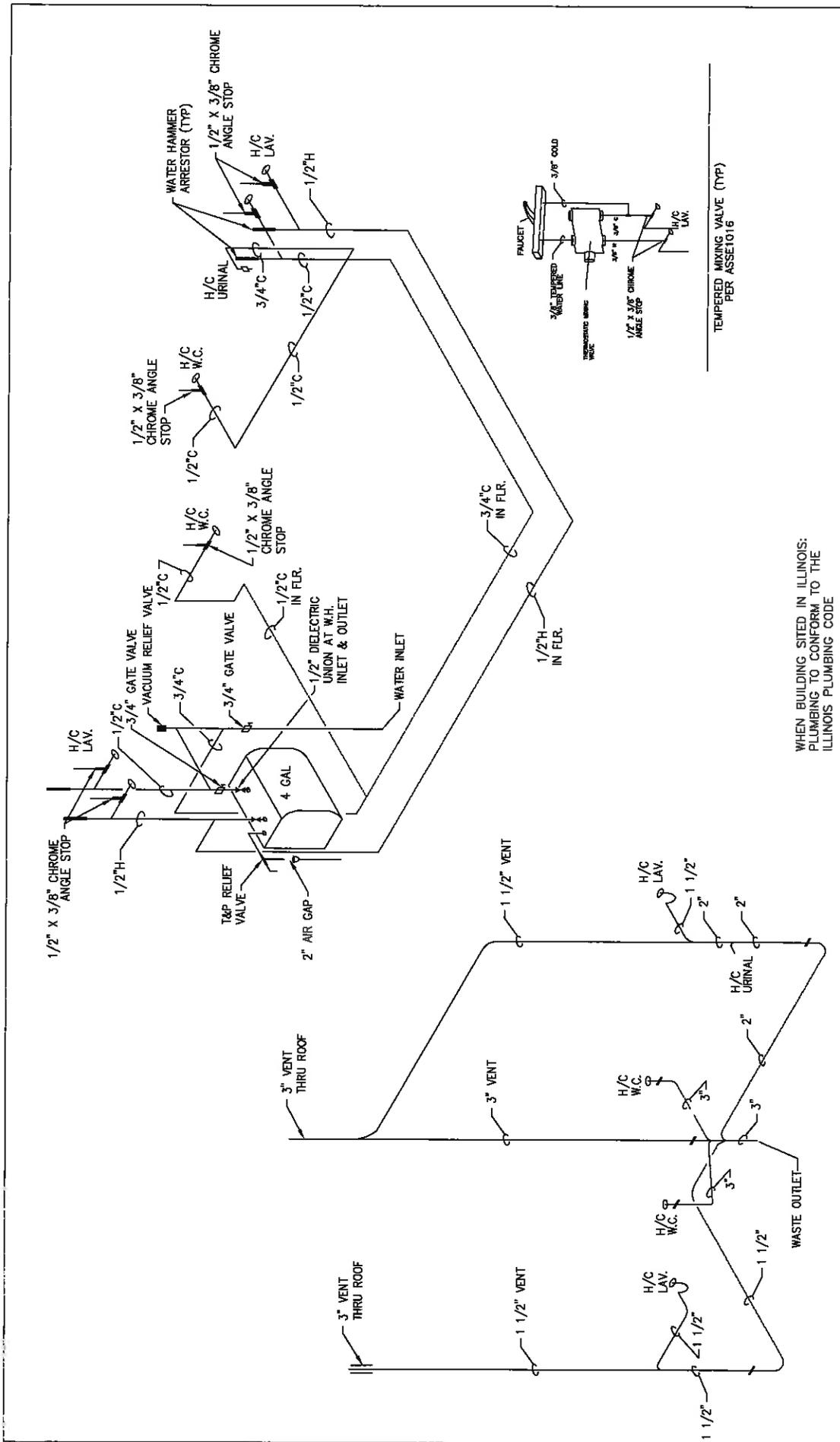


- FOUNDATIONS:**
- CRAWL SPACE VENTILATION SHALL NOT BE LESS THAN 1/50th OF THE CRAWL SPACE HORIZONTAL AREA.
 - THIS IS A SUGGESTED PLAN ONLY. FOUNDATIONS TO BE DESIGNED BY A PROFESSIONAL ENGINEER PER LOCAL SOIL AND CLIMATE CONDITIONS.
 - PROVIDE ACCESS TO CRAWL SPACE, MIN 22" X 24".
 - MINIMUM FOOTING DEPTH 3'-6"; OR AS REQUIRED BY LOCAL CONDITIONS.

FIELD NOTES:

- ALL FOUNDATION WORK SHOWN ON THIS DRAWING TO BE PROVIDED AND INSTALLED ON SITE PER DEALER/CONTRACTUAL AGREEMENT.

NO.	REVISION	DATE	THIS DRAWING AND ALL INFORMATION OF WHITLEY MFG. CO. INC. AND IS NOT TO BE REPRODUCED WITHOUT THE EXPRESS PERMISSION OF WHITLEY MFG. CO. INC. WHITLEY MFG. CO. INC. ASSUMES NO LIABILITY FOR UNAUTHORIZED USE OF THIS DRAWING.	MODULAR BUILDERS, INC. 8700 FORT WAYS ROAD BOONVILLE, IN 48075-4813 WWW.MBUILDRS.COM	Drawn By: <i>lrs-opp/rl</i> Checked By: _____ Rev: _____	Serial No. mb01739-740 Quote No. 21470-49 Model No. 61619 07 Job No. 2007-037-MR	Date: 5/30/07 Scale: N/A Page No: F2
				Foundation Details Innovative Modular Solutions BUDGET SERIES DOUBLE WIDE CLASSROOM W/ RR 64'X28' (2) 60'-0"X13'-9" Modules			



TEMPERED MIXING VALVE (TYP)
PER ASSE1016

WHEN BUILDING SITED IN ILLINOIS:
PLUMBING TO CONFORM TO THE
ILLINOIS PLUMBING CODE

NO.	REVISION	DATE	MODULAR BUILDERS, INC. 8700 FOUR WAYNE BOUD BLDG. 100 ROCKFORD, IL 61109 TEL: 815-398-4834 FAX: 815-398-4835 WWW.MBIBUILDERS.COM			
			Drawn By	Checked By	Scale	Date
			irs-0pprv		5/20/07	
					Scale	
					NTS	
					Page No.	
					P1	
			Plumbing Schematics Innovative Modular Solutions BUDGET SERIES DOUBLE WIDE CLASSROOM W/ 64'X28' (2) 60'-0"X13'-9" modules			
			Sheet No.	mb01739-740		
			Quota No.	21470-49		
			Model No.	RR1659.07		
			Job No.	2007-037-INT		

DEALER NAME: INNOVATIVE MODULAR SOLUTIONS
 PROJECT NAME: "BUDGET SERIES" DBL. WIDE, WITH BATH
 SERIAL NUMBER: MB01739-740
 MODEL NUMBER: 6169 07
 JOB NUMBER: 2007-031-WR
 MODEL SIZE: 64x28 - (2) 60'-0" x 13'-9" MODULES

NOTE: REFER TO HEXAGON SYMBOLS ON DRAWINGS
 APPROX. MODULE SHIPPING HEIGHT (PEAK OF ROOF): 12'-10 1/2"

MOD NO.:	SERIAL NO.	WEIGHT:
1	MOD 1	30940
2	MOD 2	27924

4-FRAME

- 1 TYPE: OUTRIGGER (BASEMENT)
 - 2 MAIN BEAM: M12"x11.8# JR. I-BEAM (ROLLED)
 - 3 X-MEMBER: 13GAx13" FORMED C-CHANNEL @ 48" O.C.
 - 4 OUTRIGGERS: 13 GAUGE TAPERED Z-SECTION @ 48" O.C.
 - 5 HITCH: BOLT-ON S/N
 - 6 AXLES: QUAD -- PER UNIT
 - 7 SPRINGS: MULTILEAF UNDERSLING
 - 8 TIRES: W/MAIRON #28-5.5/16" HEAVY DUTY HANGERS
 - 9 TIE DOWN: 800 X 14.5, 12 PLY
- NOTE: PROVIDED & INSTALLED BY OTHERS ON SITE.
 SEE FOUNDATION PLAN FOR TIE-DOWN LOCATIONS
 REAR BUMPER (SOLID)
 RUST INHIBITIVE LATEX TYPE PAINT, BLACK: 100%
 COVERAGE OF STRUCTURAL MEMBERS.

B-FLOOR

- 1 BOTTOM BOARD: FS-25, CLASS A, POLYMAX TYPE FW
 SHIP LOOSE BOTTOM BOARD & INSULATION FOR WHEEL-
 WELL AREAS, TO BE INSTALLED BY OTHERS ON SITE.
- 2 INSULATION: R-19 UNFACED FIBERGLASS BATT
- 3 JOISTS: 2 x 8 (#2 SFF) AT 16" O.C. NOMINAL
 TRANSVERSE JOISTS
 W/DBL SIDERAILS BELOW EXT. DOORS
 (FRAME OUT WHEEL WELLS)
 - RIBLET BRACKETS - 8"Ø O.C. MAX.
 (DO NOT INSTALL BRACKETS AT PIER LOCATIONS)
 5/8" T&G UNDERLAYMENT PLYWOOD (RATED 40/20)
 (HOLD BACK DECKING AT SEAM LINE 2 1/4")
- 4 DECKING: 1/8" VINYL COMPOSITION TILE (REST ROOMS)
- 5 COVERING: COLOR: #1689 FORTRESS WHITE
 26 OUNCE CARPET (IN BALANCE)
- 5a COVERING: COLOR: #9805 CHARCOAL
 (ROLL BACK COVERING AT SEAM LINE)

- 6 MISC: HEAT TAPE RECEIPT BELOW FLOOR MOD 1
- 7 MISC: WATER LINES IN FLOOR MOD 1
- 10 MISC: BOX FLOOR JOIST AS REQ'D. TO MISS PLUMBING DROPS

C-EXTERIOR WALLS

NOTE: AT OPEN MATELINE AREAS TO BE COVERED W/VSQUEEN, INSTALL
 PANELING STRIPS @ 2" O.C. VERTICALLY, FOR THE FIRST SIX-
 FEET LENGTH OF OPEN AREA.
 NOTE: DO NOT REMOVE TEMPORARY ROOF BRACING SUPPORTS AT MODULE
 SIDES UNTIL MODULE IS SET ON PERMANENT FOUNDATION.
 NOTE: PROVIDE OVERLAPPING TOP PLATE CONNECTIONS AT
 CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS
 (NOT REQ'D AT NON-LOADBEARING WALL INTERSECTIONS)

- 1 STUDS: 2 x 4 (SFF STUD) @ 16" O.C.
 SIDEWALL HT: 8'-0" STUD LENGTH: 91 1/2 IN.
 ENDWALL HT: 8'-0" STUD LENGTH: 91 1/2 IN.
 W/DBL STUDS EACH END OF SIDEWALLS (SFF #3).
 SGL JAMBSTUD AT DOORS & WINDOWS (SFF #2);
 SGL JACKSTUD UNDER WINDOW HEADERS (SFF #2);
 DBL JACKSTUD UNDER DOOR HEADERS (SFF #2);
 W/DBL 2" X 4" HEADERS (SFF #2), (DBL 2" X 6"
 (SFF #2) HEADERS IF OVER 48" ROUGH OPENING.)
- 2 BOTTOM PLATE: W/ 1/4" COMPRESSION PLATE
 (2) 2x4 (#3 SFF) RAFTER DIRECTLY OVER STUD
 1/2" VINYL COV. GYP. BOARD (CLASS 1 F.S.)
 COLOR: LOONMA BEIGE
 (HOLD BACK COVERING AT SEAM LINE)
- 3 TOP PLATE: AIR INFILTRATION BARRIER (TYVEK OR EQUAL)
- 4 COVERING: R-13 KRAFT FACED FIBERGLASS BATT
 5/16" HARDI-PANEL (GROOVES 8" O.C.)
 COLOR: ROWHOUSE (ICI GLIDDEN) MR#909R 25/106
- 5 SHEATHING: START SIDING 1 1/2" DOWN FROM TOP OF RIM JOIST
 5/16" HARDI-PANEL (GROOVES 8" O.C.)
 CUT TO 19 3/4" FOR SWS & 23 3/4" FOR E/W'S
- 6 INSULATION: COLOR: UNION BLUE (ICI GLIDDEN) MR#708C 15/076
- 7 SIDING: HARDI-PANEL SEAMS TO BE OFFSET FROM SHEATHING
 SEAMS BY ONE STUD SPACE MINIMUM.
 INSTALL HARDI-PANEL "H" MOLD @ SIDING SEAMS;
 CAULK HARDI-PANEL SEAMS W/LESS CAULKING.

8 TRIM:

- 1 x 4 @ EXTERIOR TRIM: M.D.O. BOARD
- 1 x 4 @ WINDOWS (TRIM COLOR)
- 1 x 4 @ CORNERS (MATCH SIDING)
- 1 x 4 @ MATELINE SEAMS (MATCH SIDING)
- 1 x 4 @ NOTE: SHIPPED LOOSE (MATCH SIDING)
- 1 x 4 @ TOP OF 8" H. SIDING (TRIM COLOR)
- 1 x 6 @ NOTE: SHIP LOOSE @ ENDWALLS
 SIDING/SKIRT SEAM (MATCH SIDING)
 NOTE: SHIPPED LOOSE (TRIM COLOR)
 TOP OF WALL (TRIM COLOR)
 ** 1 x 6 @ EXTEND TO MATELINE W/K60 MINI GUTTER--

7a SIDING ABOVE S :

- 1 x 4 @ EXTERIOR TRIM: M.D.O. BOARD
- 1 x 4 @ WINDOWS (TRIM COLOR)
- 1 x 4 @ CORNERS (MATCH SIDING)
- 1 x 4 @ MATELINE SEAMS (MATCH SIDING)
- 1 x 4 @ NOTE: SHIPPED LOOSE (MATCH SIDING)
- 1 x 4 @ TOP OF 8" H. SIDING (TRIM COLOR)
- 1 x 6 @ NOTE: SHIP LOOSE @ ENDWALLS
 SIDING/SKIRT SEAM (MATCH SIDING)
 NOTE: SHIPPED LOOSE (TRIM COLOR)
 TOP OF WALL (TRIM COLOR)
 ** 1 x 6 @ EXTEND TO MATELINE W/K60 MINI GUTTER--

9 SKIRTING: HOLD BACK 1 1/2" @ MATELINE
INSTALL 1/2" MOLD @ BOTTOM OF SIDING
UNLESS OTHERWISE SPECIFIED, TRIM COLOR: USED ONLY AT
WINDOW TRIM AND DOOR TRIM (IF APPLICABLE).
AND MANSARD/SOFFIT; OTHER TRIM STAINED TO MATCH SIDING.
& SIDING ABOVE 5'. OTHER TRIM STAINED TO MATCH SIDING.
OTHER TRIM STAINED TO MATCH SIDING.

TRIM COLOR: UNION BLUE

10 COLUMNS: 5/16" HARD-PANEL (CROOVES 8" O.C.) (16) 4' x 9' SHEETS
COLOR: KOWHOUSE (ICI GLIDDEN) MBR#07R 25/106
SHP. LOOSE HARD-PANEL 1/2" MOLD FOR
(3) 2' X 4' (#2 SPP) NON-DADO FOR ROOF BEAM
COL. LENGTH (96" OVERALL) (9) 1/2" STUDS:

D-INTERIOR WALLS

1 STUDS: 2 x 4 (SPP STUD) @ 16" O.C.

2 BOTTOM PLATE: 8" @ 91 1/2" STUD LENGTH;

3 TOP PLATE: (1) 2 x 4 (#3 SPP)

4 COVERING: 1/2" VINYL COV. GYP. BOARD (CLASS I.F.S.)
COLOR: LOOMA BEIGE

5 CLOSETS: PER FLOOR PLAN.

6 CLOSETS: 2x3 PLENUM WALL (STUDS @ 16" O.C.)
(UNTD W/ MIN. 5/16" GYP. BD. (CLASS I.F.S.)

7 MISC: NOTE: 5/16" GYP. SHOULD BE INSTALLED IN ACTUAL PLENUM ONLY
NOT ON ENTIRE WALL.

8 MISC: 2x6 CHASE WALL (STUDS @ 24" O.C.)

10 COLUMNS: (3) 2' X 4' (#2 SPP) NON-DADO FOR ROOF BEAM
COL. LENGTH (96" OVERALL) (9) 1/2" STUDS:

E-ROOF

1 RAFTERS: MONO-SLOPE TRUSS @ 16" O.C. (B.O.C.A.) 45# L.L.
20TH PEAK, 16TH HEEL TRUSS WIDTH 13'-6"

2 MATE BEAM: RELOCATE 30'-6" RAFTER IN MOID 1, FROM REAR OF UNIT
TO 39'-10" TO MISS DWV VENTING 1-PLY

2a MATE BEAM: LVL, 1.8 x 1 1/2" THICK 20TH FROM REAR OF UNIT, 24'-0" L.
FROM HITCH END

3 SIDEWALL BEAM: 2 x 3 (#3 SPP) OR PLYWOOD OVER MATE WALLS
NOTE: ALL PLYWOOD MUST CONFORM TO PS-1 STANDARDS.

4 CEILING: 2 x 3 (#3 SPP) OR PLYWOOD OVER SIDEWALLS
NOTE: ALL PLYWOOD MUST CONFORM TO PS-1 STANDARDS.
1/2" TEXTURED WHITE GYP. BOARD (CLASS I.F.S.)
NOTE: NO VISIBLE FASTENERS (USE FOAM ADHESIVE)

6 INSULATION: CUT OUT CEILING BOARD FOR COMPRESSION PLATE BE-
TWEEN RAFTER AND UNDERSIDE OF BEARING WALLS
AND/OR COLUMNS.

7 SHEATHING: R-30 KRAFT FACED (R-19 OVER R-11) FIBERGLASS BATT

8 ROOFING: 5/8" MULLEHIDE CLASS "C" FR DECKING

9 MANSARD: EPDM RUBBER 1-PC. MEMBRANE, 45 mil. BLACK

11 VENTS: TRIM "MANSARD" - SEE EXTERIOR WALL TRIM NOTES
POWER VENTS - (2) 16" W X 4" H VENTS W/ SCREEN AT
FRONT OF EACH ROOF AND (1) V2146 VENTLINE ATTIC

12 GUTTER: VENTILATOR AT REAR OF EACH ROOF
R.O. 9 1/2" W X 9 1/2" H
MECHANICAL EXHAUST TO OPERATE WHEN RELATIVE
HUMIDITY OF ENCLOSED SPACE EXCEEDS 60%
RATE OF EXHAUST SUPPLY AIR TO BE AT .02 CFM PER
SQUARE FOOT OF HORIZONTAL AREA.
K560 MINI GUTTER (MILL)

E-DOORS:

1 EXT. DOOR: 36" W X 80" H COMM. INSUL. STEEL W/ 24" X 24"
VISION PANEL (SAFETY GLAZED)
COLOR: UNION BLUE THROAT: 4 7/8"
R.O. 37 3/4" W X 80 3/4" H

HARDWARE: PANIC W/ EXTERIOR PULL & KEY CYLINDER-GRADE 2
CLOSER-GRADE 1
THRESHOLD
WEATHERSTRIPPING
EXTERIOR DOORS & CLOSET DOOR IN EACH
CLASS ROOM KEYS ALIKE

2 INT. DOOR: 36" W X 80" H L.C. WOOD (COLONIAL BIRCH)
R.O. 37 3/4" W X 81 5/8" H (PAINTED JAMBS)

HARDWARE: CLASS ROOM FUNCTION-LOCK SET (LEVER)-GRADE 2

3 INT. DOOR: 36" W X 80" H S.C. WOOD (COLONIAL BIRCH)
R.O. 37 3/4" W X 80 3/4" H (STEEL JAMBS)
FRAME THROAT: 4 5/8"

HARDWARE: PASSAGE SET (LEVER)-GRADE 2

4 INT. DOOR: 36" W X 80" H S.C. WOOD (COLONIAL BIRCH)
R.O. 37 3/4" W X 80 3/4" H (STEEL JAMBS)
FRAME THROAT: 4 5/8"

HARDWARE: PRIVACY SET (LEVER)-GRADE 2

NOTE: ALL DOORS TO BE KEYPED TO L.M.S. KEYING SCHEDULE
FOR CLASS ROOM # & #2111

NOTE: ALL KEYS, FOR ALL KEY LOCKING DOORS,
IN ALL BUILDINGS, KEYPED TO MASTER KEY

G-GLAZING:

1 SIZE: 48" W X 48" H S. VINYL FRAME COLOR: WHITE
R.O. 48 1/4" W X 48 1/4" H, UR: 30 1/4"

GLAZING: DOUBLE INSULATED - CLEAR

MISC: 1" MINI BLINDS (ALABASTER)

ELECTRICAL:

