

A G E N D A

SPECIAL MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, AUGUST 17, 2016 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
  - A. Waive Reading of Minutes (APPROVE)
  - B. Minutes - Special Meeting July 20, 2016
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-09:(10 Midway Drive, Willowbrook, Illinois-Tony and Lisa Wong) Petition for a variance of an exterior side yard setback for a proposed single family residential unit, including such relief, exceptions and variations from Title 9 of the Village Code necessary to allow the reduction from the required 40' setback on the property.
  - A. PUBLIC HEARING CONTINUED FROM AUGUST 3, 2016 MEETING
  - B. DISCUSSION/RECOMMENDATION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-16: (7501-7601 Quincy Street, Willowbrook, Illinois - ROC Willowbrook, LLC) Petition to amend a special use permit for a Planned Unit Development to allow the addition of a second story to storage facility Building A, and to consider alternate façade and building materials for both storage facility Building A and B, and other variations and zoning relief as may be required.
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT

MINUTES OF THE SPECIAL MEETING OF THE PLAN COMMISSION HELD ON WEDNESDAY, JULY 20, 2016, AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS

1. CALL TO ORDER

Commissioner Remkus called the meeting to order at the hour of 7:00 p.m.

2. ROLL CALL

Those present at roll call were Commissioners Lacayo, Remkus, Soukup, Kaucky and Ruffolo. Also present were Village Planner Anna Franco, Building Inspector Roy Giuntoli and Administrative Intern Tiffany Kolodziej.

Absent: Chairman Kopp and Vice-Chairman Wagner.

3. Motion was made by Commissioner Lacayo to appoint Commissioner Remkus as Chairman Pro Tempore. Motion was seconded by Commissioner Soukup.

4. OMNIBUS VOTE AGENDA

The items on the Omnibus Vote Agenda were as follows:

- A. Waive Reading of Minutes (APPROVE)
- B. Minutes – Special Meeting June 8, 2016
- C. Minutes – Village Board Meeting May 9, May 23, June 13, and June 27, 2016

MOTION: Made by Commissioner Ruffolo, seconded by Commissioner Lacayo, to approve the Omnibus Vote Agenda.

MOTION DECLARED CARRIED

5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-15: 7725 S. Quincy Street, TruFragrance. Consideration of a petition for variations from Title 9 of the Village Code to allow an existing non-conforming principal structure to be in conformance with the Village's code, at the property commonly known as TruFragrance & Beauty LLC Headquarters, in the M-1 Zoning District.

- A. PUBLIC HEARING
- B. DISCUSSION/RECOMMENDATION

See Court Reporter Minutes

MOTION: Made by Ruffolo seconded by Lacayo that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to

the Mayor and Village Board for variations as shown in Attachment 1 of the staff report prepared for the July 20, 2016 Plan Commission for PC 16-15, and recommend approval of variations as outlined in this staff report prepared for the July 20, 2016 Plan Commission, to allow an existing non-conforming principal structure to be in conformance with the Village's code.

ROLL CALL: AYES: Commissioners Lacayo, Kaucky, Ruffolo, Soukup, and Remkus;  
NAYS: None. ABSENT: Vice-Chairman Wagner, and Chairman Kopp.

MOTION DECLARED CARRIED

6. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-10: Holmes Elementary School Modular Classrooms, 5800 South Holmes Avenue, Clarendon Hills, Illinois 60514. Consideration of a petition for approval of an amendment to an existing special use for variations from Title 9 of the Village Code to allow the location of two (2) temporary modular outdoor classrooms at the property commonly known as Holmes Elementary School, in the R-1 Zoning District
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION

See Court Reporter Minutes

MOTION: Made by Ruffolo seconded by Kaucky that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for special uses and variances as shown in Attachments 1 and 2 of the staff report prepared for the July 20, 2016 Plan Commission for PC 16-10, and recommend approval of an amendment to the existing special use to allow a variation from 9-10-5 (K) to reduce the minimum required on-site parking spaces, a variation from 9-10-5 (B) to allow off-site parking on an adjacent lot with an existing use, and a variation from 9-10-5 (O) to allow nine (9) overnight bus parking stalls, to allow two (2) temporary modular classrooms on the subject property, subject to the following conditions:

1. Additional landscaping, including four (4) evergreen trees and one (1) deciduous tree, shall be added to the Landscape Plan, and that the Landscape Plan shall be prepared per Village code requirements.
2. Construction and maintenance of the modular classrooms shall at all times be in substantial compliance with the plans identified in the attachments of the July 20, 2016 staff report for PC 16-10.
3. The two (2) temporary modular classrooms shall be allowed for a period of three (3) years from the date of approval of the zoning request by the Village Board.