- 1 LOAD CENTER: 120/240 V., 1-PHASE, 60 HZ, 3-WIRE, MAIN BREAKER TYPE
NOTE: (1) MAIN BREAKER PANEL LOCATED IN MOD 1. ALL MOD 2 CIRCUITS RUN TO MOD 1 LOAD CENTER MOD. 1 - 225 AMP MAIN
- 2 SERV ENT: 2" EMT THRU FLOOR
NOTE: ALL SERVICE ENT. WIRING TO BE TYPE THWN COPPER. REQUIRED FEEDER WIRING, CONDUIT, ETC., TO CONNECT FACTORY INSTALLED LOAD CENTERS. PROVIDED AND INSTALLED BY OTHERS ON SITE
- 3 WIRING: "AMP" TYPE QUICK-CONNECTOR
COPPER (14-2 W/G MINI) TYPE NM-B 90 C.
- 3a CROSS-SEAM WIRING: 48" (2) TUBE FLOOR. W/ DIFFUSER (SURF. MOUNTED)
- 5 EXT. LIGHTS: SMKAR #V5000 60 WATT (WEATHERPROOF) - UP 78" TO TOP EXIT/EMERGENCY LIGHT W/ BATTERY PACK & EXTERIOR REMOTE HEAD (W.P.) - UP 84"
- 19 EGRESS-LIGHTS: EXT. HEAD SHIPPED LOOSE, FOR INSTALLATION BY OTHERS ON SITE.
- 21 RECEPTS: 125V/15A DUPLEX
- 22 RECEPTS: UP 18" TO BOTTOM OF BOX UNLESS NOTED
- 24 RECEPTS: 125V/15A DUPLEX (GRF) - UP 48" TO TOP
- 29 SWITCHES: NOTE: ALL RECEPTS ARE TO BE GROUNDING TYPE
- 30 SWITCHES: 120V/15A SINGLE-POLE - UP 48" TO TOP
- 32 TELEPHONE DROPS: 244 JUNCTION BOX, UP 18" - W/ 1/2" EMT THRU FLOOR
- 33 DATA DROPS: 244 JUNCTION BOX, UP 18" - W/ 1/2" EMT THRU FLOOR
- 35 FIRE ALARM: ROUGH-IN ONLY FOR FULL STATION - 244 BOX UP 48" TO TOP, W/ 3/4" EMT THRU FLOOR
- 36 FIRE ALARM: ROUGH-IN ONLY FOR AUDIOVISUAL DEVICE - 4x4 BOX UP 80", W/ 1/2" EMT THRU FLOOR, OR TO P/S R.I.
- 37 FIRE ALARM: ROUGH-IN ONLY FOR SMOKE DETECTOR (CLG. MITD.) -- 2-GANG BOX W/ROUND PLASTER RING, 1/2" EMT TO A.V. DEVICE R.I.
- NOTE: SEE FIRE ALARM PLAN FOR EMT SIZE(S) & LAYOUT
- NOTE: FIRE ALARM SYSTEM TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS, NOT BY FACTORY.
- NOTE: ALL CONDUIT ROUGH-INS TO HAVE PULL WIRES INSTALLED.
- 40 MISC: UP 84", W/ 1/2" EMT STUBBED THROUGH FLOOR
- 41 MISC: ROUGH-IN ONLY FOR MISC. R.I. - UP 18" W/ 1/2" EMT STUBBED THROUGH FLOOR

PLUMBING:

- 1 WTR CLST: TANK TYPE (H/C) W/ ELONGATED BOWL, PRESSURE ASSIST AND OPEN FRONT SEAT - UP 18" TO SEAT 1.6 GAL. FLUSH
- 4 URINAL: "FLUSH CONTROL TO BE ON APPROACH ("WIDE") SIDE OF WATER CLOSET" WALL HUNG W/ FLUSH VALVE & INTEGRAL TRAP UP 17" TO LIP (H/C)

5 LAVATORY:

- 17" X 20" VITREOUS CHINA DROP-IN (HANDICAPPED) W/ H/C FAUCET
- COUNTERTOP UP 33 3/4"
- UP 29" TO BOTTOM OF APRON (KNEE CLEARANCE)
- EXPOSED HOT WATER & DRAIN PIPING UNDER H/C LAV.
- 4 GALLON ELECTRIC (1500W/120V.)
- TYPE "L" COPPER
- SCHEDULE 40 PVC
- NOTE: SHIP LOOSE PLUMBING VENT EXTENSIONS, FOR ON-SITE INSTALLATION BY OTHERS.
- GRAB BARS (SEE FLOOR PLAN)
- SIDE BAR: 42" BACK BAR: 36"
- GRAB BARS ARE UP 33" TO 36" TO CENTER
- 1 1/2" X 3/16" STAINLESS STEEL EDGED MIRROR - UP 36"
- TOILET PAPER DISPENSER - UP 24"
- BOTTLED WATER TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS.

H.V.A.C.

- 1 HEATING/COOLING: BARD 3.5T COOLING, 15 KW HEATING HEAT PUMP (FRONT DISCHARGE) HEAT PUMPS TO BE EQUIPPED W/ OUTDOOR THERMOSTAT SHUT DOWN COMPRESSOR HEAT & ENERGIZE ELECTRIC HEAT WHEN OUTDOOR TEMPERATURE REACHES SET POINT. SET POINT SHOULD BE 28-30 DEGREES F. COMMERCIAL ROOM VENTILATOR REQ'D. EACH UNIT W/ BUILT-IN DISCONNECT
- MISC: SINGLE 13/16" FIBERGLASS DUCTBOARD IN ROOF INSTALL H.V.A.C. UNITS W/ MFRS. RECOMMENDED CLEARANCE AT FIRST 3' OF SUPPLY DUCT
- 3 SUPPLY DUCT: NOTE: 10" X 10" W/ ADJ. DAMPER (CEILING) (4 - WAY) 12" X 12" W/ ADJ. DAMPER (CEILING) (2 - WAY) 30" X 14" THRU WALL GRILLE @ FLENUM, UP 6" A.F.F. 100 CFM (CEILING MOUNTED) 180 CFM (CEILING MOUNTED)
- 4 DIFFUSERS: SHIP LOOSE EXEL. FAN ROOF CAPS FOR INSTALLATION BY OTHERS ON SITE.
- 4a DIFFUSERS: FOR CENTRAL H.V.A.C. UNIT - UP 48"
- 5 RETURN AIR: (MANUAL CHANGEOVER HEAT & COOL)
- 7a EXH. FAN: NOTE: 18" D. LAMINATE CLOSET SHELF W/ COAT ROD - 72" A.F.F. SEE SHEET A-1 FOR LOCATION'S COLOR: ALMOND
- 10 THERMOSTAT: 18" D. LAMINATE CLOSET SHELF, 4-HIGH (FIXED); SHELVES @ 18", 36", 54", & 72" A.F.F. SEE SHEET A-1 FOR LOCATION'S COLOR: ALMOND SHELVES TO BE "ALMOND" H.P. LAMINATE, ON 3/4" SUBSTRATE. W/ FINISHED EDGES

L-FURNITURE & INTERIOR FURNISHINGS:

- 2 SHELVING: 18" D. LAMINATE CLOSET SHELF W/ COAT ROD - 72" A.F.F. SEE SHEET A-1 FOR LOCATION'S COLOR: ALMOND
- 3 SHELVING: 18" D. LAMINATE CLOSET SHELF, 4-HIGH (FIXED); SHELVES @ 18", 36", 54", & 72" A.F.F. SEE SHEET A-1 FOR LOCATION'S COLOR: ALMOND SHELVES TO BE "ALMOND" H.P. LAMINATE, ON 3/4" SUBSTRATE. W/ FINISHED EDGES
- 4 MISC: 4x12" MARKER BOARD (1) PER CLASSROOM, UP 80" TO TOP
- 5 MISC: 4x4" TACK BOARD (2) PER CLASSROOM, UP 80" TO TOP

6 LAVATORY TOP:
7 LAVATORY TOP:
NOTE:

#03 (SEE DRAWING)
REVISED #04A (SEE DRAWING)
COUNTER/LAV. TOPS TO BE "ALMOND"
H.F. LAMINATE, ON 3/4" SUBSTRATE. W/FINISHED
EDGES, AND 4" BACK- & END-SPLASHES AS REQ'D.

MISCELLANEOUS:

2 SHIP LOOSE:
EXTERIOR & INTERIOR METAL/NE CLOSE-UP MATERIAL
SHOULD BE FOR INSTALLATION BY OTHERS @ SITE.

UNIT LABELS:

THIRD PARTY LABEL, MICHIGAN LABEL, ILLINOIS LABEL,
INDIANA (MODULAR) LABEL, MINNESOTA (IBC) LABEL & OHIO LABEL

DECAL TYPE:

DATA PLATES AND LABELS LOCATED ON LOAD CENTER
COVER, UNLESS OTHERWISE SPECIFIED.

SEALED DRAWINGS:

REGISTERED STATE OF MICHIGAN ARCHITECT
REGISTERED STATE OF ILLINOIS ARCHITECT
REGISTERED STATE OF OHIO ARCHITECT
OHIO I.U. SECTION STAMPED "APPROVED"
THIRD PARTY

BUILDING INFORMATION:

BUILDING USE GROUP: E (EDUCATIONAL)
TYPE OF CONSTRUCTION: VB (WOOD FRAME - UNPROTECTED)
SQUARE FOOTAGE: 1655 SQ FT
OCCUPANT LOAD OF BUILDING: 74 , OR LESS

BUILDING DESIGN LOADS: INDIANA, ILLINOIS, OHIO, WISCONSIN

FLOOR LIVE LOAD: 50 PSF
FLOOR LIVE LOAD (CORRIDOR): 100 PSF
FLOOR DEAD LOAD: 10 PSF
ROOF LIVE LOAD (SNOW): 45 PSF
ROOF DEAD LOAD: 10 PSF
WIND LOAD HORIZ: 21 PSF
WIND LOAD UPLIFT: 16 PSF
SEISMIC DESIGN CATEGORY: A
"EXPOSURE B"

BUILDING DESIGN LOADS: MICHIGAN

FLOOR LIVE LOAD UNIFORM: 50 PSF
FLOOR LIVE LOAD CONCENTRATED: 2000 LBS
FLOOR IMPACT LOAD: N/A LBS
FLOOR LIVE LOAD (CORRIDOR): 100 PSF
FLOOR DEAD LOAD: 10 PSF
ROOF LIVE LOAD (SNOW): 45 PSF
GROUND SNOW LOAD: 45 PSF

ROOF DEAD LOAD: 10 PSF
FLAT ROOF SNOW LOAD: 31.5 PSF
SNOW EXPOSURE FACTOR: 1.0
SNOW LOAD IMPORTANCE FACTOR: 1.0
THERMAL FACTOR: 1.0
RAIN ON SNOW SURCHARGE LOAD: N/A
BASIC WIND SPEED: 90 MPH
WIND IMPORTANCE FACTOR: 1.0
BUILDING CATEGORY: I
WIND EXPOSURE: B
INTERNAL PRESSURE COEFFICIENT: -6.7 END ZONE
INTERNAL PRESSURE COEFFICIENT: -4 INT. ZONE
DESIGN WIND PRESSURE: -19.8 PSF
SEISMIC USE GROUP: I
SPECTRAL RESPONSE COEFFICIENT S₁: 0.1584
SPECTRAL RESPONSE COEFFICIENT S₂: 0.063
SITE CLASS: D
BASIC SEISMIC-FORCE-RESISTING SYSTEM: 2T
DESIGN BASE SHEAR: 769.82 LBS

TRIM PACKAGE #3 (VINYL GYPSUM W/ VINYL COVE BASE)

BASE MOLDING: 4" VINYL COVE BASE
BASE MOLDING: 6" VINYL COVE BASE (IN RESTROOMS)
INSIDE CORNER: LIGHT GRAY (ROPPE #195)
OUTSIDE CORNER: VINYL COVERED (MATCH GYPSUM)
WALL @ CEILING: IN-PRO BATTENS TO BE SUPPLIED BY OTHERS
PANEL FRAMS (WALLS): 1.1/4" RANCH MOLDING (PRE-PAINTED)
CEILING: NONE
INT. DOOR JAMB: 5/8" PRE-PAINTED JAMB STOCK
INT. DOOR TRIM: 2.1/4" WIDE TEARDROP (PRE-PAINTED)
INT. DOOR JAMB/TRIM: PAINTED STEEL
EXT. DOOR CASING: COLOR: SELECTED FROM MFRS. STD COLORS
EXT. DOOR TRIM: 5/8" PRE-PAINTED JAMB STOCK
EXT. DOOR JAMB/TRIM: 2.1/4" RANCH MOLDING (PRE-PAINTED)
PAINTED STEEL
WINDOW JAMB: COLOR: SELECTED FROM MFRS. STD COLORS
WINDOW TRIM: 5/8" PRE-PAINTED JAMB STOCK
ALL PRE-PAINTED WOOD COLOR: #CV TAN OR #3013 GRAY

GENERAL SPECIFICATION NOTES:

- 1.) BUILDING NOT TO BE LOCATED IN A DESIGNATED FIRE ZONE.
- 2.) THIS BUILDING SHALL BE LOCATED MORE THAN 10 FEET AWAY FROM ANY PROPERTY LINE OR ANY INTERIOR LOT LINE BETWEEN IT AND ANY OTHER BUILDING.
- 2.) THIS BUILDING SHALL BE LOCATED MORE THAN 30 FEET AWAY FROM ANY

PROPERTY LINE OR ANY INTERIOR LOT LINE BETWEEN IT AND ANY OTHER BUILDING.

- 3.) THIS BUILDING NOT TO BE LOCATED IN A FLOOD PRONE AREA.
- 4.) WHITLEY MFG. CO., INC. IS NOT RESPONSIBLE FOR THE LOCAL BUILDING CODE REQUIREMENTS OVER AND ABOVE THE ENCLOSED SPECIFICATIONS. THE SPECIFICATIONS ARE BASED ON THE DESIGN PARAMETERS OF THE CODES LISTED ABOVE.
- 5.) DRINKING FOUNTAINS AND SERVICE SINKS SHALL BE PROVIDED AND INSTALLED BY OTHERS ON SITE. BOTTLED WATER MAY BE PROVIDED IN LIEU OF A DRINKING FOUNTAIN.
- 7.) ADDITIONAL RESTROOM AND HANDICAPPED RESTROOM FACILITIES (IF REQUIRED DUE TO BUILDING OCCUPANT LOAD) SHALL BE READILY ACCESSIBLE AND THE PATH OF TRAVEL SHALL NOT BE MORE THAN A TRAVEL DISTANCE OF 300'. LOCAL BUILDING OFFICIAL TO VERIFY EXISTING FACILITIES.
- 9.) THIS BUILDING SHALL NOT BE USED AS AN ADDITION TO ANOTHER BUILDING, IF IT WILL DOWNGRADE THE CONSTRUCTION TYPE OR REDUCE THE OPEN PERMETER OF OR IN ANY WAY JEOPARDIZE THE OTHER BUILDING'S COMPLIANCE WITH TABLE 303 OBBC FOR HEIGHT AND AREA LIMITATION. SEE SECTIONS 602.3, 506.2, AND 507 OBBC.
- 10.) DUPLICATES OF THIS BUILDING CAN BE BUILT AS A MIRROR IMAGE
- (4.) THIS BUILDING DOES NOT HAVE FIRE-RATED EXTERIOR WALLS.
- (5.) THIS BUILDING SHALL NOT BE LOCATED IN AREAS WITH SNOW, WIND, AND/OR SEISMIC LOADS IN EXCESS OF THOSE NOTED ABOVE IN BUILDING DESIGN LOADS..
- (6.) NOTE: THIS UNIT IS APPROVED FOR PLACEMENT IN OHIO ONLY WHEN: (1) THE BUILDING OFFICIAL HAS DETERMINED THAT PLUMBING FIXTURES ARE TO BE INSTALLED AT THE SITE, OR (2) THE PROVISIONS OF SECTION 2909 OF THE OBBC ARE OTHERWISE MET, OR (3) A VARIANCE FROM THE PROVISIONS OF SECTION OF THE OBBC HAS BEEN GRANTED BY THE APPROPRIATE AGENCY.



STR PARTNERS LLC
350 WEST ONTARIO STREET
SUITE 200
CHICAGO, IL 60654
T 312.464.1444
F 312.464.0785
www.strpartners.com

CONSTRUCTION SCHEDULE

Project: Holmes E.S. - Temporary Classroom Installation
5800 South Holmes Avenue, Clarendon Hills
Owner: Maercker School District 60
Location: 5800 South Holmes Avenue, Clarendon Hills
Project no: 16057

Proposed Schedule:

- 07.26.16 Commence Construction
- 08.10.16 Delivery and Hookup of Temporary Structure
- 08.15.16 Occupancy Inspection and issuance by the DuPage County Regional Office of Education
- 08.17.16 Furniture and staff "move in"
- 08.24.16 First day of School



STR PARTNERS LLC
350 WEST ONTARIO STREET
SUITE 200
CHICAGO, IL 60654
T 312.464.1444
F 312.464.0785
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SUMMARY of COSTS

Project: Holmes E.S. - Temporary Classroom Installation
5800 South Holmes Avenue, Clarendon Hills
Owner: Maercker School District 60
Location: 5800 South Holmes Avenue, Clarendon Hills
Project no: 16057

Summary of Construction Costs:

\$15,000	Plumbing tie-in and associated excavation
10,000	Electrical tie-in and associated excavation
5,000	Fencing demolition
10,000	Pavement repairs and restoration
+ 5,000	Site repairs and restoration
\$45,000	Total estimated cost

**AGREEMENT FOR USE OF PARKING LOT
BETWEEN
CHRISTIAN CHURCH OF CLARENDON HILLS
AND
MAERCKER SCHOOL DISTRICT 60**

1. The Christian Church of Clarendon Hills agrees to make available to Maercker School District 60 the use of the parking lot owned by the Christian Church located adjacent to the Church building at 5750 Holmes Ave., Clarendon Hills, IL. The School District may use the parking lot for parking associated with work and activities occurring at Holmes School on a daily basis when school is in session, during days when teachers are preparing for school, and during events hosted by the school. The School District's use is as a licensee on a limited basis as described, and does not constitute a full lease of the parking lot.

2. This agreement will be for an initial term of one year (July 1, 2016- June 30, 2016), and will renew annually as of each July 1 for an additional July 1-June 30 year, unless either the Christian Church or the School District notifies the other, in writing, at least sixty (60) days prior to any July 1 of its desire to terminate the arrangement at the end of that current one year term. If not terminated sooner, this agreement will expire on June 30, 2026, and may not be renewed beyond that date.

3. There shall be no fee charged to the School District for its use of the parking lot. The Christian Church shall provide snow removal and necessary maintenance and repair of the parking lot, and maintain lighting in the parking lot. The School District agrees in return to share the cost of snow removal of the parking lot, with the School District paying 20 percent of the annual snow removal cost. The Christian Church will bill Maercker School District 60 for the School District's share of snow removal costs during the month of April each year.

4. Maercker School District 60 agrees to promote safe movement in the Church's parking lot with regard to adults' and children's use of the lot during school days. In addition, Maercker School District 60 will maintain insurance for School District liability related to use of the parking lot. By entering into this agreement, the School District does not waive any defenses or immunities it may have under the *Local Government and Governmental Employees Tort Immunity Act* with respect to third parties. The Christian Church will also maintain liability insurance covering the parking lot.

This agreement has been approved by the parties effective as of the date signed by both parties below.

Christian Church of Clarendon Hills

By: 
Title: Executive Minister

Date: 6-7-16

Maercker School District 60

By: 
Title: Chief School Business Official

Date: 6-2-16

ORDINANCE NO. 02-0-06

AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND GRANTING CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - BOARD OF EDUCATION OF MAERCKER SCHOOL DISTRICT NO. 60 - 5800 HOLMES AVENUE

WHEREAS, the land legally described on Exhibit "A" attached hereto and made a part hereof, is land newly annexed to the Village of Willowbrook ("SUBJECT REALTY"); and,

WHEREAS, the Subject Realty is subject to a certain Annexation Agreement which provides that the Village of Willowbrook will grant a special use permit for an elementary school and grant certain other relief; and,

WHEREAS, prior to the annexation of the SUBJECT REALTY and the entering into of the Annexation Agreement, all hearings required to be held before agencies of the Village took place pursuant to proper notice as required by law, and the Plan Commission has forwarded its recommendations with respect to the granting of the special use and the granting of certain variations, including their Findings of Fact, to the President and Board of Trustees, a copy of said recommendations and Findings of Fact being attached hereto as Exhibit "B" and made a part hereof.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-5A-2(C) of the Zoning Ordinance of the Village of Willowbrook, for an elementary school.