ROLL CALL: AYES: Commissioners Lacayo, Kaucky, Ruffolo, Soukup, and Remkus;  
NAYS: None. ABSENT: Vice-Chairman Wagner, and Chairman Kopp.

MOTION DECLARED CARRIED

7. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-07: Compass Event Center, 635 Joliet Road. Consideration of a petition for a special use permit for a Planned Unit Development, including such relief, exceptions and variations from Title 9 and Title 10 of the Village Code.
  - A. PUBLIC HEARING
  - B. DISCUSSION/RECOMMENDATION

See Court Reporter Minutes

MOTION: Made by Lacayo seconded by Kaucky that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings of fact to the Mayor and Village Board for a Special Use Permit as shown in Attachment 1 of the Staff Report prepared for the July 20, 2016 Plan Commission for PC 16-07, and recommend approval of a Special Use Permit for a Planned Unit Development, including such relief, exceptions and variations from Title 9 and Title 10 of the Village Code, as outlined in this Staff Report, prepared for the May 18, 2016 Plan Commission meeting for PC 16-07, to develop a 45,934 square foot facility that includes a 28,992 square foot indoor soccer facility, and 16,562 square feet of restaurant, bar and golf simulator entertainment space, subject to the following conditions:

1. The submitted revised engineering plans, included as Attachment 2, be completed as reviewed and approved by the Village Engineer.
2. The applicant shall provide a copy of the document that granted the existing Ingress and Egress Easement on the east end of the subject property to Village Staff.
3. The applicant shall work with the owners of the 7-11 property to amend or eliminate the existing Ingress and Egress Easement on the east end of the subject property and provide Staff with new documentation of the amended or eliminated Ingress and Egress Easement.
4. The applicant shall revise existing plans to eliminate the two (2) digital signs directed to I-55 and reduce the size of the front wall sign and the monument sign to be in conformance with the Village code.
5. The special use permit shall be null and void if construction for the proposed use is not commenced and a certificate of occupancy is not granted within twelve (12) months of the date of any approval of the special use by the Village Board.
6. Plans shall be submitted prior to the Village Board meeting specifying the fire hydrant locations to be approved by Tri-State Fire Protection District 1.

7. The applicant shall include proposed use on the approved plans, prior to Village Board approval. Future modifications to the use of any room subject to administrative review to determine whether a major change amendment is required based on parking.
8. The petitioner and Village Staff will collaboratively investigate the feasibility of burying the power wire and removing the pole west along the north side of Frontage Road as part of the project.
9. A parking agreement shall be executed to accomplish the following:
  - a. Stipulates parking near the front for "Employees Only"
  - b. Parking shall be in designated parking spaces only (drive aisles shall be kept clear)
  - c. Semis shall not park on the site, except in the one loading spot and only when loading and unloading products.
10. Cigar Lounge use is not allowed.

ROLL CALL: AYES: Commissioners Lacayo, Kaucky, Ruffolo, Soukup, and Remkus;  
NAYS: None. ABSENT: Vice-Chairman Wagner, and Chairman Kopp.

MOTION DECLARED CARRIED

8. VISITOR'S BUSINESS

None.

9. COMMUNICATIONS

None.

10. ADJOURNMENT

MOTION: Made by Commissioner Soukup, seconded by Commissioner Lacayo, to adjourn the regular meeting of the Plan Commission at the hour of 9:15 p.m.

UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

\_\_\_\_\_, 2016

Minutes transcribed by Joanne Prible.

\_\_\_\_\_  
Chairman

# TESTIMONY OF

**Date:** July 20, 2016

**Case:** WILLOWBROOK PLANNING MEETING 7.20.2016



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VILLAGE OF WILLOWBROOK

PUBLIC HEARING

ZONING HEARING CASE NOS. 16-15, 16-10, AND 16-07

REPORT OF PROCEEDINGS had at  
the Public Hearing of the above-entitled cases  
before The Planning Commission at Hinsdale South  
High School, Little Theater, 7401 Clarendon Hills  
Road, City of Darien, Illinois, on the 20th day of  
July, 2016, at the hour of 7:02 p.m.

PRESENT:

William Remkus, Chairman Pro Tempore

Leonard Kaucky

Bernardo Lacayo

Gregory Ruffolo

James Soukup

Brian W. Baugh, Attorney

Roy Giuntoli, Building Inspector

Anna Franco, Planning Consultant

Tiffany Kolodziej, Intern and Recording

Secretary

1 MR. REMKUS: Next item on the agenda  
2 is a public hearing regarding Case No. 16-15.  
3 This is a petition requesting approval of  
4 variations from Title 9 of the Village code to  
5 allow an existing nonconforming principal  
6 structure to be in conformance with the Village's  
7 code at the property commonly known as  
8 TruFragrance & Beauty, LLC headquarters in the M-1  
9 Zoning District.

10 Is there a motion to open the  
11 hearing and make the application and staff report  
12 part of the public record?

13 MR. RUFFOLO: So moved.

14 MR. REMKUS: Second?

15 MR. SOUKUP: Second.

16 MR. REMKUS: All in favor?

17 ALL COMMISSIONERS: Aye.

18 MR. REMKUS: Opposed? Motion  
19 carries.

20 The public hearing is open at  
21 this time. I would ask the petitioner to step  
22 forward and state their name and address for the  
23 record. I would ask the court reporter to swear  
24 in the petitioner and anyone else testifying on

1 this matter.

2 MR. KOHLSTEDT: Good evening. I'm  
3 Jim Kohlstedt. I'm the attorney that represents  
4 TruFragrance and the LLC that owns the building.  
5 Tonight we have with us Brad Wallace, who is the  
6 CFO of TruFragrance. He's also representing the  
7 ownership. And Terry Grapethin is with us. He's  
8 the broker that initially brokered the transaction  
9 in 2010 when the property was in repossession and  
10 saw them through the renovation stages with  
11 respect to the property. So the three of us, if  
12 you've got questions of any of the three of us,  
13 we're all available.

14 MR. REMKUS: Would you stand.  
15 (James Kohlstedt, Brad Wallace, and  
16 Terry Grapenthin were sworn.)

17 MR. KOHLSTEDT: This is an  
18 interesting request because we're not asking for a  
19 variance that would make any changes to the  
20 existing building or to the parking lot.  
21 Basically it would stay the same. It's a, we  
22 think, a nice reflection on what Willowbrook has  
23 become in the industrial community. The owners of  
24 the building were approached by an institutional

1 owner, large institutional owner, Zilber, a  
2 company out of Milwaukee, to undertake what's  
3 called a sale lease-back transaction. They  
4 would -- TruFragrance would continue to occupy the  
5 building. They would have a ten-year lease with  
6 two very attractive five-year options. But one of  
7 the issues that has come up from the institutional  
8 ownership perspective is, and it's remote, but  
9 it's always a possibility, that in the event of a  
10 casualty that they would be able to rebuild on the  
11 same footprint.

12 Miss Franco and staff has been  
13 exceptionally helpful. I want to thank Cindy  
14 Stuckle for all the help that she gave us in terms  
15 of trying to go back and find out the history with  
16 respect to the property. What we were able to  
17 locate was what appeared a 100-page package that  
18 appears that the Village very carefully followed  
19 through with a developer every stage of the  
20 development back in 1978. What is interesting and  
21 what sort of lends us to the conclusion that the  
22 setback in question that is of issue is the south  
23 lot setback is that there was enough room on the  
24 north end of the property to have built the

1 building ten feet further north and in conformity  
2 with all the building standards. So the  
3 suggestion seems to be that since the building is  
4 located at this point on where Midway comes into  
5 Quincy that there was an agreement between the  
6 developer and the Village that if we move the  
7 driveway down, that it would cause less congestion  
8 with respect to truck traffic that came in and  
9 backed into that loading dock. Now, we're not  
10 sure that that was the case, but since there was  
11 room to have built a building in conformance,  
12 we're suggesting that that was discussed at that  
13 time and that that was the agreement.

14                   So what -- from an  
15 institutional land ownership standpoint, and we  
16 think it's a nice reflection on Willowbrook that  
17 Zilber is interested in investing, one of the  
18 comments that Roy made earlier is when a building  
19 is vacant, it's not always maintained as carefully  
20 as it should be. With an institutional owner, I  
21 don't think you would face that kind of issue. I  
22 think Zilber sees this as a long-term investment.  
23 Tru will be there for some time; but should it  
24 become vacant at some time, I think you can look

1 to Zilber to maintain the building at a very high  
2 level of standard in order to re-lease it. But  
3 their concern is, and they're not familiar with  
4 Willowbrook, and I think in having worked with  
5 Willowbrook before, I think if they came in and at  
6 some point asked to rebuild, that would probably  
7 be looked upon favorably, but their concern would  
8 be if there was a casualty that damaged say the  
9 southern wall of the property and they could not  
10 build within the setback area, in order to build  
11 the building at its full size again, they would  
12 have to remove the north wall, move the foundation  
13 north ten feet and while the casualty could be  
14 insured here, the investment that they would have  
15 to make here could not -- would not be covered by  
16 their insurance. So we're talking about a very  
17 remote possibility with respect to a casualty, but  
18 their concern is as a long-term investor in  
19 Willowbrook that in the event something would  
20 happen, we just want the assurance that -- and  
21 it's also been brought forward by their lenders --  
22 we want the assurance that we could rebuild on the  
23 existing footprint, and we think that there was an  
24 agreement. There was an exhaustive search of the