SECTION TWO: That pursuant to Section 9-14-4 of the Village Code, the following variations from the provisions of the Zoning Ordinance be and the same are hereby granted:

- A. Section 9-5A-3(D)3, R-1 District Bulk Regulations, Required Minimum Exterior Side Yard Setback, to permit a reduction in the required minimum exterior side yard setback to twenty seven feet (27').
- B. Section 9-10-5(G), Off-Street Parking in Yards, Impervious Surface Setback within a Required Front and Exterior Side Yard, to permit a reduction in the required minimum impervious surface setback for parking and drives to five feet (5') within the front yard and to zero feet (0') within the exterior side yard.
- C. Section 9-10-5(L)2(e), Off-Street Parking, Access Drive Spacing, to permit a reduction in the required minimum centerline spacing to one hundred and two feet (102').
- D. Section 9-10-5(L)2(f), Off-Street Parking, Access Drive Separation, to permit a reduction in the required minimum distance from perimeter edge to adjacent street right-of-way on a corner lot to twenty two feet (22').
- E. Section 9-12-4(D)2(i), Accessory Uses, Fence Regulations, to permit an increase in the permitted maximum height of an ornamental fence located anywhere on a lot of an institutional use to eight feet (8') and elimination of the decorative design standard to permit chain link construction.
- F. Section 9-12-4(D)2(n), Accessory Uses, Wall Regulations, to permit a reduction in the required minimum wall

setback within a required interior side yard to seven feet (7').

SECTION THREE: That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the President and Board of Trustees.

SECTION FOUR: That the relief granted in Sections One and Two of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

- A. The Village of Willowbrook shall extend a 10-inch water main eastward along 58th Place from its existing terminus to Holmes Avenue and along Holmes Avenue from 58th Street to 59th Street to connect to the existing 12-inch water main situated at the intersection of 59th Street and Holmes Avenue. The applicant shall reimburse the Village for 50% of the cost for the design, construction and construction observation of said water main. The design of the water system improvements in question shall be in conformance with the requirements of the Village Code, shall be specifically approved by the Director of Community Development of the Village and a permit shall be issued therefor by the Illinois Environmental Protection Agency (IEPA) prior to the installation of said water main.
- B. The provision of sanitary sewage service for Holmes School shall be accomplished in a manner specifically approved by the Hinsdale Sanitary District.
- C. The applicant shall provide the Village with a plat granting a public utility and drainage easement over all portions of their site that will be improved with stormwater detention facilities or water lines and their appurtenances, including fire hydrants, but not water services. The Plat of Easement shall contain provisions for the perpetual maintenance of any stormwater management facilities in a form acceptable to the

Village Attorney. Such provisions shall include, but not be limited to, provisions which shall permit the Village of Willowbrook to enter upon the school property and maintain any such facilities should the applicant fail to do so and, in such event, that the Village shall be entitled to a lien for the costs associated with said work.

- D. All exterior site improvements with respect to Holmes School shall be governed by the requirements of the Village's Zoning Ordinance, with the exception of the relief granted hereunder. Further, the exterior site improvements to Holmes School shall be accomplished substantially in accordance with the Site Development Plans as prepared by Ruck/Pate Architecture, Job No. 0117.02, consisting of twenty one (21) sheets and dated January 2, 2002.

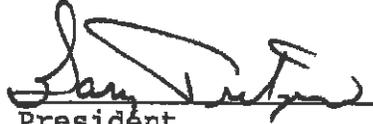
SECTION FIVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION SIX: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 25th day of March,

2002.

APPROVED:



President

ATTEST:



Village Clerk

ROLL CALL VOTE: AYES: 5 Wieder, Napoli, Brown, Landsman, Schoenbeck

NAYS: 0 None

ABSTENTIONS: 0 None

ABSENT: 1 McMahon

EXHIBIT A

LOTS 2 THROUGH 25, BOTH INCLUSIVE, TOGETHER WITH THE SOUTH 1/2 OF VACATED 58TH STREET ADJOINING ON THE NORTH, AND THE NORTH 1/2 OF THE VACATED ALLEY ADJOINING ON THE SOUTH OF SAID LOTS 2 THROUGH 25, BOTH INCLUSIVE, AND LOTS 78 THROUGH 101, BOTH INCLUSIVE, TOGETHER WITH THE SOUTH 1/2 OF THE VACATED ALLEY ADJOINING ON THE NORTH OF SAID LOTS 78 THROUGH 101, BOTH INCLUSIVE, IN THE WOMAN'S SUBDIVISION OF LOT 7 IN HALL'S SUBDIVISION OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF THE WOMAN'S SUBDIVISION RECORDED APRIL 12, 1892 AS DOCUMENT 48190, IN DUPAGE COUNTY, ILLINOIS.

EXHIBIT B

The Village of

Gary Pretzer, President
Bernard A. Oglietti, Village Administrator
Patrick T. Spatafore, Village Clerk

WILLOWBROOK

7760 Quincy Street • Willowbrook, Illinois 60527-5594 • Phone: (630) 323-8215 • Fax: (630) 323-0787

February 20, 2002

TO: Gary Pretzer, Village President
Board of Trustees

FROM: John Wagner, Vice Chairman
Plan Commission



RE: Maercker School District No. 60 - Holmes Elementary School
Application for Annexation, Rezoning to the R-1 Single
Family Residential District Zoning Classification, a
Special Use Permit for an Elementary School and Variations
from the Requirements of the Zoning Regulations

At the rescheduled regular meeting of the Plan Commission held on February 20, 2002, the above referenced application was discussed and the following motion made:

MOTION: Motion made by Member Remkus, seconded by Member Mackey to recommend approval of the application for annexation, rezoning to the R-1 Single Family Residential District zoning classification, a Special Use Permit for an elementary school and the variations from the requirements of the Zoning Regulations stipulated in the Notice of Public Hearing with the following conditions:

1. The Village shall extend a 10-inch water main eastward along 58th Place from its existing terminus to Holmes Avenue and then southward along Holmes Avenue to 59th Street to connect to the existing 12-inch water main situated at the intersection of 59th Street and Holmes Avenue. Maercker School District No. 60 agrees to reimburse the Village for 50% of the cost for the design, construction and construction observation of said water main. The design for the water system improvements in question will be in conformance with the requirements of the Village Code, be specifically approved by the Director of Community Development of the Village of Willowbrook, and a permit issued by the Illinois Environmental Protection Agency (IEPA) prior to the installation of said water main.
2. The provision of sanitary sewage service for Holmes School shall be accomplished in a manner specifically approved by the Hinsdale Sanitary District.

Page 2

Memorandum to Village President and Board of Trustees
February 20, 2002

3. Maercker School District No. 60 shall provide the Village of Willowbrook with a plat granting a public utility and drainage easement over all portions of their site that will be improved with stormwater detention facilities or water lines and their appurtenances, including fire hydrants, but not water services. The Plat of Easement shall contain provisions for the perpetual maintenance of any stormwater management facilities in a form acceptable to the Village Attorney. Such provisions shall include, but not be limited to, provisions which shall permit the Village of Willowbrook to enter upon the school property and maintain any such facilities should the School District fail to do so and, in such event, that the Village shall be entitled to a lien for the costs associated with said work.
4. All exterior site improvements with respect to Holmes School shall be governed by the requirements of the Village of Willowbrook Zoning Ordinance with the exception of the relief stipulated in the Notice of Public Hearing. Further, the exterior site improvements to Holmes School shall be accomplished in accordance with the Site Development Plans as prepared by Ruck/Pate Architecture, Job No. 0117.02, consisting of 21 sheets and dated January 2, 2002.

ROLL CALL: AYES: Members Heery, Remkus, Mackey and Vice Chairman Wagner; NAYS: None; ABSENT: Members Layland, Soukup and Chairman Hoover.

UNANIMOUS VOTE

MOTION DECLARED CARRIED

Please find attached to this memorandum a copy of the Findings of Fact in support of the application.

Should any member of the Board have questions regarding this matter, please feel free to contact me.

JW:vf

Attachment

General Findings of Fact for Special Use Requested for Holmes School

- A. The establishment, maintenance or operation of the requested special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare. The granting of the requested special use will continue the use of the Subject Property as a public school and permit reasonable additions to accommodate an increased student body while leaving open space for play yards. The public welfare will be benefitted by an improved, enlarged, attractive public school to serve local students. Traffic flow and parking will also be improved.
- B. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for purposes already permitted, nor substantially diminish and impair property values within the neighborhood. The enlarged school will simply continue the existing use of the Subject Property as a school but with improved access patterns and parking, increased landscaping and better accommodations for students. The quality of schools in a neighborhood is key to residential property values. The school improvement project will have a positive impact on property values in the neighborhood; it will not diminish or impair those values.
- C. Establishment of the requested special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The district is residential and already built up; an improved school on property already used for school purposes will not impede any further development.
- D. Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided. Roads exist and are not being changed, detention will be provided on site and a new water main will be constructed which will serve the school.
- E. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. The new construction will delineate ingress and egress drives to the Subject Property. Where there was a large undefined area leading to vehicular conflicts, specific drives will be designated. Although due to building constraints, these not all of these drives will meet village spacing requirements, the adjoining streets are residential streets which do not have high traffic volumes or significant congestion. Moreover, a student drop-off area is shown on the plan, which will further reduce congestion and increase safety.
- F. The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.
- G. This request for a special use permit has not been presented to the Village Board previously.

General Findings of Fact for Variations Requested for Holmes School

(please note, these are in addition to the comments following each request on the on the application)

The public facility will be constructed and maintained in accordance with all codes and regulations applicable to the construction public schools. Strict application of the Willowbrook Zoning Ordinance would cause a major loss of usable open space for play and community recreational purposes. District 60 cannot feasibly acquire additional property or locate the expansion elsewhere, therefore is compelled to maximize the use of the existing site in order to fulfill its obligation to the residents of the community and the District.

- A. The Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the R1 district. The School District must increase the size of the school to meet a growing student enrollment. Strict application of the Village of Willowbrook's zoning ordinance to the Holmes School expansion plans of School District 60 would seriously limit the ability of the District to enlarge its building to meet the needs of its growing student population while still providing open space for school and community use. Balancing the needs of the District and its students, the budgetary authority provided by the voters of the District and the requirements of the zoning ordinance has led the District to apply for the variations requested, which have been minimized as much as possible.
- B. The proposed variations will not merely serve as a convenience to the applicant but will serve the general public by permitting an enlarged school building and an improved traffic pattern while maintaining as much open space/school yard as possible. The requested variations would not be generally applicable to other property in the district because applicant is a school district with a school housing approximately 400 students in kindergarten through 2nd grade. Other property in the R-1 zoning district is generally residential.
- C. Since District 60 is a public entity, no individual has a proprietary interest in the premises. Moreover, the District has not created the problem itself, but is merely responding to increased student population in the area, while seeking to preserve open space.
- D. The proposed variations will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The school improvements will upgrade the property and thus improve the neighborhood rather than be detrimental. In addition, the driveway variations will permit delineation of ingress and egress to the school property, removing an existing area of possible serious vehicular conflict.
- E. The proposed variations do not block or otherwise impede supply of light and air to adjacent property or endanger public safety. No buildings are close enough to the school to be so affected. Public safety will be increased by the completion of the overall project as proposed because traffic conflicts will be considerably reduced and a student drop-off area will be identified.



Village of Willowbrook
Staff Report to the Plan Commission

Public Hearing Date: July 20, 2016 (Special Meeting)

Prepared By: Anna Franco, Planning Consultant

Case Title: 16-07: Compass Event Center, 635 Joliet Road

Petitioner: Willowbrook 2012, LLC, 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527

Action Requested by Applicant: Consideration of a petition for a special use permit for a Planned Unit Development, including such relief, exceptions and variations from Title 9 and Title 10 of the Village Code.

Purpose: Develop a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment spaces; and approval of a Preliminary and Final Plat of PUD.

Location: South side of Frontage Road between Del Rhea's Chicken Basket and 7-11

Existing Zoning: B-3 General Business

Existing Land Use: Vacant Property

Property Size: 3.657 Acres

Surrounding Land Use:

	Use	Zoning
North	Vacant Lot	M-1
South	I-55 Expressway	I-55 Expressway
East	7-11	B-2 Community Shopping
West	Del Rhea's Chicken Basket	B-3 General Business

Documents Attached:

1. Responses to Findings for Special Use, no date (2 Sheets)
2. Revised Joliet Road Improvement Plans, dated 06/05/16 (3 Sheets)
3. May 18, 2016 Compass Staff Report, dated 05/18/16 (14 Sheets)
4. Architectural Site Plan, dated 3/25/16 (7 Sheets)
5. Engineering Plans, dated 3/25/16 (8 Sheets)
6. Photometric/Lighting, dated 4/4/16, (2 Sheets)
7. Landscape Plan, dated 3/25/16 (1 Sheet)

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.

Staff's recommendation and a sample motion can be found on page 4.



Invalid Public Hearing

This case has been re-noticed to the public hearing held at the July 20, 2016 Plan Commission meeting because the address for the location of the May 18, 2016 hearing was shown incorrectly on the public notice sign located on the property. The Staff Report that was originally prepared for Compass the May 18, 2016 Plan Commission meeting is attached as *Attachment 3*.

Staff Analysis

The Staff Report that was originally prepared for Compass for the May 18, 2016 Plan Commission meeting (attached as *Attachment 3*) includes a comprehensive review of the overall Compass Event Center petition. This Staff Report focuses on the outstanding issues presented at the May 18th Plan Commission meeting regarding roadway improvements, an existing easement, and signage. Please see the analysis below.

Joliet Roadway Improvements

Existing Roadway Issues

As identified by Staff in the May 18, 2016 Staff Report, the Joliet Road IDOT right-of-way is in a state of poor maintenance, has drainage problems, and the wide shoulders on the roadway promote illegal semi-truck parking, which occurs on a nearly daily basis.

Staff's chief concern, however, is the illegal truck parking on the wide shoulders. Staff believes that the illegally parked trucks, combined with the traffic and activity of a successful mixed use soccer arena project will cause visibility and other significant safety concerns for motorists and pedestrians. In addition to auto traffic in this area, there are a significant number of students from the trade school across the street that already cross Joliet to go to 7-11 for a sandwich, refreshments, etc. The proposed facility would undoubtedly also be an attraction for additional pedestrian trips across Joliet Road that should not be impeded by the illegal parking of semi-trucks on the side of the road. Staff believes that improvements to the Joliet Road cross section along the Compass Event Center Joliet Road frontage will help to discourage this illegal parking.

While these improvements should be pursued, Staff understands that this is also an enforcement issue. The roadway currently includes numerous "No Parking" signs on both sides of Joliet Road. Staff believe that this issue should be brought to the attention of the Village's Police Department for further mitigation of the issue.

Exhibit 1 Existing Joliet Road Cross Section & Illegal Truck Parking





Revised Roadway Plans

The applicant submitted revised engineering plans, *Attachment 2, Revised Joliet Road Improvement Plans*, on June 15, 2016 following a request from the Plan Commission for the subject plans. The plans propose a new eight (8) foot wide bituminous shoulder and regrading of the ditch to improve drainage. The plans also propose some adjustments to inlets and cleaning of the existing storm sewer. Staff believes these plans are consistent with what was requested by the Plan Commission on May 18, 2016 and believe the proposed improvement will clean up the frontage and give it a cleaner look.

Existing Easement

According to the ALTA Survey, the site is currently encumbered by an existing Ingress and Egress Easement on the east end of the site. The applicant will be required to provide a copy of the document that granted this easement with the application. It appears it is to the benefit of the 7-11 property and was likely intended to provide a secondary means to access that property. In fact the 7-11 property was constructed to include a stub that actually already extends onto the Subject Property. Staff recommends that the applicant work with the owners of the 7-11 property to amend or eliminate the easement. This will be a condition of approval of recommendation to the Village Board.

Signage

As referenced in *Attachment 3, May 18, 2016 Compass Staff Report*, signage variations are not allowed under the existing B-3 Zoning, and although relief is possible through a PUD, it is generally supported only to the extent needed to adequately promote the proposed business. On-going discussions about signage on this property have resulted in improvements, however, Staff recommends additional modifications as a condition of approval of recommendation to the Village Board. Specifically, staff recommends eliminating the two (2) digital signs directed to I-55 and reducing the size of a front wall sign and the monument sign to be in conformance with the Village code.



Staff Recommendation

The Plan Commission first saw concepts for this project over two (2) years ago. Those plans included a basement level, and site designs that could not be supported. The applicant has been working diligently with the Village in the last 6-9 months to address written comments by the Village with regard to density, parking, setbacks, landscaping and other improvements, and has come a long way. This use will bring new people to town and will support existing hotels, surrounding restaurants and retail uses. The proposed development will also bring life to an otherwise underutilized, vacant property, and is consistent with the development trend of budding recreational uses in the business and manufacturing area of the Village.

Therefore, Staff supports the petition and recommends the Plan Commission approve the following sample motion:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for a Special Use Permit as shown in Attachment 1 of the Staff Report prepared for the July 20, 2016 Plan Commission for PC 16-07, and recommend approval of a Special Use Permit for a Planned Unit Development, including such relief, exceptions and variations from Title 9 and Title 10 of the Village Code, as outlined in this Staff Report, prepared for the May 18, 2016 Plan Commission meeting for PC 16-07, to develop a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment space, subject to the following conditions:

- 1. The submitted revised engineering plans, included as Attachment 2, be completed as reviewed and approved by the Village Engineer.**
- 2. The applicant shall provide a copy of the document that granted the existing Ingress and Egress Easement on the east end of the subject property to Village Staff.**
- 3. The applicant shall work with the owners of the 7-11 property to amend or eliminate the existing Ingress and Egress Easement on the east end of the subject property and provide Staff with new documentation of the amended or eliminated Ingress and Egress Easement.**
- 4. The applicant shall revise existing plans to eliminate the two (2) digital signs directed to I-55 and reduce the size of the front wall sign and the monument sign to be in conformance with the Village code.**
- 5. The special use permit shall be null and void if construction for the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the special use by the Village Board.**



Attachment 1

Special Use Standards and Findings for PC 16-07 Compass Arena & Event Center

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: The proposed special use and planned unit development for Compass Arena will not be detrimental to or endanger the public health, safety, comfort or general welfare of persons residing or working in the vicinity of the campus or the community. In contrast, the proposed improvement of Compass Arena should improve the general welfare of the community by providing additional venues for athletic and recreational events and social activities for area residents. Further, as the subject property now sits vacant, any improvement to the property by Compass Arena will cause real estate taxes collected against the property to be increased. Accordingly, Compass Arena will benefit the local taxing districts. Further, with a limited retail component, Compass Arena should create additional sales tax revenue creating a further benefit to the community.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: We are confident that there will be no harmful effects to the community based upon the development of Compass Arena. If there were any such harmful effects, they would be mitigated by the far distance that Compass Arena will sit from any residential properties. The Applicant has worked with the Village in preparing this application and will work with its neighbors to erect Compass Arena in the least intrusive manner for the community. Based on the foregoing, the Applicant is confident that the establishment of Compass Arena will have a beneficial and not harmful effect on the neighboring community.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: It is important to note that the proposed site of Compass Arena sits not immediately adjacent to any improved residential properties in the Village. Those improved properties neighboring Compass Arena include a restaurant and retail convenient store, which are two uses that will be complimented by Compass Arena. As such, Compass Arena will be very hospitable to the surrounding uses, and will not impede the normal and orderly development of any surrounding properties.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: Compass Arena is being developed from unimproved and vacant property. As depicted on the attached engineering plans, the subject property will be improved with adequate utilities, access roads, and drainage to service the site.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.



Finding: As reflected in the attached Traffic Impact study conducted by Keniq, Lingren, O'Hara, Aboona, Inc. ("KLOA"), the development is being designed and constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site will be developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is isolated, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: As reflected in the attached Traffic Impact study conducted by Keniq, Lingren, O'Hara, Aboona, Inc. ("KLOA"), the development is being designed and constructed to ensure that the improved site is developed with adequate ingress and egress to service the site and minimize traffic congestion in the public streets. The site will be developed to accommodate garbage trucks, emergency vehicles and the maneuvering of large vehicles throughout the site. standards in the B-3, General Business District, the underlying zoning district. As you are aware, Compass Arena will be a comprehensive 53,000 square foot recreational center which the Applicant requests to have zoned as a planned unit development. As you are also aware, permitted uses in the B-3 District include, "...Physical culture and health service gymnasiums, and exercising salons." Further special uses include "...driving ranges...", "Restaurants and banquet halls..." and "catering establishments..." Essentially, Compass Arena is composed of a series of allowed uses in the B-3 zoning district. Noting the congruity between the proposed uses for Compass Arena and the terms of the zoning code, Compass Arena will fit in the essential character of the community and is compatible with the B-3 zoning district.

However, there are several requirements of the B-3 District that Compass is seeking relief from through the PUD process. Under the setback requirements for the B-3 District, a minimum front yard of sixty (60) feet is required. The Compass Arena will only have a front yard setback of forty-four (44) feet. The minimum rear yard setback of forty feet (40) is required, while Compass Arena will have only a twenty-four (24) foot rear yard setback. The Bulk Regulations for the B-3 District also have a maximum height requirement of thirty (30) feet. However, the proposed Compass Arena will have a height of forty (40) feet to the underside of the rook, forty-seven (47) feet to the top of the roof, and forty-nine (49) feet to the top of the parapet. Additionally, the maximum floor area ratio under the B-3 Bulk Regulations is 0.3, while the proposed Compass Arena will have a slightly higher floor area ratio of .33.