1 records to try to find this, and we just could not  
2 locate it. So with the help of Anna, her  
3 suggestion was that we move forward with a  
4 variance request so that we could establish that  
5 this footprint was acceptable if some facts  
6 occurred that they had to rebuild the building at  
7 some point, and it clears up some questions with  
8 respect to there's a slight -- there's an  
9 encroachment with respect to some parking here and  
10 here and we clear up that issue, and there was  
11 a -- a lot coverage issue, too, that we could  
12 address. So working with Anna, we brought all  
13 four of those issues forward to the Plan  
14 Commission for your consideration.

15 So, again, TruFragrance  
16 remains the tenant. The building most likely will  
17 be occupied for another 20 years. We think it  
18 presents a very attractive entrance to the Village  
19 off of Midway, and there would be no changes in  
20 what you currently see there.

21 So I'm open to any questions  
22 that you might want to ask.

23 MR. REMKUS: Well, we'll ask is there  
24 anyone in the public that has any interest in this

1 or has any comments to be made? There is no  
2 public comment.

3 We'll ask the staff to make  
4 their presentation.

5 MS. FRANCO: Thank you, Commissioner.  
6 Just to give a little background of the zoning  
7 around the site, all parcels northeast -- north,  
8 east, and south are zoned in the M-1 District.  
9 The use to the north is Stonewheel Inc., to the  
10 south is a business called Sterigenics, and to the  
11 west is a multi-tenant office/manufacturing  
12 building. The site itself is about 2 acres. It  
13 contains the one 2-story building which was  
14 constructed in about 1979 and contains a footprint  
15 of approximately 48,000 square feet. As you can  
16 see there's a parking lot located in the front  
17 yard of the property. This contains 40 parking  
18 spaces, has two access points off of Quincy Road.  
19 There is also a loading dock on the southeast  
20 corner of the building.

21 Do you mind putting the  
22 exhibit with the star up?

23 MR. KOHLSTEDT: Yeah. I don't know  
24 what kind of beer we're advertising with the star

1 but --

2 MS. FRANCO: Thank you. So as you  
3 know, the occupant is TruFragrance & Beauty.  
4 TruFragrance, to give you a little background, is  
5 a nationally-recognized manufacturer and  
6 distributor of fragrances and cosmetic products.  
7 This building here handles the administrative  
8 functions of the business as well as warehouse and  
9 shipping. In 2010 they went -- they undertook a  
10 multimillion dollar renovation of the building  
11 which has made the, as you know, Jim has said a  
12 very attractive looking building and a nice  
13 entrance into Midway Drive in the Village of  
14 Willowbrook.

15 So as Jim went over,  
16 TruFragrance currently leases the space and the  
17 building and wishes to undergo a sale lease-back  
18 with Zilber Property Group. So they would sell --  
19 the current owner would sell the property and then  
20 TruFragrance would then lease back the building  
21 from Zilber. As part of Zilber's due diligence  
22 for the property, they identified the south  
23 setback was not conformance with the code, which  
24 is a minimum of 20 feet, and right now it's 9.8

1 feet. Before finalizing their deal, they would  
2 like some assurance, as Jim went over, that if  
3 anything were to happen to the building, they  
4 would not need to rebuild on another footprint.  
5 You know, the original special lease approval for  
6 the property would provide that the necessary  
7 documentation to approve the 9.8 feet; however,  
8 staff has not been able to locate that  
9 documentation, and the current property owner does  
10 not have that documentation available. Staff did  
11 find a site plan and building plans that show the  
12 building in its current form, current placement on  
13 the property, which is Attachment 5 and 6 of the  
14 staff report. However, we did not find the  
15 original ordinance granting the special use.  
16 Therefore, staff, as Jim had said, has recommended  
17 that the applicant submit a petition for variance  
18 for the south setback that would be from the  
19 minimum 20 feet to 9.8 feet as well as other  
20 variations that were identified in our process,  
21 including an increase of the maximum lot coverage  
22 from 50 percent to 53.3 percent and a variance to  
23 reduce the minimum pavement setback from the north  
24 and south property lines from 10 feet to 1 foot

1 and 9.8 feet respectively.

2 So staff supports this request  
3 and relief from the applicant. We believe it will  
4 satisfy the concerns of the buyer Zilber and will  
5 allow TruFragrance to remain as part of the  
6 Village of Willowbrook. A sample motion for this  
7 petition is located on Page 6 of the staff report.

8 I do want to note that for  
9 variation petitions tonight, per the code, we will  
10 need four votes for approval.

11 MR. REMKUS: Would someone like to  
12 make --

13 MR. BAUGH: Does anybody have any  
14 questions?

15 MR. REMKUS: Commissioners have any  
16 questions or anything?

17 MR. RUFFOLO: I do not.

18 MR. KAUCKY: No.

19 MR. LACAYO: My only question is on  
20 Page 4. So this was approved. There was just no  
21 ordinance that we can find, but the plans and  
22 everything the way the building is today was  
23 approved?

24 MR. REMKUS: Yes.

1 MR. LACAYO: Thank you.

2 MR. REMKUS: If there is no other  
3 comments by the Commissioners. If someone would  
4 like to make a motion. I will read the motion.  
5 Based on the submitted petition and testimony  
6 presented, I move that the Plan Commission forward  
7 its findings of fact to the Mayor and Village  
8 Board for variations as shown in Attachment 1 of  
9 the staff report prepared for the July 20, 2016,  
10 Plan Commission for PC 16-15 and recommend  
11 approval of variations as outlined in this staff  
12 report prepared for the July 20, 2016, Plan  
13 Commission, to allow an existing nonconforming  
14 principal structure to be in conformance with the  
15 Village's code.

16 MR. RUFFOLO: Mr. Chairman, I will  
17 make that motion.

18 MR. REMKUS: Second?

19 MR. LACAYO: I will second.

20 MR. REMKUS: Secretary, call the  
21 roll.

22 MS. KOLODZIEJ: Commission Lacayo.

23 MR. LACAYO: Yes.

24 MS. KOLODZIEJ: Commissioner Soukup

1 MR. SOUKUP: Yes.

2 MS. KOLODZIEJ: Commissioner Kaucky.

3 MR. KAUCKY: Yes.

4 MS. KOLODZIEJ: Commissioner Ruffolo.

5 MR. RUFFOLO: Yes.

6 MS. KOLODZIEJ: Commission Remkus.

7 MR. REMKUS: Yes.

8 The motion has carried.

9 MR. KOHLSTEDT: Thank you very much.

10 MR. WALLACE: Thank you very much.

11 MR. GRAPENTHIN: Thank you very much.

12 MR. KOHLSTEDT: We appreciate your  
13 time this evening.

14 MR. REMKUS: Is there a motion to  
15 close the public hearing for Case No. 16-15?

16 MR. RUFFOLO: So moved.

17 MR. REMKUS: Second?

18 MR. SOUKUP: Second.

19 MR. REMKUS: All in favor?

20 ALL COMMISSIONERS: Aye.

21 MR. REMKUS: Opposed? Motion  
22 carries.

23

24

1                   MR. REMKUS: Our next item of  
2 business is a public hearing on Zoning Case No.  
3 16-10. This is a petition requesting approval of  
4 an amendment to an existing special use for a  
5 variation from Section 9-10-5(K) to reduce the  
6 requirement for onsite parking from one space per  
7 employee to 16 spaces; and a variation from  
8 9-10-5(B) to allow offsite parking on an adjacent  
9 lot with an existing use; and a variation from  
10 9-10-5(O) to allow overnight bus parking; and  
11 other such relief as may be required to allow the  
12 location of two temporary outdoor modular  
13 classrooms in an R-1 Zoning District.

14                                 Is there a motion to open the  
15 hearing and make the application and staff report  
16 part of the public record?

17                   MR. RUFFOLO: So moved.

18                   MR. REMKUS: Second?

19                   MR. KAUCKY: Second.

20                   MR. REMKUS: All in favor?

21                   ALL COMMISSIONERS: Aye.

22                   MR. REMKUS: Opposed? Motion  
23 carries.

24                                 The public hearing is open at

1 this time. I would ask the petitioner to step  
2 forward and state their name and address for the  
3 record. I would ask the court reporter to swear  
4 in the petitioner and anyone testifying on this  
5 matter.

6 (Dominic Sepich, Sue Caddy, Mike  
7 Henderson, and Scott Kuehn were  
8 sworn.)

9 MR. SEPICH: Thank you very much for  
10 taking the time to meet with us. I'm Dominic  
11 Sepich. I'm the principal at Holmes Primary  
12 School.