Please note that the soccer games described within the application will be played on teams with 4 on-field players and 1 goalie playing for each team, with no referees or coaches. As such, a maximum of 20 total people will be utilizing the 2 soccer fields at any given time, alleviating the need for additional parking spaces for the additional players, coaches, or referees.

Additionally, Compass will be seeking relief from the signage restrictions of the B-3 District. The proposed Compass Arena will have a total of seven signs. On the south facade, Compass Arena will have three LED signs, with two of them at a size of 480 square feet, and one at a size of 720 square feet. On the north facade of the Arena, Compass proposes to place two signs, with one at 480 square feet and the other at 100 square feet. On the east facade of the

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Finding: No Finding.

VILLAGE OF WILLOWBROOK

STAFF REPORT TO THE PLAN COMMISSION

Public Hearing Date: May 18, 2016 (Special Meeting)

Prepared By: Jo Ellen Charlton, Planning Consultant

Case Title: 16-07: Compass Event Center, 635 Joliet Road

Petitioner: Willowbrook 2012, LLC, 15 W. 580 N. Frontage Road, Suite 1, Burr Ridge, IL 60527

Action Requested by Applicant: Consideration of a petition for a special use permit for a Planned Unit Development, including such relief, exceptions and variations from Title 9 and Title 10 of the Village Code.

Purpose: Develop a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment spaces; and approval of a Preliminary and Final Plat of PUD.

Location: South side of Frontage Road between Del Rhea's Chicken Basket and 7-11

Existing Zoning: B-3 General Business

Existing Land Use: Vacant Property

Property Size: 3.657 Acres

Surrounding Land Use:

	<i>Use</i>	<i>Zoning</i>
<i>North</i>	Vacant Lot	M-1
<i>South</i>	I-55 Expressway	I-55 Expressway
<i>East</i>	7-11	B-2 Community Shopping
<i>West</i>	Del Rhea's Chicken Basket	B-3 General Business

Documents Attached:

1. Architectural Site Plan, dated 3/25/16 (7 Sheets)
2. Engineering Plans, dated 3/25/16 (8 Sheets)
3. Photometric/Lighting, dated 4/4/16, (2 Sheets)
4. Landscape Plan, dated 3/25/16 (1 Sheet)

Necessary Action by Plan Commission: Open Public Hearing, accept testimony, and continue public hearing in order to provide staff with direction regarding outstanding items.

Site Description:

The development site is currently vacant. It is located on the south side of Frontage Road at the south end of Quincy Drive, between Del Rhea's Chicken Basket and the 7-11. The site consists of 3.657 acres. It is a shallow site with around 200 feet of depth, with over 500 feet of frontage along Frontage Road. The site's southern boundary is the I-55 expressway.



Development Proposal: The developer wishes to construct a multi-use facility consisting of a high ceiling approximately 28,992 square feet facility to accommodate two "mini" indoor soccer fields. Other uses in an attached 3 story structure that parallels the Joliet Road frontage that includes the following:

- 1st Floor: Restaurant/Bar (Special Use in B-3)
- 2nd Floor: Golf Simulators (Special Use in B-3)/Storage
- 3rd Floor: Lounge, Party Room, Golf Simulator Offices and Storage

Note: All levels have outdoor seating.

The basement plan shown in earlier concept plans has been removed from the project.

Staff Analysis:

Parking

Table 1

First Floor			ZONING PARKING REQUIREMENT	SPACES REQUIRED
USE	SQFT			
Bar and Restaurant	3,952		1/100	40
Kitchen/Carry Out	1,183		1/100	12
Storage	660			
Private Dining	542		1/100	5
Outdoor Dining	860		1/100	9
TOTAL SQFT 1ST	7,197			
Mezzanine/2nd Floor				
Storage	1,654		1/100	17
Golf	1,571	16 OCC.	1/3	5
Outdoor Seating	380		1/100	4
TOTAL SQFT 2ND	3,605			
Soccer Field				
Field	23,824	24 OCC.	1/3	8
Seating	2,480	24 OCC.	1/3	8
Mens Locker	1,344	32 OCC.	1/3	11
Womens Locker	1,344	32 OCC.	1/3	11
TOTAL SQFT SOCCER	28,992			
3rd Floor				
Bar/Lounge	2,306		1/100	23
Party Room	428		1/100	4
Golf	1,215	8 OCC.	1/3	3
Office	908		1/225	4
Outdoor Patio	1,283		1/100	13
TOTAL SQFT 3RD	6,140			
TOTAL SQFT BLDG	45,934			
				SPACES REQUIRED
				177
				SPACES PROVIDED
				174
				Surplus/(Deficit) Parking Spaces counting 2nd Stor
				(3)
				Surplus/(Deficit) Parking Spaces not counting 2nd
				20

After removing the basement use from their concept plan, the number of parking spaces designed for the site more closely meets the parking requirements of the Zoning Ordinance. The applicant's parking calculations can be found on Sheet "T" of the Architectural Site Plan Documents and show a surplus of about 20 parking spaces. The spreadsheet on the preceding page (Table 1) verifies most of the applicant's numbers, except that 380 square feet was added to account for the outdoor seating on the Second Floor, which requires an addition four (4) parking spaces. Finally, parking was re-calculated for the large 1,654 square foot second floor storage area to measure the impact if that space was converted to more restaurant/bar/party space. If this space was to be converted to anything other than storage as indicated on the plans, parking on the site would be short by a few spaces.

It is important to note that the Willowbrook Zoning Ordinance assigns parking for "Indoor Recreational Facilities" as "1 parking space for each 3 persons, based upon the maximum number of persons that can be accommodated at the same time in accordance with design capacity, plus 1 parking space for each 2 employees." This standard is important in calculating the parking requirement for the indoor soccer use associated with this facility. The term "design capacity" is, of course, open to interpretation. On the one hand, design capacity implies maximum capacity based on the amount of square footage, which has ties to the Village's Building Code. The Building Code defines maximum occupancy of these uses as 1 person for every 50 square feet. This creates a large occupancy number. Maximum occupancy in the 26,304 soccer arena based on this standard would be 526 people. Applying the Zoning Code standard of 1 space for every occupant would require 175 parking spaces (all of the proposed parking) just for the soccer facility. On the other hand, the applicant is suggesting that "design capacity" be based on their *intended* use of the soccer fields, which is for adult leagues that have no more than 6 people on a team, with no referees or coaches adding to the occupancy number. The applicant assumes a maximum capacity of 48 people in the field house at any one time in the parking figures shown between the field and the spectator areas, requiring only 16 parking spaces. This assumes 6 players per team (24 players total) and 24 spectators. Earlier reviews of this assumption noted this was not a reasonable assumption if younger teams (with more players, coaches and referees) were to be authorized on the field. The applicant's current submittal increased their parking requirement assumption by 22 spaces when their submittal assumed calculated added parking for the men's and women's locker rooms, which each accommodate 33 people. This adjustment by the applicant dedicates 38 parking spaces for the soccer arena use, which by the Zoning Ordinance accommodates 114 people on the two fields. This is the equivalent of having 4 younger teams on the field (15 players per team) with up to 4 coaches, 6 refs and 40 parents). Because this adjustment was made, staff is relatively comfortable with the parking numbers for the soccer arena as meeting the Zoning Ordinance requirement. It will be important, however, for the applicant to establish as part of their testimony that their primary business model is for the lower number adult leagues given that the higher occupancies may have trouble with occupant loads based on the other uses proposed on the site and with teams arriving when other the field is already occupied.

Bulk Requirements

The property is zoned B-3, however PUDs can allow for flexibility to the bulk requirements if authorized by the Village. A detailed discussion of important bulk exceptions and variations is provided below.

- 1. Height.** Maximum height in a B-3 district is 30'. The proposed building has a maximum height of 49.8', which is to the peak of the parapet wall for the high ceiling soccer arena. The actual ceiling height for the arena is 40'. The 3 story restaurant/entertainment uses at the front of the property are proposed at a height of 35'6".
- 2. Building Setbacks.** In a PUD, building setbacks are required to be equal to the required setback of the adjoining zoning district, and not less than the height of the building (shown in the 4th column in Table 2 below). The required and proposed minimum setbacks are shown in Table 2 below. The shallow depth of the property limits building placement on the lot, so setbacks relief from the front and rear property lines are being requested.

Table 2

Yard	Description	Zoning Ordinance	Based on Height	Minimum Provided(1)
Front	From Joliet	60'	49.67'	45.24'
Interior Side	From Chicken Basket	30'	49.67'	45.11'
Interior Side	From Storage	30'	49.67'	39.15'
Rear	Parallel I-55	40'	49.67'	24'
Interior Side	From 7-11	30'	49.67'	Exceeds Requirement

(1) Numbers represent minimums based on proposed design, not "build to" setbacks.

- 3. Pavement Setbacks.** Pavement setbacks are regulated in the Parking Section of the Zoning Ordinance. The required and proposed minimum setbacks are shown in Table 3 below.

Table 3

Yard	Description	Zoning Ordinance	Minimum Provided(1)	Description
Front	From Joliet	15'	12.5'	For Driveway Pavement Around Building. Rest is minimum 15.85'
Interior Side	From Chicken Basket	10'	10'	For 3 spaces south of dumpster. Rest is 15'
Interior Side	From Storage	10'	10'	All meets
Rear	Parallel I-55	10'	0'	For Pavement Around Building. Rest is minimum 18.64'
Interior Side	From 7-11	10'	9.75'	Near cross access driveway. Varies to above minimum standard

- 4. Foundation Setbacks.** The Zoning Ordinance requires a minimum foundation landscape area of 7'. Many areas meet this requirement around the buildings, excluding areas where the front and rear elevations are near the front and rear lot lines, where setbacks are already encroaching into required yards for buildings and pavement setbacks.

Cigar Lounge:

Earlier concept plans described the "lounge" areas as a "cigar lounge." Cigar lounges are prohibited by the Illinois Smoke Free Indoor Act. Any recommendation for approval should include a condition that restricts this use.

Signage:

Signage variations are not allowed under the existing B-3 Zoning, and although relief is possible through a PUD, it is generally supported only to the extent needed to adequately promote the proposed business. On-going discussions about signage on this property have resulted in improvements, however, it is staff's opinion that additional modifications should be required before a recommendation can be made to the Village Board. Specifically, staff recommends eliminating or further restricting the digital signs directed to I-55 and reducing the size of a front wall sign and the monument sign. A description of the requested signs and recommended modifications is provided in Table 4 below.

Table 4

Sign	Description	Location	Size	Comments
Compass Arena Wall Sign	Assumed to be an Individual letter wall sign	I-55 Elevation	125 sqft	<ul style="list-style-type: none"> Higher than allowed by code. Exception reasonable given I-55 frontage. Individual letter sign type needs to be confirmed and lighting details added.
"Typical Wall Mounted Sign"	1 of 2 requested. Believed to be the digital signs earlier requested	I-55 Elevation	120 sqft	See "Digital Signs" Section below
Typical Wall Mounted Sign	2 of 2 requested. Believed to be the digital signs earlier requested	I-55 Elevation	120 sqft	See "Digital Signs" Section below
Compass Arena Wall Sign	Assumed Individual letter wall sign	Joliet Elevation	125 sqft	<ul style="list-style-type: none"> 40' height meets requirements, although the scale on the drawing suggests it might be at 41'. Individual letter sign type needs to be confirmed and lighting details added
Entry Sign	Round Compass over front door	Joliet Elevation	95 sqft	Suggest reducing size to fit in area above door but below patio barrier.
Total Wall Sign Sqft Requested			585 sqft	
Total Wall Sign Sqft Allowed			450	
Excess Wall Signage			135 sqft	

Table 4 (continued)

Monument Sign	12' high monument with materials to match building	Joliet frontage roughly center of property	240 sqft (120 per side)	<ul style="list-style-type: none"> • Exceeds permitted size by over 200 percent • (45 sqft per side allowed) and is in addition to wall signage. • 20' wide sign extends over the front lot line. 5' setback required. • Base of sign to be indicated at no less than 3' above grade
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1. **Digital Signs.** As indicated in the Table 4 above, Compass is requesting permission for two digital signs on the I-55 elevation. While it is possible to grant relief from the strict provisions of the Zoning Ordinance, it is important to note the extent to which these signs exceed Zoning Ordinance requirements. These signs do not comply with the following provisions of the Zoning Ordinance.

- a. Section 9-11-12(B)2 permits a maximum of four (4) wall signs, when five (5) are proposed. Removal of the two digital signs would bring the number of wall signs into compliance with the Ordinance.
- b. Section 9-11-12(B)2a permits a maximum of 450 square feet of signage when 585 is proposed. Removal of the two digital signs would bring the square footage down to 345 square footage
- c. Section 9-11-12(B)2b permits wall signs if they are spaced no closer than 20% of the width of the façade. 20 percent of 224' frontage is 45'. Both digital signs are about 25' from the "Compass Arena" wall sign.
- d. Section 9-11-12(B)2(c)1B restricts wall sign to no higher than 40' in height, when the proposed signs are greater than 40' in height
- e. Section 9-11-4R lists multiple message, digital, dynamic and/or video display signs as "prohibited signs".
- f. State Law prohibits digital signs or any "off-premise" signs that sell any advertising space on this sign given Joliet's designation as a "Scenic Byway". State officials note that while they will enforce against non-compliant signs, it's easier if they're not allowed because changing message signs are easy for owners to change and violate the law, but hard to catch and prove a case in court against an owner. The applicant states they will comply with State law requirements.
- g. Digital signs visible to I-55 are NOT consistent with the goals and objectives of the Comprehensive Plan for this site because the Plan provides that "it is extremely important that site and architectural features of new development or redevelopment recognize the need for aesthetically pleasing development as viewed from both the Stevenson Expressway and Joliet Road. This would include sensitive design with regard to off-site parking and loading areas, refuse disposal, signage, roof mounted equipment and other features." While "aesthetically pleasing" can be subjective, it is assumed that the Plan would recognize anything that is "prohibited" in the Zoning Ordinance as not aesthetically pleasing. The subject property is one of only four

Willowbrook properties with visibility to I-55. The image of what is built on this property may represent the only opportunity for the Village to make a good impression on I-55 travelers. Is the advertising or information about next week's tournament on digital signs the image the Village wants to leave with people about what Willowbrook is about?

2. **Monument Sign.** The 240 square foot monument sign is too large. The ordinance allows 45 square feet per side for a total of 90 square feet. With the exception of Chicken Basket and House of Trucks who both have legal non-conforming signs due to the fact that they were there when the property was annexed, all other signs along Joliet in Willowbrook meet the requirements of the Ordinance. While there may be some room for something a little bit larger as part of the PUD request, this sign should not dominate the roadway. The mere large scale of the building itself, along with the wall signage will provide adequate visibility to the use. Support might be offered for a design that incorporates certain historic features to compliment the road's "scenic byway" designation. Or, if a digital sign is still a priority, it may be more appropriate to incorporate one into this monument sign in lieu of the wall signs facing I-55...much like the digital sign approved for Willowbrook Square Shopping Center on 63rd.

Comprehensive Plan/Appropriateness of Use:

The Village Comprehensive Plan indicates that this property is best zoned for highway commercial uses. The Plan, adopted in 1993, provides the following specific recommendation for this area:

"The area along the south side of Joliet Road currently consists of a large vacant site, a vacant building, a small restaurant, and a self-service storage facility. Because the area between Joliet Road and the Stevenson Expressway is rather shallow in depth, existing development patterns have resulted in parcels of unusual configuration. The Plan recommends the consolidation and redevelopment of all parcels within the area except for the southern, most area which has recently been improved with a self-service storage facility. Parcels should be consolidated and developed with limited driveway access locations. It is extremely important that site and architectural features of new development or redevelopment recognize the need for aesthetically pleasing development as viewed from both the Stevenson Expressway and Joliet Road. This would include sensitive design with regard to off-site parking and loading areas, refuse disposal, signage, roof mounted equipment and other features. Special landscape treatment should be provided along the Stevenson Expressway right-of-way to lend a pleasing appearance to the development."

Recommended revisions to signage were discussed above. The proposed plan addresses roof mounted equipment and special landscaping satisfactorily.

Other relevant Comprehensive Plan Recommendations include the following:

- Frontage road should be improved from a rural cross section to an urban cross section, and upgraded to Industrial Collector Street Standard
- New commercial development should only be allowed where street capacities accommodate or can be modified to accommodate additional traffic and where there are no issues with access and compatibility of land uses
- Access points should be consolidated when possible.

- New commercial development should only occur on sites with sufficient land to provide well-landscaped, easily accessible and conveniently located parking areas.
- Natural features and mature landscaping should be preserved wherever possible
- Overhead utilities should be relocated underground.
- Sidewalks and crosswalks should be encouraged.

The subject property and the Chicken Basket property located immediately west are located between the self-service storage facility referenced in the comprehensive plan and the 7-11, which had not yet been constructed when the Plan was approved. Given the recommendation that new developments consider the consolidation of nearby smaller properties, it makes sense to consider the future of the Chicken Basket property as part of this development since it is the only other property on the South side of Joliet Road. This original "Route 66" business is on the National Register of Historic Places and predates Willowbrook's incorporation as a Village. Staff met with Pat Rhea who was generally receptive to the proposed use if it can be modified to fit the site. His interest includes maintaining his visibility to south bound I-55 traffic, preventing unauthorized spill-over parking onto his parking lot, and ensuring the site has proper drainage. He liked the proposed northern orientation of the building, and noted that he would not want the building to be turned in a way that would place the rear of the building to adjoin his property. He is not opposed to the removal of any of the existing perimeter trees between their two properties. He has no immediate plans to sell his property, but did indicate he would consider reasonable offers to purchase the property, which also includes "buying-out" the business.

The proposed uses certainly fit the type of uses intended by "highway commercial" uses classified in the Comprehensive Plan, assuming it can be built to conform to the other objectives identified in the Plan. These objectives include ensuring the site is accommodated with adequate roadways, access, parking and circulation; in other words, the objects that make the site "work". Other objectives can be somewhat more subjective but suggest that the Village should not turn its back on that part of the property that is adjacent to I-55 just because we can't see it. To the contrary, the Plan promotes site design considerations that send a message to the outside world about who we are and how we want to be perceived. It suggest tasteful landscaping, sensible signage and screening of unsightly rooftop mechanical equipment, which is important given that most of the site is already quite a bit lower in elevation than the expressway.



Providing Adequate Access and Roads:

As recommended in the Comprehensive Plan as discussed above,

improvements to Joliet Road are warranted and should be provided as part of this development. This IDOT right-of-way is

in a state of poor maintenance, has drainage problems, and the wide shoulders promote illegal semi-truck parking, which occurs nearly on a daily basis. This habit needs to be corrected as part of this project.

The design of the Joliet Road improvements needs to discourage this illegal parking, as the wide shoulders, when combined with a popular destination that may have a full parking lot will encourage additional illegal parking by semis as well as autos because "it's easier".



The Comprehensive Plan recommends improvements to Joliet Road that meet "urban cross section" standards, which means curb and gutter. This standard was applied in Burr Ridge to the recent improvement east of Madison (as shown in the picture to the left), and is also applied further west on the Frontage Road as it approaches Midway Drive.

Improvement to this standard would adequately address staff's concern regarding the significant amount of unauthorized/illegal truck parking that occurs on the side of Joliet every day. It would also satisfy one of the required "findings" of a PUD that they "provide adequate control over vehicular traffic". It is, however, a very expensive proposal that to date has not yet been required on this State owned and managed roadway.



The section of Joliet Road between the 7-11 and the office properties on the north side of Joliet, as shown below, includes an alternate cross section design with mixed results. Truck parking is successfully mitigated on the south side of the road (left side of picture), where the shoulder is relatively narrow and a nearby ditch discourages illegal truck parking. It is easy to note that the design of the

north side of the road, with its wide shoulder and level grassed parkway make it easy for trucks to easily ignore the "No Parking" signs that line that side of the road...as evidenced by the tire rutted shoulder and grassed parkway area.

As mentioned above, the Comprehensive Plan suggests an urban cross section, and staff will recommend Compass improve to that standard, unless they would like to propose an alternative design that will successfully discourage illegal parking on the sides of the road adjoining this project. One or two trucks parking along the side of the road now when traffic and activity are lighter are one thing. That many or more trucks when combined with the traffic and activity of a successful mixed use soccer arena project will cause visibility and other significant safety concerns

for motorists and pedestrians that cannot be overlooked. In addition to auto traffic in this area, there are a significant number of students from the trade school across the street that already cross Joliet to go to 7-11 for a sandwich, refreshments, etc. The proposed facility would undoubtedly also be an attraction for additional pedestrian trips across Joliet Road that should not be impeded by the illegal parking of semi trucks on the side of the road. Staff is recommending the Plan Commission not finalize a recommendation on this project until a satisfactory road improvement proposal is made by the applicant and at least conceptually approved by both the Village and IDOT.

According to the Alta Survey, the site is currently encumbered by an existing Ingress and Egress Easement on the east end of the site. The applicant will be required to provide a copy of the document that granted this easement with the application. It appears it is to the benefit of the 7-11 property and was likely intended to provide a secondary means to access that property. In fact the 7-11 property was constructed to include a stub that actually already extends onto the Subject Property. Depending on the details of the easement and the final site plan for this project, it may be necessary to work with the owners of the 7-11 property to amend or eliminate the easement.