13 MS. CADDY: I'm Sue Caddy. I'm the  
14 business manager for Maercker School District 60.

15 MR. SEPICH: So when I started at  
16 Holmes School five years ago, we had a fairly  
17 small population of about 380 kids, and five years  
18 later, we're now just over 500 kids. So within  
19 that time, we've adjusted rooms and programming to  
20 kind of help meet the needs of our students. One  
21 of our growing programs is an early childhood  
22 program that services our three-, four-, and  
23 five-year-olds before they enter kindergarten.  
24 This program started out very small, and we have

1 mandates by the State of Illinois that only allow  
2 ten students in a classroom. Because right now  
3 the program is designed for students who qualify  
4 for special education needs only. Over the last  
5 three years, that program has started to grow.  
6 Last year we needed three sections, so that would  
7 be one full-time teacher and a part-time teacher.  
8 And to help fill that need of space, we actually  
9 rented a room next door at the church. The  
10 problem in lies is that they also run a program,  
11 and the DCFS told us that we could no longer have  
12 our school running a program while they're running  
13 a program at the same time in the same set of  
14 rooms. And so we had to bring that program back.  
15 We're projecting more growth. Two years ago we  
16 had about 16 students who qualified over the  
17 course of the year because whenever a student  
18 turns three years old, they can be qualified for  
19 the program. That includes right now, we actually  
20 have four or five cases of students open right now  
21 that could qualify when school starts. And then  
22 this year we qualified 18 students. So we're  
23 projecting that we're going to need two full-time  
24 teachers in order to keep the numbers under

1 stipulations for class size. And so that's why we  
2 need an extra classroom. If we don't have the  
3 extra space, then I'll have to displace four  
4 teachers to make room for these students. So I'll  
5 have four teachers who we'll have to figure out  
6 where I'm going to put them within the school, and  
7 probably double them up in rooms, and that's going  
8 to affect programming somewhere in the school.

9                   We looked at other  
10 alternatives, including taking our large  
11 multimedia lab and putting it into two rooms, but  
12 then there's regulations with that that require us  
13 to put in a bathroom, a permanent wall, change  
14 some of the plumbing and the heating to make it  
15 the way it needs to be, including putting in an  
16 extra door. So that just turned out to be a very  
17 expensive project. So we're hoping to add these  
18 two classrooms to give us some time to figure out  
19 what our long-term solution is to our classroom  
20 space need.

21                   I don't know if you have  
22 anything else to add.

23                   MS. CADDY: No. You did a pretty  
24 good job.

1           MR. REMKUS: Okay. Does the public  
2 have any comment? Is there anyone in the public  
3 that wishes to address us? If you would rise,  
4 state your name, and be sworn in by the court  
5 reporter.

6           MS. BERGLUND: Sue Berglund,  
7 B-e-r-g-l-u-n-d.

8           (Sue Berglund was sworn.)

9           MS. BERGLUND: I have some problems  
10 with traffic that's happening over at Holmes  
11 School. I've talked with the principal about  
12 buses going through stop signs without -- they  
13 just roll right through the stop signs. When the  
14 moms pick up and drop off their children on  
15 Holmes, children are darting out from the cars.  
16 The moms are opening the doors. Traffic is  
17 limited to basically one lane during those times.  
18 It can be and it has -- I have seen it to be very  
19 chaotic, which is one of my concerns with the  
20 moving of more equipment or buildings onto the  
21 site, which is going to bring in more moms, more  
22 children. And I just I ask that perhaps a traffic  
23 study be done of some type before any of this is  
24 solidified so during school time not now and that

1 they address the problem of that first before they  
2 start putting in more facilities for children.  
3 And also perhaps another one of the schools within  
4 Maercker School District could accommodate the  
5 extra student problem. Thank you.

6 MR. REMKUS: Is there anyone else?  
7 If you would like, step forward.

8 MR. CANGELOSI: Do you need to be  
9 sworn in just for questions?

10 MR. BAUGH: Yes.

11 MR. CANGELOSI: Gary Cangelosi,  
12 C-a-n-g-e-l-o-s-i.

13 (Gary Cangelosi was sworn.)

14 MR. CANGELOSI: I live immediately  
15 west of the school on adjacent property to the  
16 school. So some of my concerns about adding --  
17 changing the zoning so that temporary buildings  
18 could be put up is what I'm concerned about, the  
19 precedent it sets and does the changing of zoning  
20 allow additional temporary classrooms to be placed  
21 whenever they don't want to displace four  
22 teachers. So I'm concerned about what will this  
23 mean for the future, what kind of precedent does  
24 it set? Does a change in the zoning mean

1 mobile-home-like buildings could be put up all  
2 over the property wherever it is, or is it  
3 specific to this instance, this change only.  
4 That's the kind of thing.