Utilities: The property is served by a 12" water main located on the north side of Joliet Road. While it is expected this main will be adequate to serve the property, additional lines to and potentially around the site for fire flow, fire hydrants, and for domestic service will be required by Tri-State Fire Protection District and should be coordinated on the plans prior to finalizing a recommendation.

DuPage County provides sanitary service for the site, and there is an existing sewer along Joliet Road. The applicant will need to confirm with the County that there is adequate capacity for the proposed use.

A power pole and wire terminate on the property at the northwest corner. This line crosses Frontage Road, then continues west along the north side of Frontage Road. This line should be buried and the pole removed as part of the construction project.

Stormwater Management:

The site is designed with underground vaulted detention under the parking lot. This is why there is very little "green" space on the site, except for the perimeter landscape buffers.

Elevations:

The proposed building includes wider elevations on the north and south sides than on the east and west sides. Proposed materials include concrete precast panels. The front elevation, visible from Joliet, includes a large span of windows and doors, which will provide significant light into the interior restaurant/entertainment spaces. Some of these windows include "roll up" glass garage doors that turn indoor dining into semi-outdoor dining opportunities. A variety of patio and balcony dining options exist on the north and west elevations of the building. The east and west elevations (visible to Chicken Basket and the project's new parking lot), also include a significant amount of windows and other features that help break up long monotonous wall surfaces. The south elevation has contrasting features up high on the building, where it is visible to I-55. Lower elements of this elevation do not include many features, but are relatively not visible given that a retaining wall and the much higher grade of I-55 will screen this elevation from view. Colored elevation boards will be available at the Plan Commission for review.

Floor Plans:

The soccer arena on the first floor includes two "mini" soccer fields, each having an 80' x 120' playing surface and separated by a 16' central observation area, and 7' side and end areas. Mens and womens locker facilities are provided on both sides of the arena, with each group serving one of the two fields.

Attached to the north end of the field is three stories of mixed uses. All three floors have windows that look out over the soccer arena. The first floor includes a restaurant, bar, private dining area, and outdoor dining area, as well as a separate parking lot entrance for carry out pick-ups. The second floor is really an oversized mezzanine, with golf simulators and more outdoor balcony areas on the west side, with a "storage mezzanine" on the east side. As mentioned earlier, staff has concerns that this area, after constructed, will be converted to other purposes that will have an increased impact on parking. Any approving ordinance will specify approved uses per the approved plan such that any modification to any of the spaces will require approval by the Village, including a new public hearing and amendments to their approving ordinances. The third floor is designated as a lounge area, with more party rooms, a bar, outdoor patios, and more golf simulators, as well as two offices at the east end of the building.

The project will contribute to the Village's revenues via both the restaurant and places of amusement taxes that will be generated on the site.

Engineering.

The following outstanding engineering items need to be addressed prior to finalizing a Plan Commission recommendation:

1. Benchmarks need to be confirmed in order to determine compliance with Section 15-33 of the DuPage County Stormwater Ordinance. The applicant's last correspondence on this issue is that Geopool was working on it.
2. The light pole locations on the engineering plans do not match the photometric, or on the landscape plan. Plans should be coordinate, and with regard to the landscaping plan, landscape islands that do not have light standards should incorporate the standard shade tree in lieu of shorter ornamental trees.
3. IDOT uncertainties remain outstanding regarding improvements/restoration of the Joliet Road right-of-way. Staff conversations with IDOT indicate they will consider the improvements the Village deems necessary to support the development. See "Providing Adequate Access and Roads" above. To date, the applicant has not been providing proposed improvements indicating they are waiting for the State, and the State's last review comments were geared to the submittal the applicant made with regard to curb cuts based on earlier plans. Given the chicken and egg scenario, staff recommends direction be provided to the applicant that the Village will not forward a recommendation on this project until they proposed an acceptable improvement to Joliet that addresses the Village's concerns regarding illegal truck parking. If not curb and gutter as recommended by the Comprehensive Plan, the improvement to be proposed by the applicant must incorporate narrower shoulders and ditches or other methods that are acceptable to both the Village and IDOT.

Required Changes Prior to Formalizing a Recommendation

This public hearing provides the Plan Commission with an opportunity to incorporate feedback into one last set of plans before finalizing their recommendation to the Village Board. In addition to addressing the Engineering comments above, staff recommends the following changes be addressed/completed.

1. The outdoor area shown in the mezzanine shall be added to the parking table in the architectural site plan documents.
2. Joliet Road shall be improved to an urban cross section, or an approved alternative that discourages on-street semi truck parking.
3. Digital wall signs shall not be allowed.
4. The monument sign shall be reduced in size to or near the maximum 90 square feet in area, including digital technology if desired, and relocated so that it is no closer than five feet (5') from the property line.
5. The round compass sign on the front elevation shall be reduced in size to fit under the second floor patio barrier.
6. The plans shall specify that fire hydrant locations to be approved by Tri-State Fire Protection District.

Recommended Restrictions and Conditions

The current plan works, in part, based on the representations made by the applicant as to how the property is intended to be used. For example, parking works based on the fact that the applicant states that the fields will be used by adult leagues consisting of no more than 6 people on each team. If there are not enough teams to support the investment based on this scenario, it would be reasonable to assume that the applicant would look to other methods to fill the space. While these scenarios may be OK, staff is recommending conditions that limit the use of the space as stated by the applicant, with changes considered only as amendments to the PUD, requiring a new public hearing and approval by an ordinance. A list of this and similar other restrictions and conditions has been started and is provided below.

1. Approval only for construction in compliance with approved plans and the square footage and uses indicated.
2. Maximum occupancy of the arena is limited to no more than 48 people, unless otherwise approved by the Village as part of a major change to a PUD.
3. Approved uses shall be as shown on the approved plans. Future modifications to the use of any room subject to administrative review to determine whether a major change amendment is required based on parking.
4. A parking agreement shall be executed to accomplish the following:
 - a. Stipulates parking near the front for "Employees Only"
 - b. Parking shall be in designated parking spaces only (drive aisles shall be kept clear)
 - c. Semis shall not park on the site, except in the one loading spot and only when loading and unloading products.
5. The cross access with the 7-11 property shall be confirmed with 7-11.
6. Cigar Lounge use is not allowed.

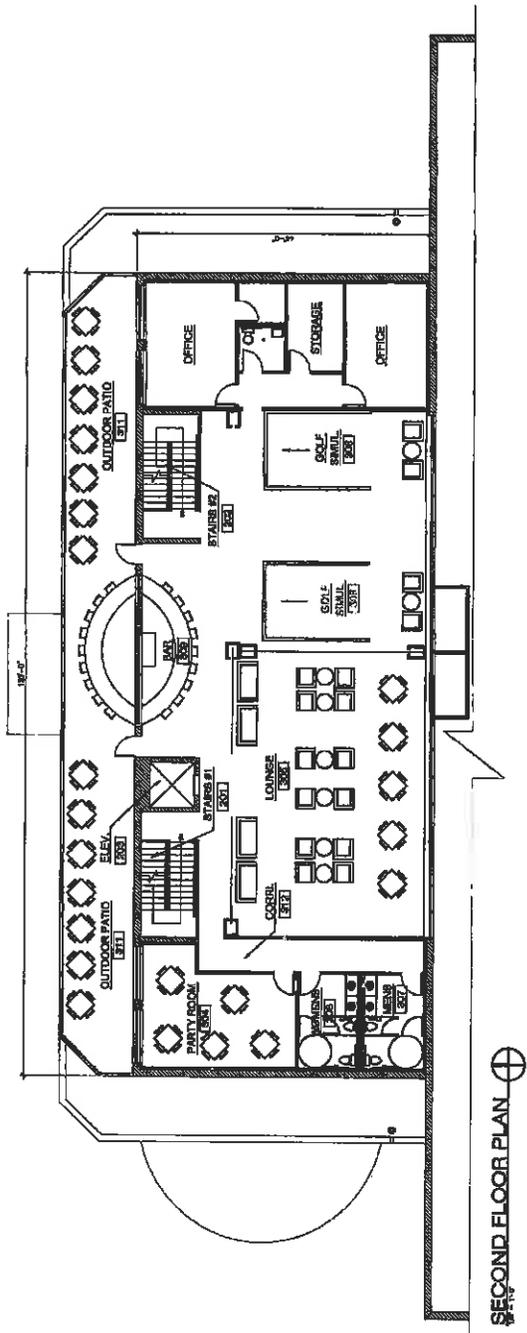
Summary

The Plan Commission first saw concepts for this project over two years ago. Those plans included a basement level, and site designs that could not be supported. The applicant has been working more diligently in the last 6-9 months to address written comments by the Village with regard to density, parking, setbacks, landscaping and other improvements, and has come a long way. This use will bring new people to town and will support existing hotels, surrounding restaurants and retail uses.

While there are some minor changes that will still be required prior to forwarding to the Village Board for formal consideration, the bigger issues needing feedback from the Plan Commission before a recommendation should be considered include signage and improvements to Joliet Road. Other questions or concerns may come out of the public hearing process and can also be incorporated into any final direction to the applicant to be used in finalizing their plans for a formal vote at a future meeting date that can be determined by the Plan Commission at the meeting. Any motion to continue the hearing should include the date and location of the continued meeting.

DATE: 11/11/03
BY: J. J. [unreadable]
CHECKED BY: [unreadable]
SCALE: AS SHOWN

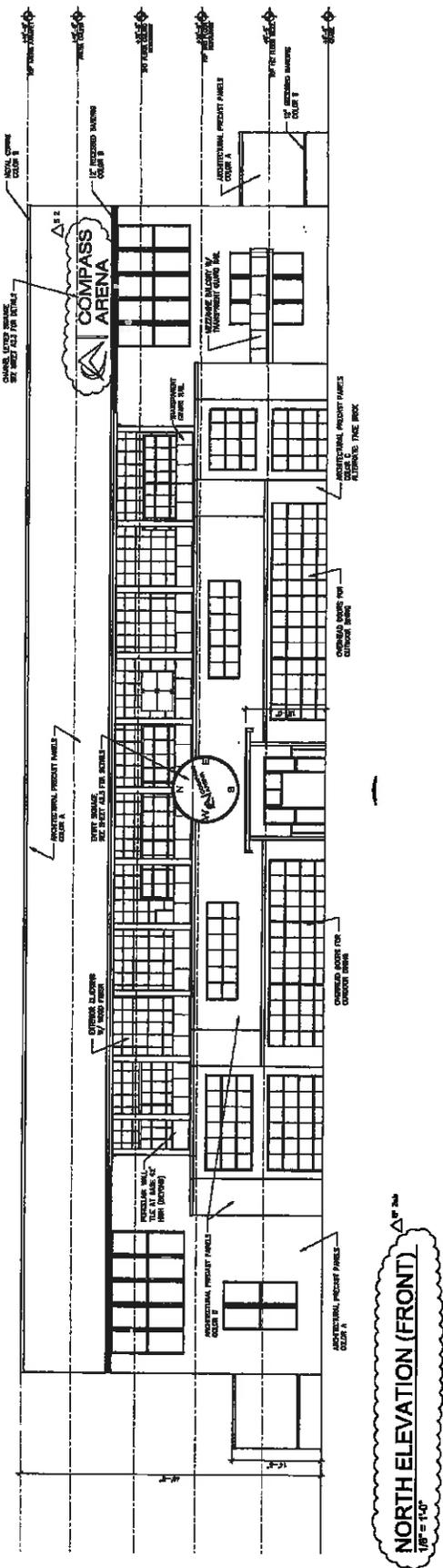
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2	ISSUED FOR CONSTRUCTION	11/11/03
3	ISSUED FOR RECORDS	11/11/03
4	ISSUED FOR ARCHIVE	11/11/03



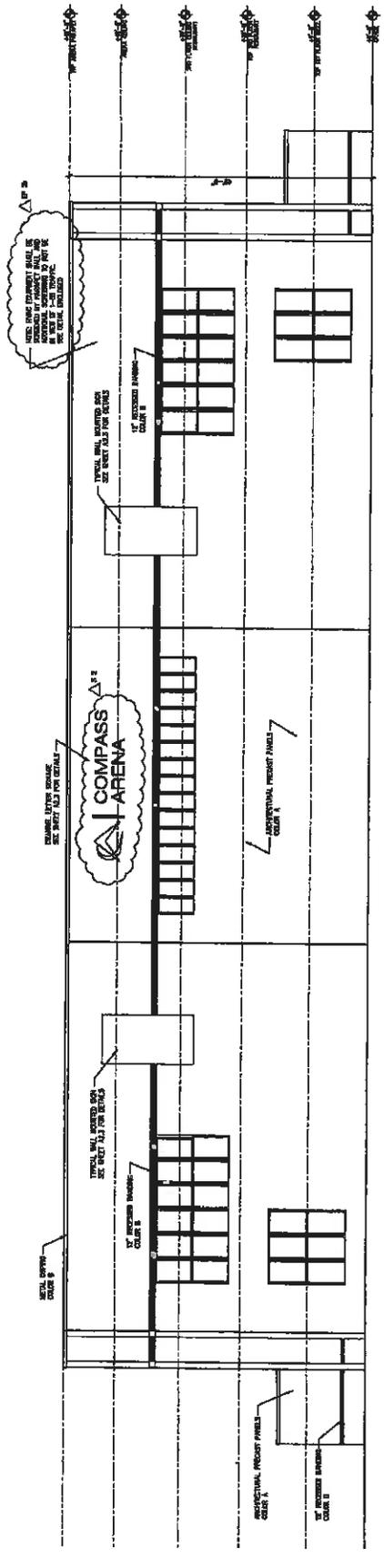
SECOND FLOOR PLAN

Scale of window, door and other details to be shown in accordance with the following table. If a detail is not shown in this table, it shall be shown at a scale of 1/8" = 1'-0".

Scale	Detail
1/8" = 1'-0"	Window
1/8" = 1'-0"	Door
1/8" = 1'-0"	Other



NORTH ELEVATION (FRONT)
 1/8" = 1'-0"



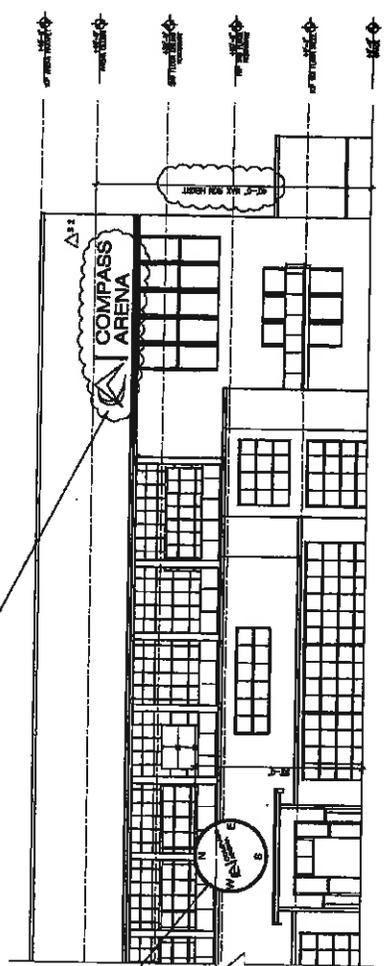
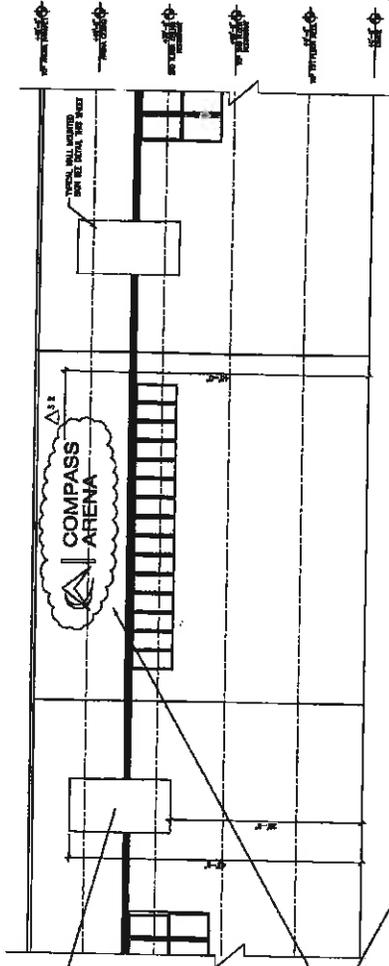
SOUTH ELEVATION (REAR)
 1/8" = 1'-0"

DATE	NO.	DESCRIPTION
11/11/01	1	ISSUED FOR PERMITS
11/11/01	2	REVISED PER COMMENTS
11/11/01	3	REVISED PER COMMENTS
11/11/01	4	REVISED PER COMMENTS
11/11/01	5	REVISED PER COMMENTS
11/11/01	6	REVISED PER COMMENTS
11/11/01	7	REVISED PER COMMENTS
11/11/01	8	REVISED PER COMMENTS
11/11/01	9	REVISED PER COMMENTS
11/11/01	10	REVISED PER COMMENTS

SIGNAGE S.F. CALCULATION

WALL SIGNAGE
 SOUTH ELEVATION
 - (1) TYPICAL WALL MOUNTED SIGN AT 20' S.F. OF SURFACE AREA CODE = 200 S.F.
 - (2) COMPASS ARENA SIGN AT 10' S.F. OF SURFACE AREA
 NORTH ELEVATION
 - (1) TYPICAL WALL MOUNTED SIGN AT 20' S.F. OF SURFACE AREA
 - (2) COMPASS ARENA SIGN AT 10' S.F. OF SURFACE AREA
 TOTAL SURFACE AREA OF WALL SIGNAGE PROVIDED = 400 S.F.

FREE STANDING MONUMENT SIGNAGE
 NORTH FRONTAGE
 - (1) TYPICAL MONUMENT SIGN WITH 10' S.F. OF SURFACE AREA PER SIDE = 200 S.F.
 TOTAL SURFACE AREA OF MONUMENT SIGNAGE PROVIDED = 200 S.F.



COMPASS ARENA SIGN

ENTRY SIGN

PARTIAL NORTH ELEVATION
 1/8" = 1'-0"

PARTIAL SOUTH ELEVATION
 1/8" = 1'-0"

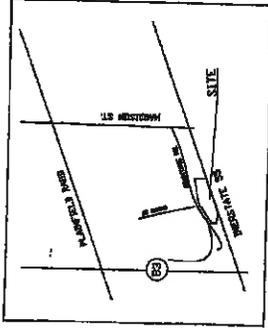
TYPICAL WALL MOUNTED SIGN

MONUMENT SIGN

COMPASS ARENA WILLOWBROOK, ILLINOIS

INDEX

1. COVER SHEET
 2. EXISTING CONDITIONS
 3. GEOMETRIC STRIPING & LIGHTING PLAN
 4. GRADING PLAN
 5. UTILITY PLAN
 - 6.-8. SOIL EROSION SEDIMENT CONTROL PLAN
 9. SPECIFICATIONS
 10. DETAILS
- 0.0-4.0 STORMTRAP DETAILS
1-3 JOLIET ROAD CROSS SECTIONS (GEOPOOL)



LOCATION MAP

SITE DATA TABLE

TOTAL SITE AREA	2,857 ACRES	12,536 ACRES	67,724
IMPERVIOUS AREA EXISTING	12,536 ACRES	67,724	
IMPERVIOUS AREA PROPOSED	2,857 ACRES	12,536 ACRES	
IMPERVIOUS AREA TO REMAIN	0 SQ.-FT.	0 SQ.-FT.	
PERCENTAGE OF IMPERVIOUS AREA GAIN	2,857 ACRES	67,724	

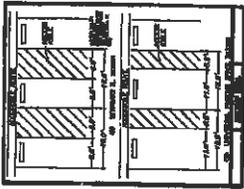


LEGEND	
EXISTING	PROPOSED
INLET	INLET
CATCH BASIN	CATCH BASIN
MANHOLE	MANHOLE
SAINTMARY SEWER SERVICE TIE-IN	SAINTMARY SEWER SERVICE TIE-IN
SAINTMARY MANHOLE	SAINTMARY MANHOLE
PRECAST FLARED END SECTION	PRECAST FLARED END SECTION
VALVE VAULT	VALVE VAULT
FIRE HYDRANT	FIRE HYDRANT
BUFFALO BOX	BUFFALO BOX
SAINTMARY SEWER	SAINTMARY SEWER
STORM SEWER	STORM SEWER
STORM SEWER FORCE MAIN	STORM SEWER FORCE MAIN
STORMTRAP	STORMTRAP
STORMTRAP	STORMTRAP
88-12 CURB & GUTTER	88-12 CURB & GUTTER
DEPRESSED CURB	DEPRESSED CURB
EDGE OF PAVEMENT	EDGE OF PAVEMENT
CONCRETE SIDEWALK	CONCRETE SIDEWALK
CONTOUR LINES	CONTOUR LINES
100 YEAR OVERFLOW	100 YEAR OVERFLOW
UTILITY FEEDLINE	UTILITY FEEDLINE

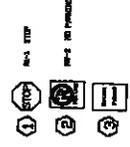
IN THE STATE OF ILLINOIS, I, the undersigned, being a duly Licensed Professional Engineer, do hereby certify that I am the author of the foregoing and that I am a duly Licensed Professional Engineer in the State of Illinois, No. 00123, dated 1-800-882-0123.



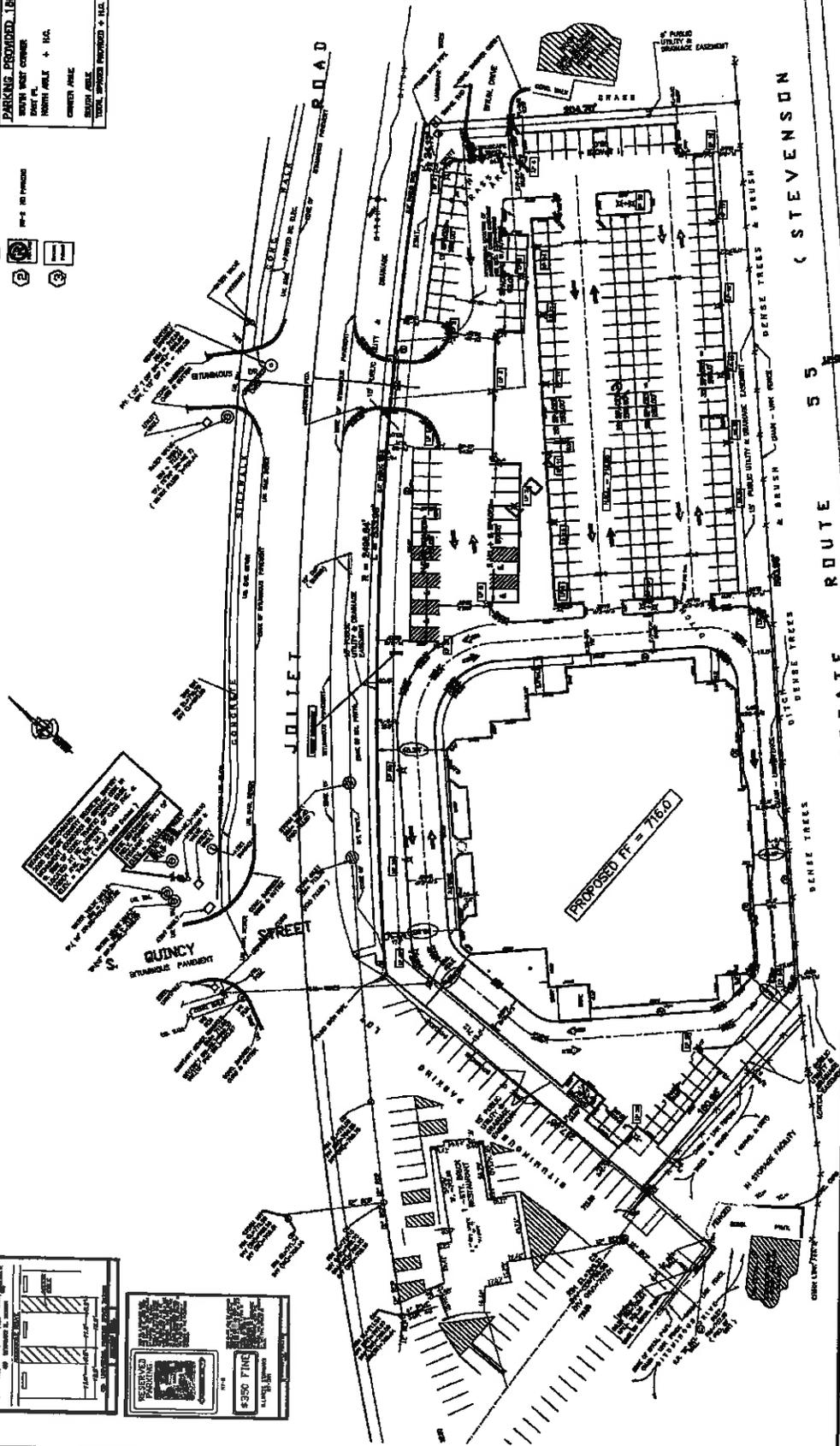
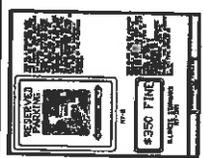
<p>S.E.C. INC. ENGINEERING ARCHITECTURE PLANNING CONSULTING 1000 W. JOLIET RD. WILLOWBROOK, ILL. 60091 PHONE: 312-592-0020 FAX: 312-592-0020</p>	<p>CLIENT: CHRYSLER PEA, LEXUS, HONDA, ILG 1000 W. JOLIET RD. WILLOWBROOK, ILL. 60091 CONTACT: MARK MANNING PHONE: 312-592-0020</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>1-800-882-0123</td> <td>ISSUE FOR PERMITS</td> </tr> <tr> <td>2</td> <td>1-800-882-0123</td> <td>ISSUE FOR PERMITS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	1-800-882-0123	ISSUE FOR PERMITS	2	1-800-882-0123	ISSUE FOR PERMITS
NO.	DATE	DESCRIPTION									
1	1-800-882-0123	ISSUE FOR PERMITS									
2	1-800-882-0123	ISSUE FOR PERMITS									
<p>FINAL ENGINEERING COMPASS ARENA 635 JOLIET RD. WILLOWBROOK, IL</p>		<p>COVER SHEET</p>									
<p>PROJECT NO. 020001 DATE 1-800-882-0123 DESIGNED BY [NAME] DRAWN BY [NAME] CHECKED BY [NAME]</p>		<p>SHEET 1 of 10</p>									



SIGNS



PARKING PROVIDED - 180 SPACES	
WITH FREE COVER	10
WITH COVER	20
MONTHLY PARK + ICA	20
COURTESY PARK	20
STREET PARK	20
TOTAL SPACES PROVIDED + ICA	100



S.P.E.
 SUBCONSULTING ENGINEERING
 CONSULTANTS, INC.
 1000 W. BROADWAY
 SUITE 1000
 WILLOW BROOK, ILL. 60095
 630-577-0200

REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUE FOR PERMITS
2	11/15/11	ISSUE FOR PERMITS
3	12/15/11	ISSUE FOR PERMITS
4	01/15/12	ISSUE FOR PERMITS
5	02/15/12	ISSUE FOR PERMITS

FINAL ENGINEERING
COMPASS ARENA
635 JOLIET RD. WILLOW BROOK, IL

**GEOMETRIC PLAN &
 STRIPING PLAN
 LIGHTING PLAN**

PROJECT NO. 070101A
DATE 12-15-11
SCALE 1" = 40'
DESIGNED BY [Signature]
CHECKED BY [Signature]
DATE 12-15-11

COMPASS ARENA, WILLOW BROOK, ILL.
CONSULTING ENGINEERS
PROJECT: 600-788-1000

PROJECT NO. 070101A
DATE 12-15-11
SCALE 1" = 40'
DESIGNED BY [Signature]
CHECKED BY [Signature]
DATE 12-15-11

STATE ROUTE 55

STEVENSON EXP

JOLIET

GUINCY STREET

PROPOSED PF = 760

STEVENSON EXP

STATE ROUTE 55

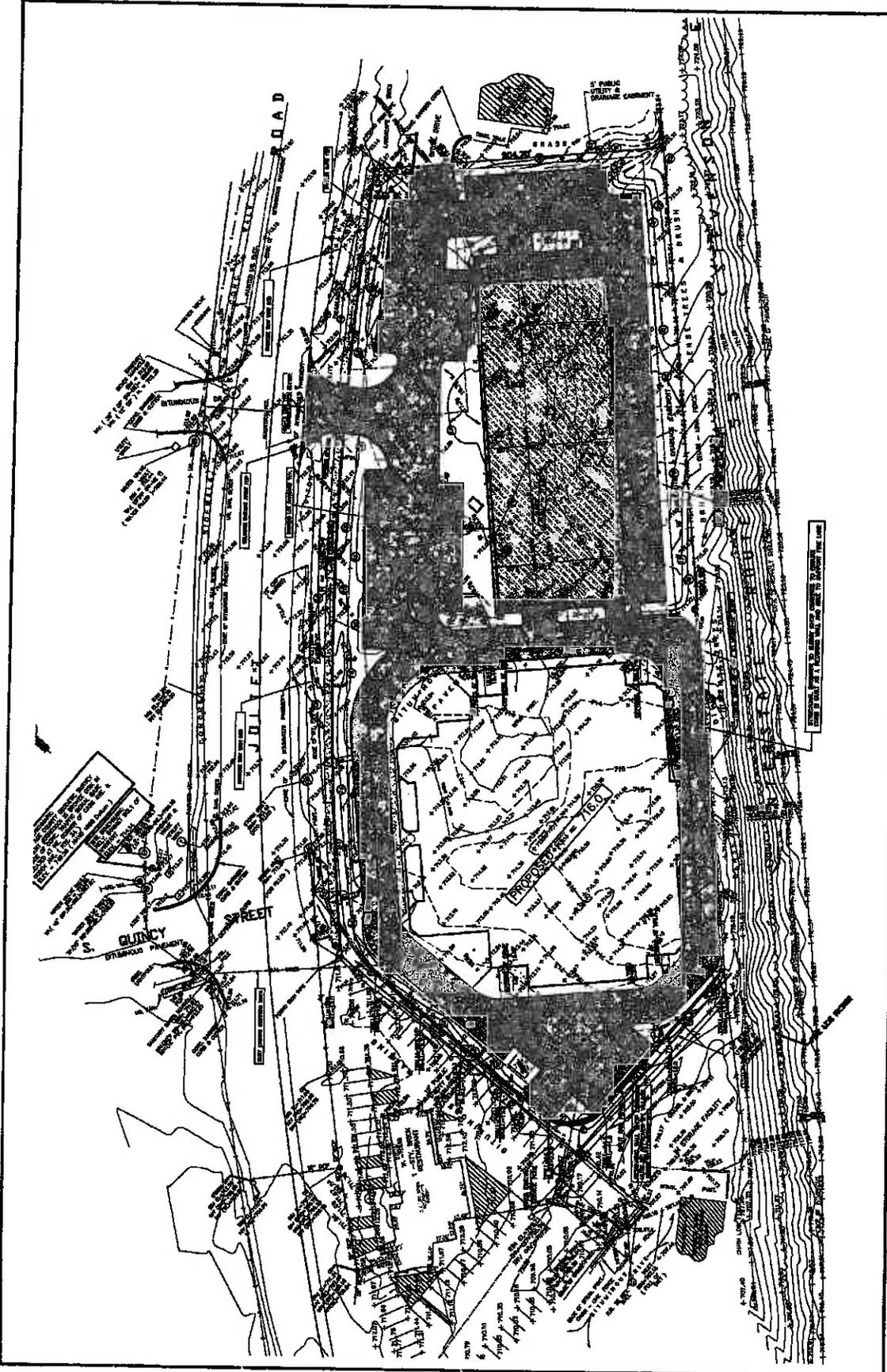
STEVENSON EXP

JOLIET

GUINCY STREET

STATE ROUTE 55

STEVENSON EXP



SBC SURVEYING & ENGINEERING CONSULTANTS, INC. 1000 W. JOLIET RD. JOLIET, ILL. 61731 PHONE: 815-738-3333	CLIENT: COMPASS ARENA 635 JOLIET RD. WILLOWBROOK, IL 60097 PHONE: 630-750-3120	REVISIONS: 1. ISSUED FOR PERMITS 2. ISSUED FOR BIDDING 3. ISSUED FOR CONSTRUCTION 4. ISSUED FOR AS-BUILT	PROJECT NO. 200001 DATE: 11/15/00 SCALE: 1"=40' DESIGNED BY: JMK DRAWN BY: JMK CHECKED BY: JMK
			SHEET 4 OF 10

GRADING PLAN

FINAL ENGINEERING
 COMPASS ARENA
 635 JOLIET RD. WILLOWBROOK, IL

STORM SEWER

- 1) 24" INLET
RM = 714.00
INV. = 711.00
- 2) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 3) 48" MANHOLE O.L.
RM = 710.28
INV. = 710.28
- 4) 24" INLET
RM = 714.00
INV. = 711.00
- 5) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 6) 48" MANHOLE O.L.
RM = 710.28
INV. = 710.28

- 7) RM = 718.00
INV. = 708.75
- 8) RM = 718.00
INV. = 708.75
- 9) RM = 718.00
INV. = 708.75

- 10) RM = 709.58
INV. = 709.58
- 11) RM = 715.58
INV. = 709.78
- 12) RM = 718.10
INV. = 709.75
- 13) RM = 718.08
INV. = 709.75
- 14) RM = 718.00
INV. = 709.75

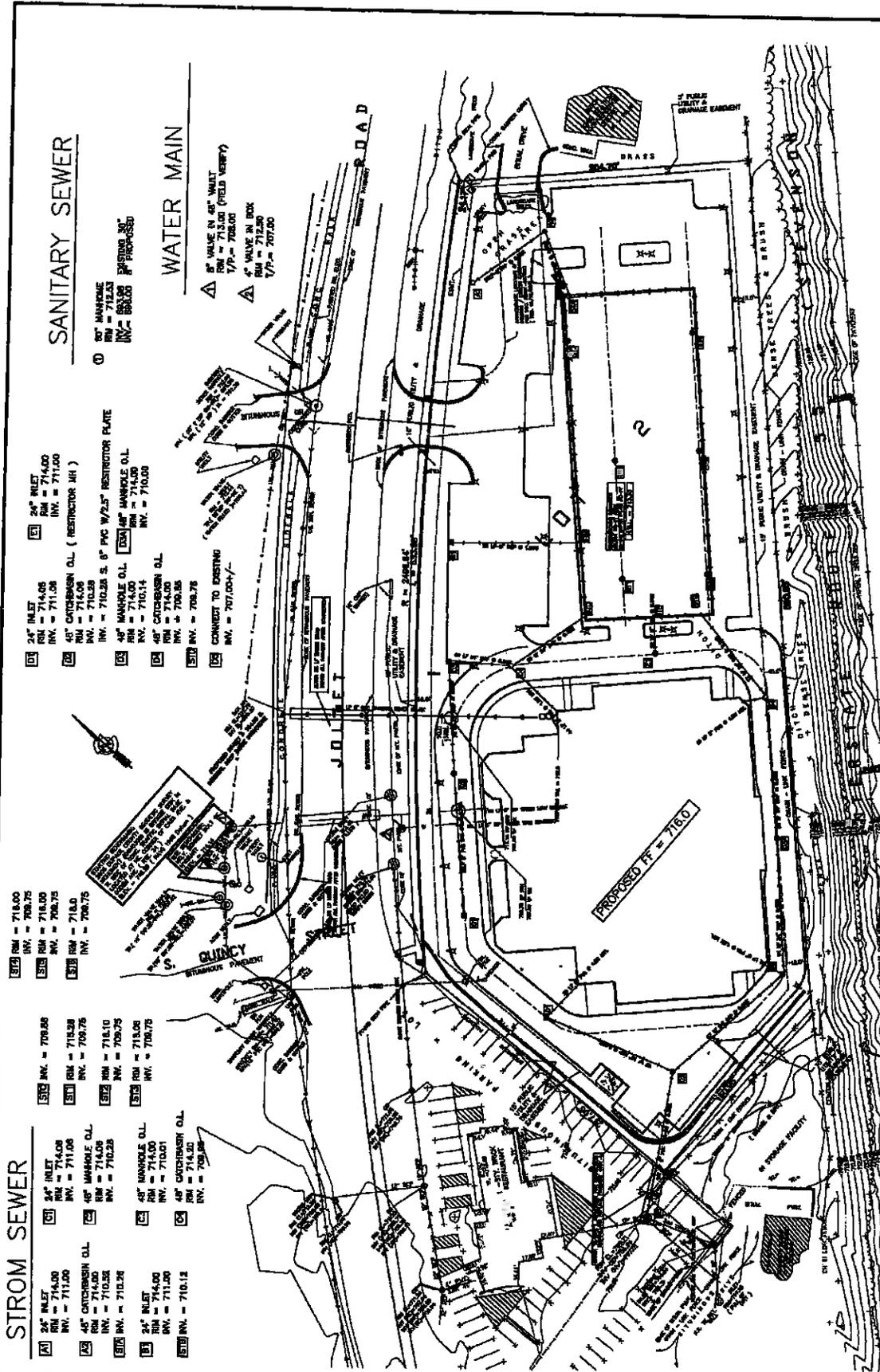
- 15) 24" INLET
RM = 714.00
INV. = 711.00
- 16) 48" CATCHBASIN O.L. (RESTRICTOR IN)
- 17) RM = 714.00
INV. = 710.58
- 18) 48" MANHOLE O.L.
RM = 710.28
INV. = 710.28
- 19) 48" MANHOLE O.L.
RM = 714.00
INV. = 710.58
- 20) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 21) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 22) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 23) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 24) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 25) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 26) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 27) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 28) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 29) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 30) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 31) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 32) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 33) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 34) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 35) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 36) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 37) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 38) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 39) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
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RM = 714.00
INV. = 710.58
- 41) 48" MANHOLE O.L.
RM = 710.28
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- 51) 48" MANHOLE O.L.
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RM = 714.00
INV. = 710.58
- 55) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 56) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 57) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 58) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 59) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 60) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 61) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 62) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
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RM = 710.28
INV. = 709.78
- 64) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 65) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 66) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 67) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 68) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 69) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 70) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 71) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 72) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 73) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 74) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 75) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 76) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 77) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 78) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 79) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 80) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 81) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 82) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 83) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 84) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 85) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 86) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 87) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 88) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 89) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 90) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 91) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 92) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 93) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 94) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 95) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 96) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 97) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 98) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58
- 99) 48" MANHOLE O.L.
RM = 710.28
INV. = 709.78
- 100) 48" CATCHBASIN O.L.
RM = 714.00
INV. = 710.58

SANITARY SEWER

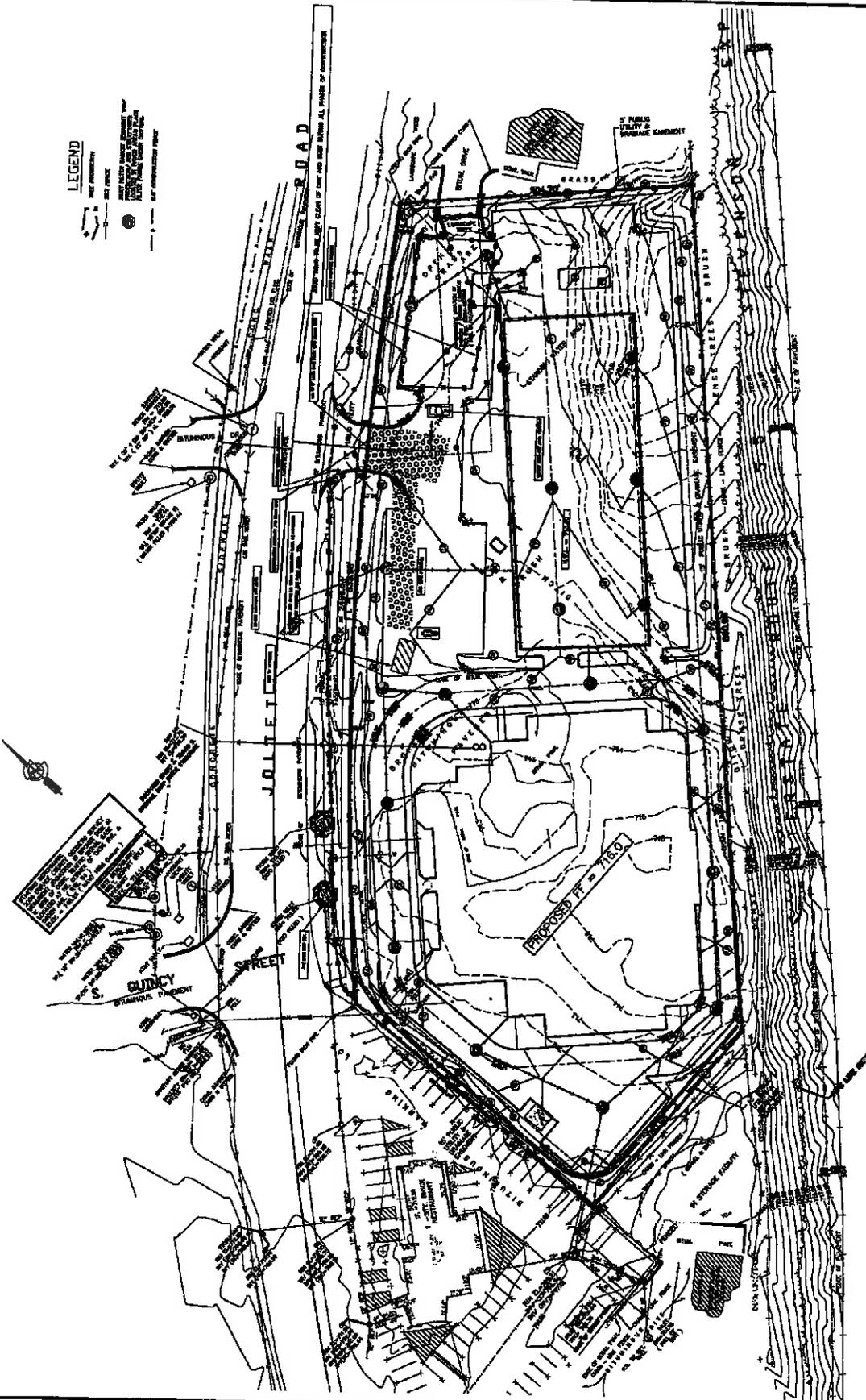
- 101) 8" MANHOLE
RM = 714.58
INV. = 693.00
- 102) 8" MANHOLE
RM = 714.58
INV. = 693.00
- 103) 8" MANHOLE
RM = 714.58
INV. = 693.00