5 MR. BAUGH: The answer to your -- the  
6 short answer to your question is no. This relief  
7 that they are seeking is specific to their parcel,  
8 and it is specific to two of these temporary  
9 housing classrooms. This is not an amendment to  
10 the zoning code which would permit, you know,  
11 temporary structures to just pop up all over the  
12 Village.

13 MR. CANGELOSI: Okay. I appreciate  
14 that. The other thing, I guess, is a question of  
15 going to a temporary solution which, you know,  
16 replaces where the buses are today and then brings  
17 them out closer to the street. Why would such a  
18 temporary solution be done instead of pursuing  
19 permanent solution sooner?

20 MS. CADDY: A permanent solution  
21 would require more planning because we would have  
22 to either build an addition or build a new  
23 building, and that would also require us going to  
24 the voters for permission, and it takes time for

1 that to happen. And the need --

2 MR. CANGELOSI: It couldn't be done,  
3 for example, like, I know that you -- aren't you  
4 guys in leased space?

5 MS. CADDY: The district office is,  
6 yes.

7 MR. CANGELOSI: Yeah, yeah. And  
8 aren't many of the special ed teachers mobile  
9 because they'll go to multiple schools?

10 MR. SEPICH: No.

11 MR. CANGELOSI: We were told that at  
12 a meeting.

13 MR. SEPICH: The only staff that I  
14 share are an art and music teacher that go and  
15 that's it. We have two staff that I share that go  
16 to -- there are a few -- there is one district  
17 psychologist that travels to three buildings.

18 MR. CANGELOSI: Gotcha. Because I  
19 know that was discussed.

20 MR. SEPICH: Sure. And every so  
21 often there are speech therapists who share case  
22 loads, but those are shifted based upon the needs  
23 of students every year that move out and move in,  
24 and so that's a way that we keep staff at the

1 proper staffing without hiring additional staff.

2 But that's the only ones that I'm aware of. We

3 keep it to the most minimal amount.

4 MR. CANGELOSI: Okay. I understand.

5 And the last item that I didn't quite understand

6 when you explained it was one of the options you

7 had considered was to move teacher -- four

8 teachers. Did you mean four classrooms? Or just

9 the offices for the four teachers?

10 MR. SEPICH: I have space that's

11 dedicated to two teachers and at the minimum, it

12 would require me taking those four teachers and

13 doubling them up. They do all service students so

14 then I would have to figure out which spaces

15 for -- which spaces are going to be big enough so

16 that you could have two services going on at the

17 same time. So, for example, I have a math

18 interventionist who shares a room with a reading

19 interventionist. They see small groups of

20 students, so they can share a room. They won't

21 have a room, so I'll have to figure out if there's

22 another room they can go into, if there's office

23 space that they can go into. So they would --

24 they will be doubled up, so it will affect the

1 service of students.

2 MR. CANGELOSI: Yeah. But you don't  
3 know?

4 MR. SEPICH: No.

5 MR. CANGELOSI: You don't know if you  
6 can do that?

7 MR. SEPICH: It would be -- I think  
8 it would cause a huge disruption in the quality of  
9 the services that we're able to give kids. I  
10 mean, it's some programs, whether it's my reading  
11 interventionist, my math interventionist, art or  
12 music, they might have to go in a cart. I don't  
13 have four walls so having music on a cart is  
14 difficult because there's an open wall and open  
15 space. I might have to take my ELL teachers which  
16 service over a third of my school's population and  
17 lead them around. So something is going to affect  
18 the services of students, and that's kind of where  
19 we were at which is why we went out for space last  
20 year to try to minimize that effect.

21 MR. CANGELOSI: All right. I  
22 understand. Couldn't that -- one of those types  
23 of moves be the temporary step that there would be  
24 a limited time under which that inconvenience and

1 issue would occur prior to a full solution rather  
2 than temporary buildings?

3 MR. SEPICH: When you're asking me  
4 what's best for the integrity of my staff and  
5 giving the best education and programs to my  
6 students, that is a significantly less attractive  
7 step for me. These are people who service  
8 students every day all day long, and they often  
9 service the students who need the most support  
10 because they have two languages or they're  
11 starting to fall behind in reading and math for  
12 whatever reason, so it would be in my educational  
13 opinion, like I said, a difficult thing for me as  
14 the principal to talk about with staff, very  
15 difficult step for me.

16 MR. CANGELOSI: Okay. Well, I mean,  
17 there is no reaction to that that I can make, but  
18 I'm not sure that all options have been considered  
19 completely. Last comment. Thanks.