WATER MAIN

- 104) 8" VALVE IN 48" MAIN
RM = 713.00 (FIELD VERIFY)
1/2" = 708.00
- 105) 4" VALVE IN BOX
RM = 712.00
1/2" = 707.00



<p>SEC</p> <p>ENGINEERING</p> <p>COMPASS ARENA</p> <p>635 JOLIET RD. WILLOWBROOK, IL</p>	<p>UTILITY PLAN</p>	<p>PROJECT NO. 00000</p> <p>SCALE 1" = 40'</p> <p>DESIGNED BY [Name]</p> <p>DRAWN BY [Name]</p> <p>CHECKED BY [Name]</p>	<p>SHEET 5 of 10</p>
---	---------------------	--	----------------------

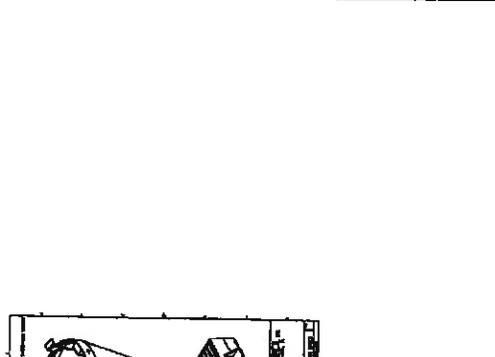
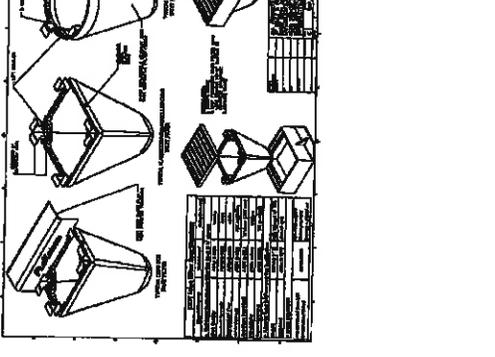
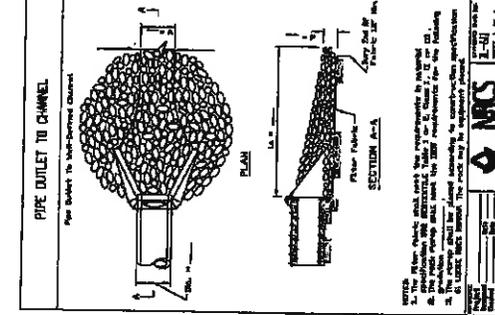
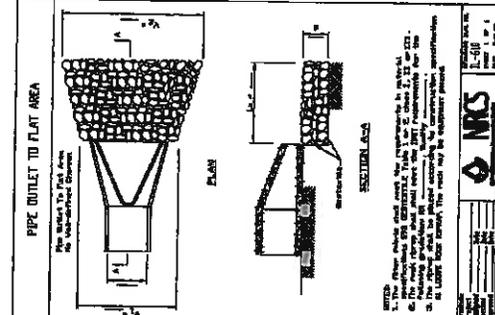
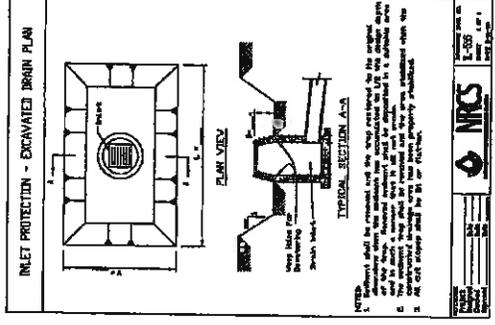
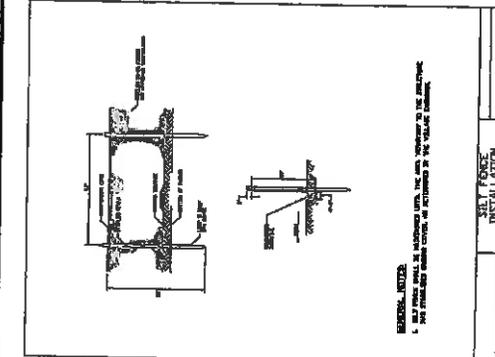
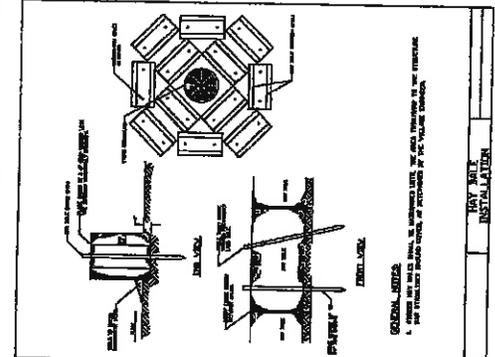
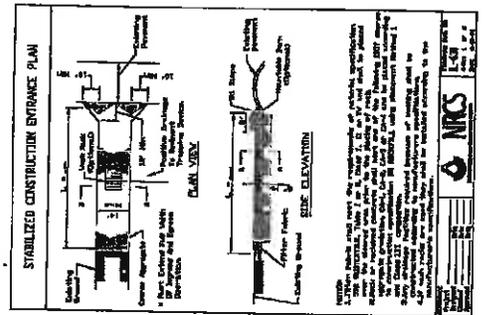
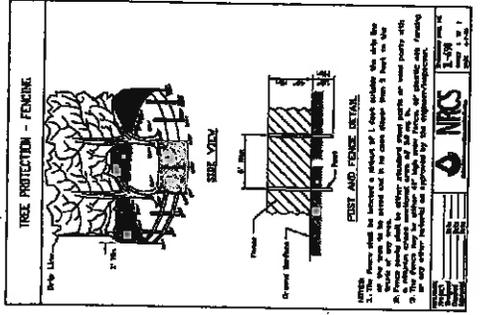
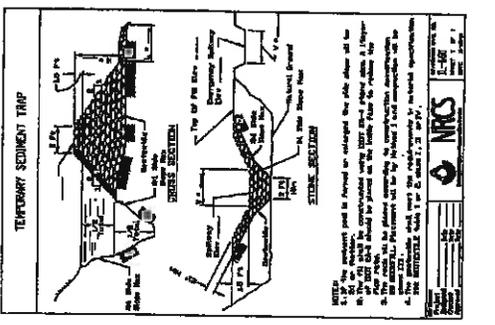


LEGEND

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- SOIL EROSION CONTROL STRUCTURE
- SEDIMENT BASIN
- SILT FENCE
- CHECK DAM
- STAKE
- ELEVATION
- EROSION CONTROL STRUCTURE
- SEDIMENT BASIN
- SILT FENCE
- CHECK DAM
- STAKE
- ELEVATION

S&C CONSULTING ENGINEERS 1000 W. 11TH STREET SUITE 100 WILLOWBROOK, IL 60091 TEL: 630-584-1100	CLIENTS COMPASS ARENA DEVELOPMENT LLC 635 JOLIET RD. WILLOWBROOK, IL 60091	REVISIONS 1. ISSUE FOR PERMIT 2. REVISIONS FOR PERMIT 3. REVISIONS FOR PERMIT 4. REVISIONS FOR PERMIT	PROJECT NO. 000001 DATE 11/15/11 DRAWN BY J. J. J. CHECKED BY J. J. J.
			SHEET 6 OF 10

FINAL ENGINEERING
 COMPASS ARENA
 635 JOLIET RD. WILLOWBROOK, IL
 SOIL EROSION AND SEDIMENT
 CONTROL PLAN



S&C CRE
SOIL EROSION AND SEDIMENT CONTROL
COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL
PROJECT NO. 072014
DATE: 10-15-14
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]

REVISIONS

NO.	DATE	DESCRIPTION
1	10-15-14	ISSUE FOR PERMIT
2	10-15-14	ISSUE FOR PERMIT
3	10-15-14	ISSUE FOR PERMIT
4	10-15-14	ISSUE FOR PERMIT

FINAL ENGINEERING
COMPASS ARENA
635 JOLIET RD. WILLOWBROOK, IL

SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO. 072014
DATE: 10-15-14
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]

SHEET 8 OF 10

StormTrap
 2495 WEST BUNGALOW ROAD
 MCKEES, ILL 60450
 PHONE: 815-398-1100
 FAX: 815-398-1100

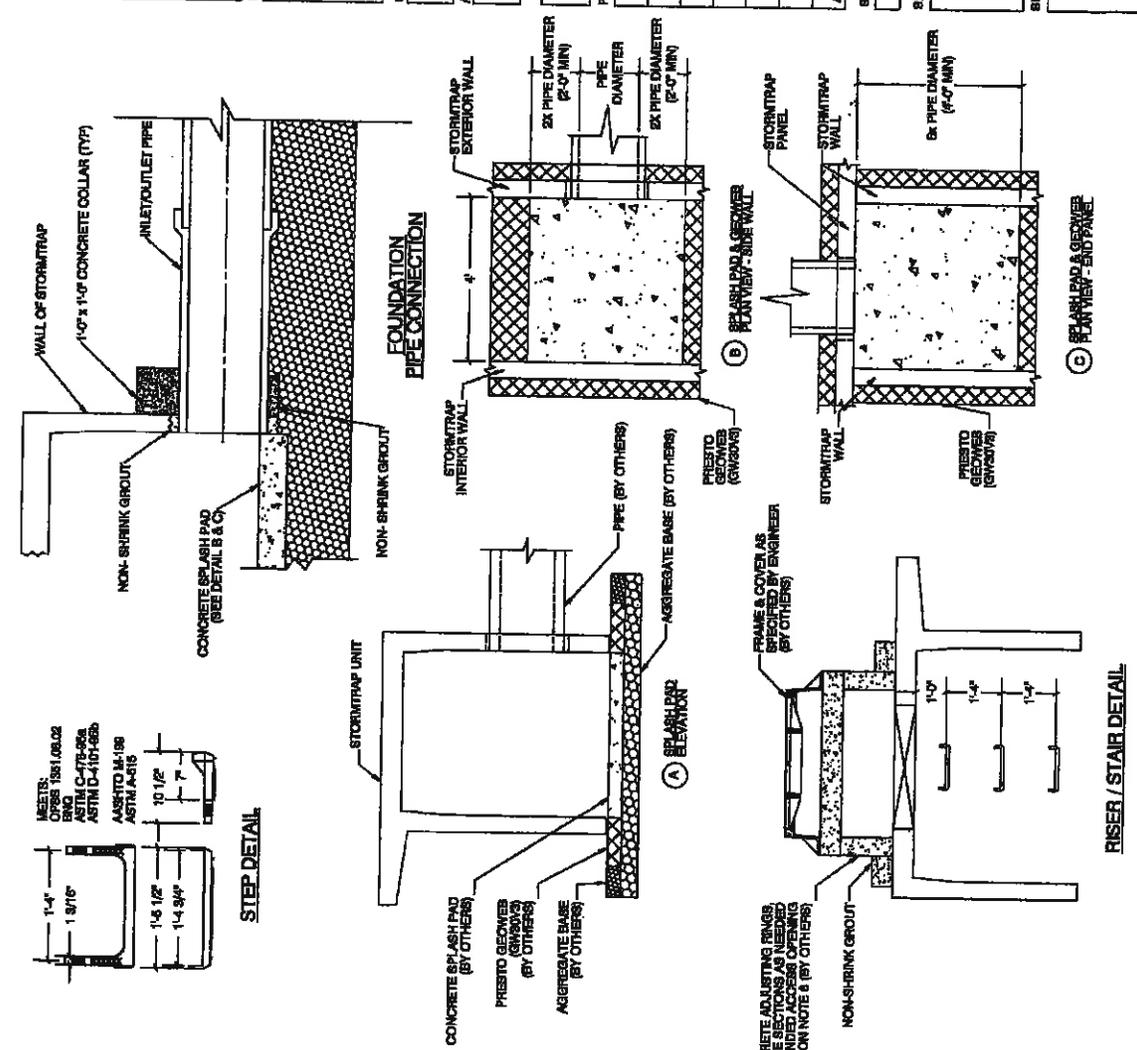
ENGINEER INFORMATION
 SOUTHWEST
 ENGINEERING
 CONSULTANTS, INC.
 7021 BAINBRIDGE DR
 DOWNERS GROVE, ILL 60518
 PHONE: 630-757-0025
 FAX: 630-757-0026

PROJECT INFORMATION
 COMPASS ARENA
 WILLOWROCK, IL

CURRENT ISSUED DATE:
 27-JAN-2015
 APPROVED BY:

REV.	DATE	DESC.	DWG.

PRELIMINARY
 SCALE: NTS
 SHEET TITLE: RECOMMENDED SINGLETRAP INSTALLATION SPECIFICATIONS
 SHEET NUMBER: 2.0



- RECOMMENDED ACCESS OPENING SPECIFICATION**
- TYPICAL ACCESS OPENINGS FOR THE STORMTRAP SYSTEM ARE 6" IN DIAMETER. ACCESS OPENINGS LARGER THAN 6" IN DIAMETER MUST BE PLACED IN ALL DIRECTIONS FROM THE EDGE OF THE STORMTRAP UNIT.
 - PLASTIC COVERED STEPS PRODUCED BY MANY MANUFACTURERS ARE PRECAST AND DO NOT MEET THE REQUIREMENTS OF THIS SPECIFICATION. IF STEPS ARE DESIRED, THE STEPS MUST BE CAST IN PLACE AND BE PLACED WITHIN THE ACCESS OPENING OF 1'-4" BETWEEN STEPS. ALL END LAMP STEPS SHALL BE PLACED WITH A MINIMUM CLEARANCE OR OTHER INFORMATION IN THE UNIT.
 - STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO COINCIDE WITH THE ACCESS OPENING ON THE CENTER OF GRAVITY OF THE UNIT AS NEEDED.
 - STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS. NO PLACEMENT OF STEPS IS ATTAINABLE.
 - ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE REQUIREMENTS FOR SYSTEMS FOR ACCESS AND INSPECTION.
 - USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET EXACT STORMTRAP REQUIREMENTS FOR COVER COVER TO USE PRECAST BARREL OR CONE STRUCTURE (BY OTHERS).

- RECOMMENDED PIPE OPENING SPECIFICATION**
- PIPE OPENINGS SHALL MAINTAIN A MINIMUM 1'-0" OF CLEARANCE FROM A VERTICAL EDGE OF THE STORMTRAP UNIT.
 - MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE SHOULD BE 2'-0" TO 2'-6" IN HEIGHT. IF THIS CRITERIA SHALL BE SOUGHT TO BE EXCEEDED, THE DESIGNER SHALL CONSULT WITH THE MANUFACTURER.
 - CONNECTING PIPES SHALL BE INSTALLED WITH A CONCRETE COLLAR AND AN AGGREGATE CHAIR FOR AT LEAST ONE PIPE LENGTH. AS SHOWN, A MINIMUM CHAIRS SHALL BE LOCATED ON GROUT WITH A MINIMUM 20 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
 - THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

- RECOMMENDED PIPE INSTALLATION INSTRUCTIONS**
- CLEAN AND THOROUGHLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
 - IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
 - ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.

- SPLASH PAD & GEOWEB SPECIFICATION**
- THE APPROVED GEOWEB SHALL BE PRECAST GEOWEB (GEOWEB). THE GEOWEB NOMINAL DIMENSIONS SHALL BE 3'-0" X 2'-0".
 - SPLASH PAD AND GEOWEB SHALL BE INSTALLED PRIOR TO INSTALLATION OF THE STORMTRAP UNIT.
 - THE GEOWEB WALL MATERIAL SHALL BE ASBESTO MAS-44 AGGREGATE (SEE DETAIL A).
 - THE CONCRETE FLASH PAD SHALL BE INSTALLED WITHIN THE GEOWEB AND IS REQUIRED AT ALL PIPE ENTRY LOCATIONS. SEE DETAIL B & C.
 - THE GEOWEB EDGE SHALL BE INSTALLED 1'-0" BEYOND THE OUTER PERIMETER OF THE STORMTRAP SYSTEM.
 - THE GEOWEB VERTICAL DIMENSION (2'-0") SHALL BE ANNULUS PARALLEL TO THE STORMTRAP LEGS.
 - THE CONCRETE FLASH PAD AND GEOWEB SHALL BE CENTERED AT THE PIPE PENETRATION. THE FLASH PAD DIMENSIONS COULD VARY IN UNITS THAT ARE LESS THAN 1'-0" IN LENGTH.

PRECAST CONCRETE ADJUSTING RINGS AND COVER COULD BE NEEDED TO MEET EXACT STORMTRAP REQUIREMENTS FOR COVER COVER TO USE PRECAST BARREL OR CONE STRUCTURE (BY OTHERS).

© FLASH PAD & GEOWEB

RISER / STAIR DETAIL



2495 WEST BANGLOW ROAD
 ADDICKS, ILLINOIS 60101
 P: 815-416-4463
 F: 815-416-1100

ENGINEER INFORMATION:

SOUTHWEST
 ENGINEERING
 CONSULTANTS, INC.
 7881 BAINBRIDGE DR
 DOWNERS GROVE, IL 60518
 PHONE: 630-737-0025
 FAX: 630-737-0025

PROJECT INFORMATION:

COMPASS ARENA
 WILLOWBROOK, IL

CURRENT ISSUED DATE:

27-JAN-2016

APPROVED BY:

PRELIMINARY

REV: DATE: DESC. DWG.

REV	DATE	DESC.	DWG.
1	27-JAN-2016	ISSUED FOR PRELIMINARY	DS

SCALE: NTS

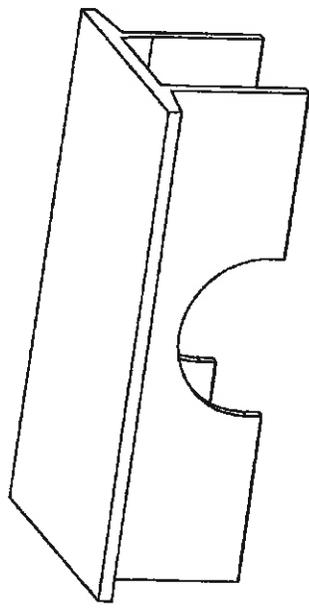
SHEET TITLE:

4'-6" SINGLETRAP
 UNIT TYPES

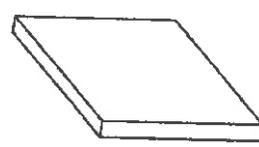
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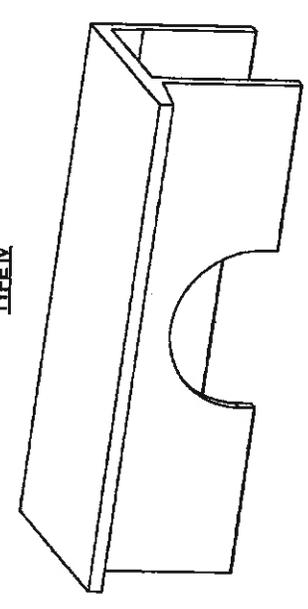
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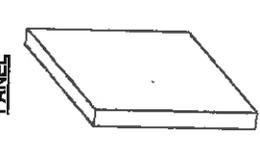
TYPE I
 PANEL



TYPE IV

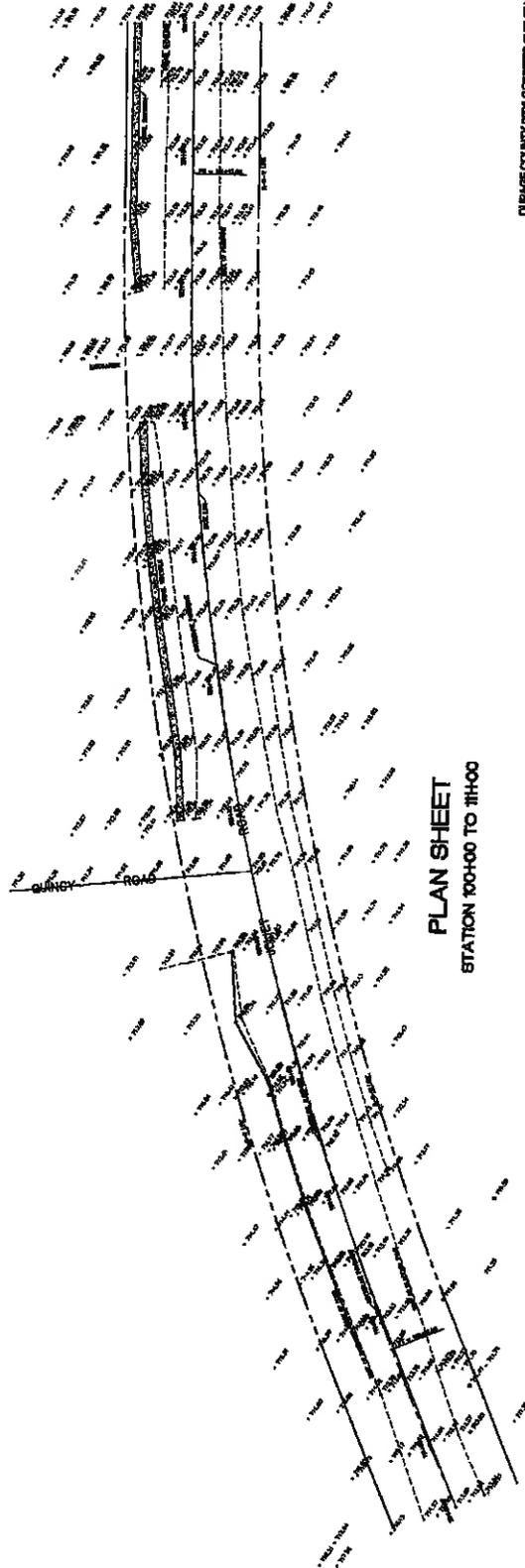


TYPE IV
 PANEL



- NOTES:
1. OPENING LOCATIONS AND SHAPES MAY VARY.
 2. SP - INDICATES A UNIT WITH A POCKET WINDOW OPENING.
 3. P - INDICATES A UNIT WITH A PANEL ATTACHMENT.
 4. POCKET WINDOW OPENINGS ARE OPTIONAL.

EXISTING CROSS SECTIONS ALONG
JOLIET ROAD IN WILLOWBROOK, ILLINOIS.
(ON MAY 8, 2015)



PLAN SHEET
STATION 100+00 TO 111+00

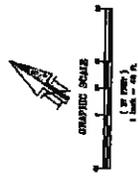
DELAWARE COUNTY 2008 GEODETIC SURVEY MONUMENT
SHOWING THE LOCATION OF THE WEST END OF MADISON
STREET IN THE EAST PART OF THE SECTION 16, TOWNSHIP 35
FOR THE INTERSTATE 55 CORPUS. STATION IS 462.71 NORTH
OF THE CENTERLINE OF MADISON STREET AND 282.71 NORTH
OF THE CENTERLINE OF QUINCY STREET. THE MONUMENT IS
A 3" DISK WITH A IMPALE LOCATED 3.74 FT. ABOVE THE
STREET SURFACE.
ELEVATION: 714.58 (NAVD 88)

DELAWARE COUNTY
ENGINEER
I. J. [Signature]
I hereby certify that the above is a true and correct copy of the original as shown to me by the engineer in charge of the work on the above project.

DATE OF ISSUE: 1/15/15
I hereby certify that the above is a true and correct copy of the original as shown to me by the engineer in charge of the work on the above project.
I, [Signature], State Engineer, do hereby certify that the above is a true and correct copy of the original as shown to me by the engineer in charge of the work on the above project.
I, [Signature], State Engineer, do hereby certify that the above is a true and correct copy of the original as shown to me by the engineer in charge of the work on the above project.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES
AND THE LOCATION OF EXISTING SURFACE UTILITIES
ARE NOT NECESSARILY SHOWN BY THIS
DRAWING. THE ENGINEER HAS CONDUCTED VISUAL
INSPECTIONS OF THE PROJECT AREA AND HAS
OBTAINED ALL NECESSARY RECORD DRAWINGS AND
ASSETS, WHICH HAVE BEEN CORRELATED BY THE
ENGINEER. ALL UNDERGROUND UTILITIES
SHOWN ARE BASED ON RECORD DRAWINGS AND
FIELD SURVEY DATA.

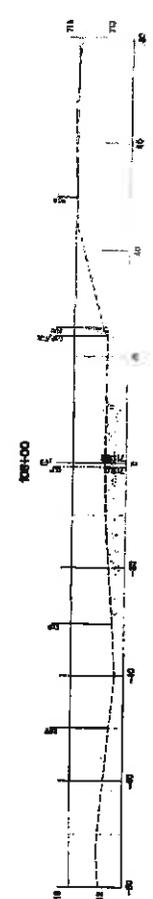
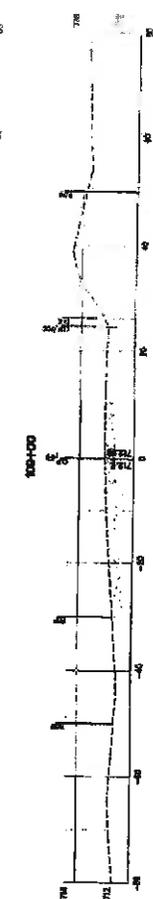
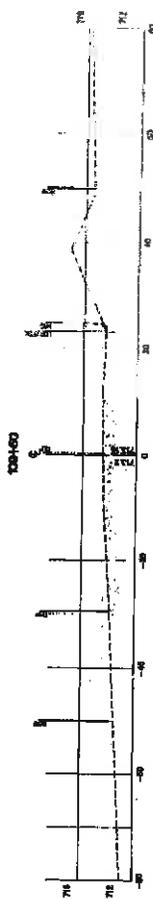
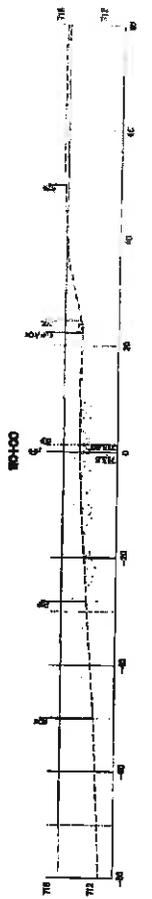
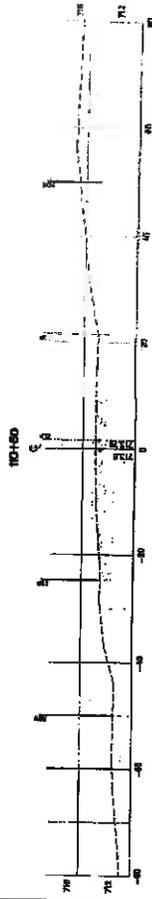


DATE: 05-15-15	PROJECT: FOR	SHEET: 1 OF 3
DRAWN: A.S.	DESIGNED: [Signature]	
CHECKED: A.S.	APPROVED: [Signature]	
DATE: 05-15-15	PROJECT: [Signature]	
SCALE: 1" = 40'	PROJECT: [Signature]	





EXISTING CROSS SECTIONS
STATION 108+00 TO 114+00



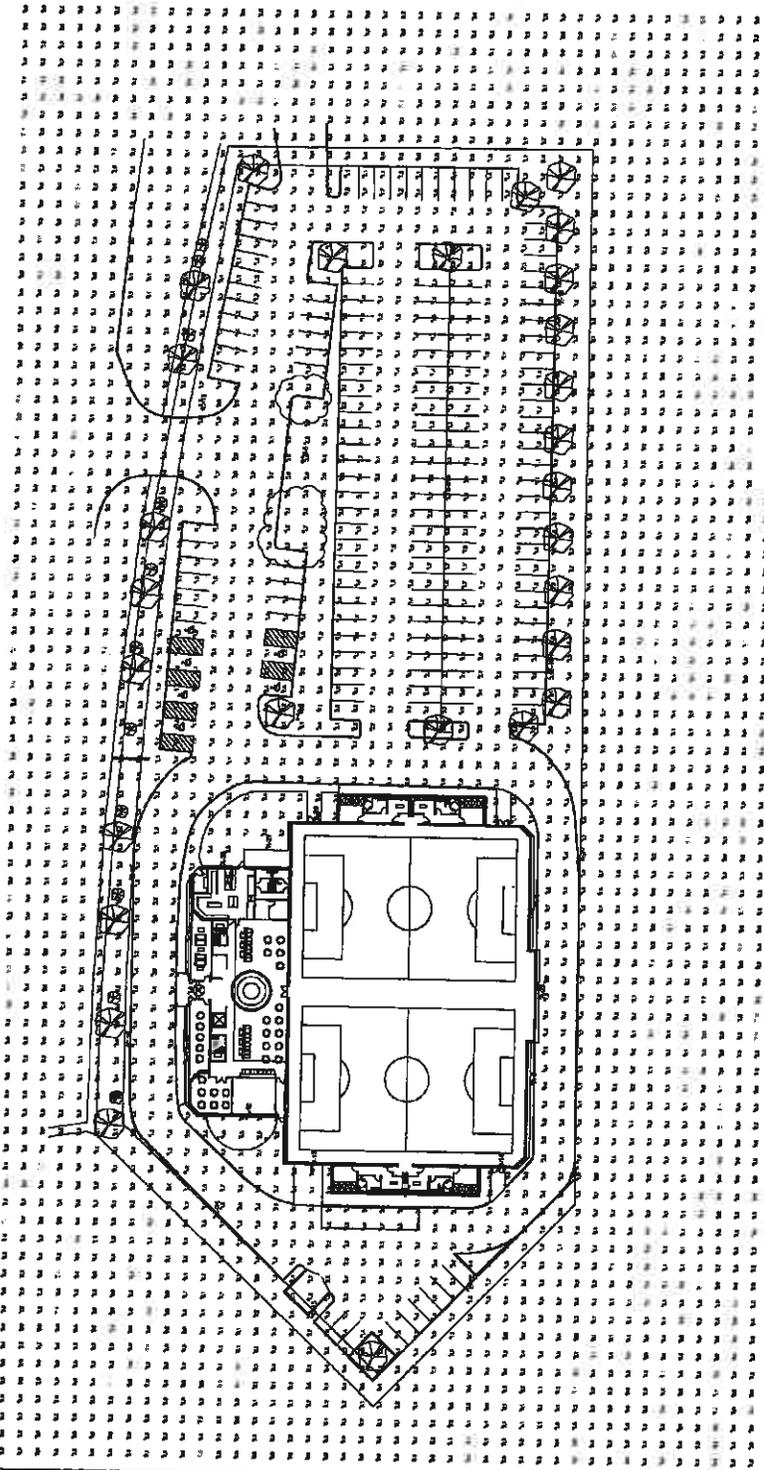
LEGEND:
 --- LINE OF PROPOSED
 --- EXISTING ROADWAY
 --- EXISTING SIDEWALK
 --- EXISTING DRIVEWAY
 --- EXISTING UTILITY
 --- EXISTING FENCE
 --- EXISTING FURNISHMENT
 --- EXISTING PAVEMENT
 --- EXISTING CURB
 --- EXISTING DRAINAGE
 --- EXISTING LIGHTING
 --- EXISTING SIGNAGE
 --- EXISTING LANDSCAPE
 --- EXISTING UTILITIES
 --- EXISTING FENCES
 --- EXISTING FURNISHMENT
 --- EXISTING PAVEMENT
 --- EXISTING CURB
 --- EXISTING DRAINAGE
 --- EXISTING LIGHTING
 --- EXISTING SIGNAGE
 --- EXISTING LANDSCAPE

SCALE: HORIZONTAL 1"=40'
 VERTICAL 1"=4'

OWNER: N/A	PROJECT NO.	SHEET NO.	TOTAL SHEETS
DESIGNER: J.A.	DATE: 08-28-05	PROJECT: 4335 JULET ROAD, WILLOWBROOK, ILLINOIS	3 OF 3
DRAWN BY: J.S.	CHECKED BY: J.S.	APPROVED BY: J.S.	
DATE: 08-28-05	SCALE: AS SHOWN	PROJECT: 4335 JULET ROAD, WILLOWBROOK, ILLINOIS	

Client of record: VARI
Contract No. 1429K
Date of issue: 08/11/11
Scale: 1/8" = 1'-0"

DATE	BY	APP. BY
08/11/11	JL	JL
08/11/11	JL	JL
08/11/11	JL	JL



SITE PLAN
PAGE 1 OF 2

STATISTICS

Category	Count	Area	Volume	Permit
Structure	1	1,111,000	1,111,000	1,111,000
Site Work	1	1,111,000	1,111,000	1,111,000
Other	0	0	0	0
Total	2	2,222,000	2,222,000	2,222,000

LUMINAIRE SCHEDULE

Level	Area	Level	LP	W/L
1	ARENA FLOOR	1	100	100
2	ARENA CEILING	2	100	100
3	PARKING LOT	3	100	100
4	OFFICE FLOOR	4	100	100
5	OFFICE CEILING	5	100	100
6	MECHANICAL ROOM	6	100	100
7	MECHANICAL CEILING	7	100	100
8	MECHANICAL ROOM	8	100	100
9	MECHANICAL CEILING	9	100	100
10	MECHANICAL ROOM	10	100	100
11	MECHANICAL CEILING	11	100	100
12	MECHANICAL ROOM	12	100	100
13	MECHANICAL CEILING	13	100	100
14	MECHANICAL ROOM	14	100	100
15	MECHANICAL CEILING	15	100	100
16	MECHANICAL ROOM	16	100	100
17	MECHANICAL CEILING	17	100	100
18	MECHANICAL ROOM	18	100	100
19	MECHANICAL CEILING	19	100	100
20	MECHANICAL ROOM	20	100	100
21	MECHANICAL CEILING	21	100	100
22	MECHANICAL ROOM	22	100	100
23	MECHANICAL CEILING	23	100	100
24	MECHANICAL ROOM	24	100	100
25	MECHANICAL CEILING	25	100	100
26	MECHANICAL ROOM	26	100	100
27	MECHANICAL CEILING	27	100	100
28	MECHANICAL ROOM	28	100	100
29	MECHANICAL CEILING	29	100	100
30	MECHANICAL ROOM	30	100	100

LUMINAIRE LOCATIONS

No.	Level	X	Y	W	H	Comments
1	1	100	100	100	100	
2	1	100	100	100	100	
3	1	100	100	100	100	
4	1	100	100	100	100	
5	1	100	100	100	100	
6	1	100	100	100	100	
7	1	100	100	100	100	
8	1	100	100	100	100	
9	1	100	100	100	100	
10	1	100	100	100	100	
11	1	100	100	100	100	
12	1	100	100	100	100	
13	1	100	100	100	100	
14	1	100	100	100	100	
15	1	100	100	100	100	
16	1	100	100	100	100	
17	1	100	100	100	100	
18	1	100	100	100	100	
19	1	100	100	100	100	
20	1	100	100	100	100	
21	1	100	100	100	100	
22	1	100	100	100	100	
23	1	100	100	100	100	
24	1	100	100	100	100	
25	1	100	100	100	100	
26	1	100	100	100	100	
27	1	100	100	100	100	
28	1	100	100	100	100	
29	1	100	100	100	100	
30	1	100	100	100	100	

D-Series Size 1 LED Area Luminaire

Technical drawing of a luminaire showing front and side views with dimensions.

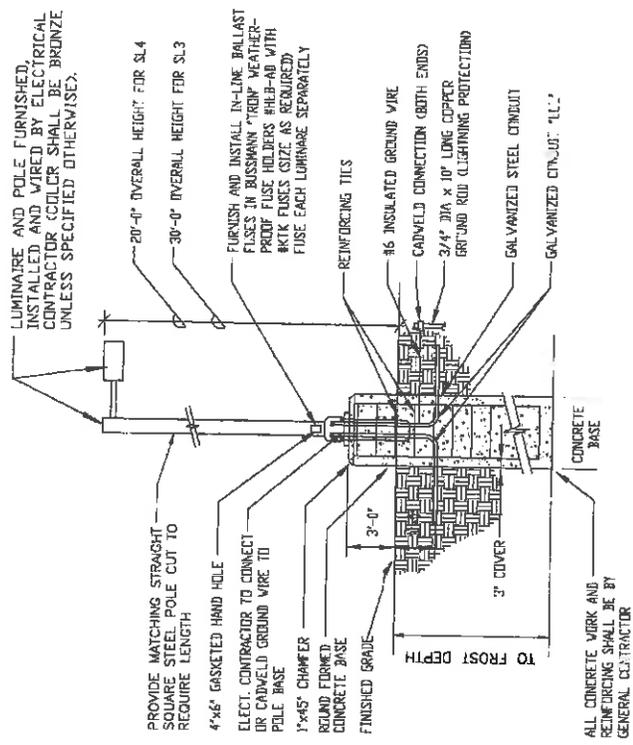
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1000000001	LED Area Luminaire	1	
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1000000004	LED Area Luminaire	1	
1000000005	LED Area Luminaire	1	
1000000006	LED Area Luminaire	1	
1000000007	LED Area Luminaire	1	
1000000008	LED Area Luminaire	1	
1000000009	LED Area Luminaire	1	
1000000010	LED Area Luminaire	1	

COMPASS ARENA
888 JOILET ROAD
WILLOWBROOK, ILLINOIS

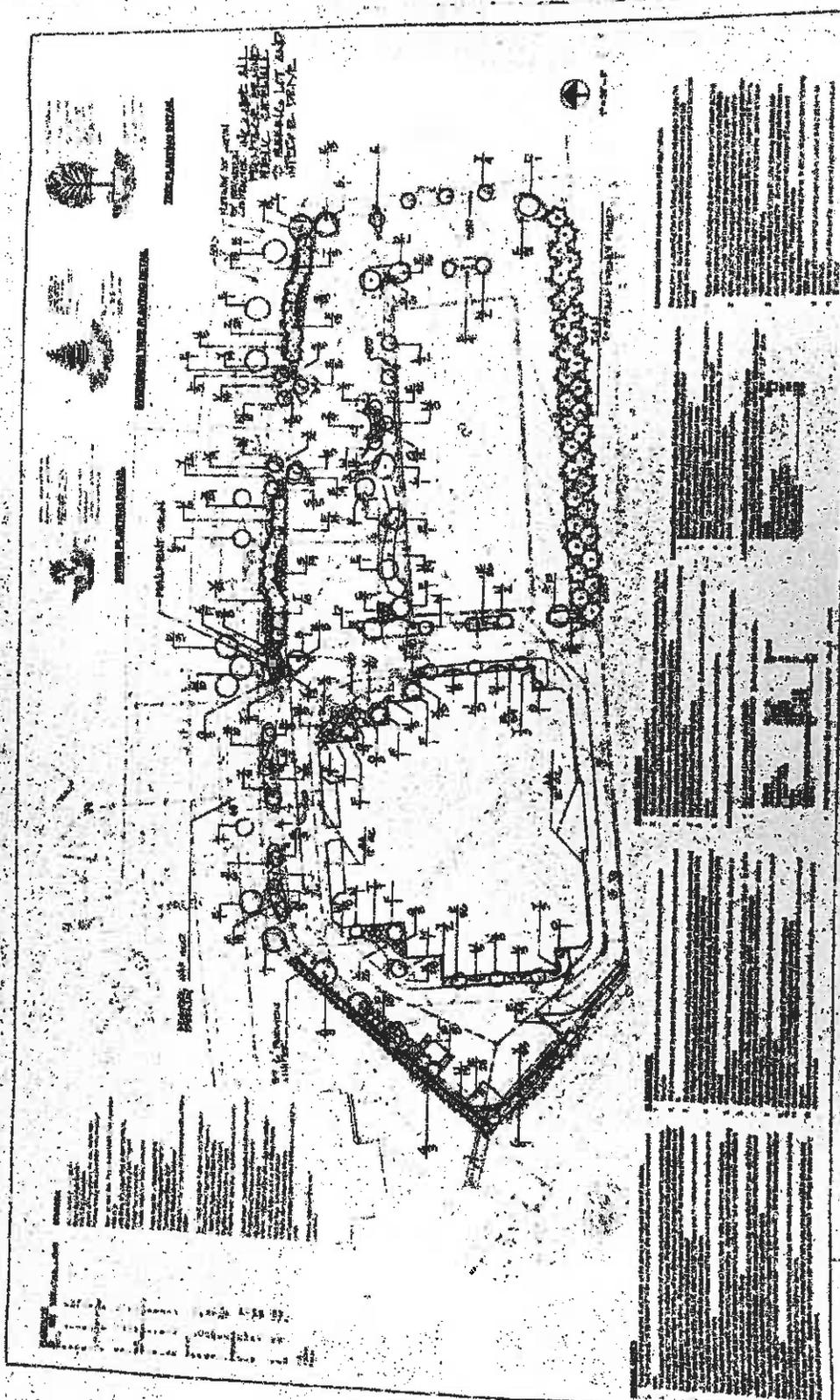
VAPEL AND ASSOCIATES
1420 KENNEDY RD. SUITE 108
OAK BROOK, IL 60523

SE2

Sheet title and project information.



POLE DETAIL
SCALE: **1** (SF2)
NOT TO SCALE



LANDSCAPE ARCHITECT:
 Robert P. ...
 2222 ...
 ...

COMPASS ARENA
 ONE JEWETT ROAD FALLOUTS, N.C.

LANDSCAPE PLAN
 SHEET NO. 1

DATE	NO.	DESCRIPTION