20 MR. REMKUS: Any other member of the  
21 public that wants to make a comment?

22 Would you also run us through  
23 the site plan and explain a little bit about  
24 the --

1 MR. SEPICH: Sure. Did you want me  
2 to address the parking question first, or do you  
3 want me to run through this?

4 MR. REMKUS: Let's run through this.

5 MR. SEPICH: If you want to jump in  
6 here.

7 MR. HENDERSON: Sure. So the project  
8 or what's being proposed -- well, first, to orient  
9 you, Holmes Avenue is here. 58th Place is here.  
10 So the existing building is around here. There's  
11 an existing paved area where it's striped out as  
12 mostly a playground, a soft playground area here,  
13 kind of green space, and kind of stormwater area  
14 here. Most of -- from here over is the parking  
15 lot for the adjacent church where there's a  
16 parking arrangement with the school that uses  
17 these parking spaces during school days and it's  
18 used, of course, by the church on the weekends.  
19 So the area that we're talking about is currently  
20 a bus parking space. It's a fenced bus parking  
21 space, and this double temporary unit would be  
22 placed right on the existing paved spaces, so the  
23 fencing would be taken down of the bus parking  
24 area, and the buses would be moved forward by

1 those number of feet, 20 feet, 30 feet forward  
2 towards 58th Place. So, again, this kind of  
3 mobile temporary building would be kind of tucked  
4 into the corner, and it's the least noticeable  
5 place as possible. There is actually a landscape  
6 screen that's currently here already. The  
7 drop-off area currently is on Holmes Avenue. That  
8 will remain, stay. And the drop-off area here is  
9 existing. That will stay. So the number of  
10 students that are actually being dropped off won't  
11 increase. It's the same students, same quantity  
12 of students. Is that correct?

13 MR. SEPICH: Yes. Essentially, there  
14 was, maybe, six students who went to the church  
15 next door. So, you know, those students would  
16 then come back in, which it is actually projected  
17 about 12. But the vast majority of the students  
18 in that program are actually bused as is. So I  
19 believe that most of the parking situation or the  
20 drop-off situation won't change, and I actually  
21 think it will speed up the drop-off in the front  
22 because the two buses that are special ed buses  
23 actually park right here and slow down the line  
24 because they go in this door. So if I bring them

1 over here, it will actually speed up that line in  
2 the front.

3 MR. HENDERSON: So this temporary  
4 building is not increasing the number of students  
5 or the number of or the amount of traffic. And  
6 bringing the bus around, it actually does speed up  
7 the area. Dominic was saying allows this traffic  
8 to kind of move more smoothly.

9 MR. REMKUS: Does staff have any  
10 thought? Would you like to give your report.

11 MS. FRANCO: Yes. Thank you. So I  
12 want to go over and clarify again the need for the  
13 temporary classrooms. So I'm sorry if some of  
14 this is duplicative, but I think there are some  
15 things that need to be emphasized in this request.

16 So the applicant is proposing  
17 to locate the two modular classrooms, and they  
18 will be used to educate school children ages three  
19 to five years old, specifically those prescreened  
20 for special needs and require an individual  
21 education plan, also known as IEP. The IEP  
22 program is a state-mandated program. So as soon  
23 as a child turns three years old and is identified  
24 as requiring special services, the school district

1 must meet the child's needs. So as a result of  
2 the required preschool screenings, the number of  
3 students requiring early childhood educational  
4 services for the fall has grown significantly.  
5 The school district was unaware of the number of  
6 children needing these services until the  
7 screenings were completed in the spring. In  
8 previous years, as stated, the school utilized  
9 space at the Christian church adjacent to the site  
10 to the north, but the space is no longer  
11 available. The law prohibits class sizes from  
12 exceeding ten special needs students per  
13 classroom. And as stated, there is -- the  
14 principal does not find there is any space --  
15 usable classroom space in the school building.

16                   So just to give a little  
17 overview of what's around the site. The Christian  
18 Church of Clarendon Hills is located to the north.  
19 Of course, Holmes Avenue to the west, 58th Place  
20 to the south, and then unincorporated  
21 single-family homes to the west. I think I said  
22 Holmes was on the west, but it's on the east side  
23 of the property. Across Holmes and across 58th  
24 Plaza, there is a mix of single-family homes that

1 are -- it's a mix of unincorporated and  
2 incorporated properties. And you can see that on  
3 Page 3 of the staff report and Exhibit 2, adjacent  
4 zoning. It's a little hard to describe. The  
5 property is about four acres. The existing school  
6 building is 53,000 square feet and educates  
7 children prekindergarten through second grade.  
8 And I believe the other schools in the Maercker  
9 School District educate children third grade  
10 through eighth grade.

11 MR. SEPICH: There is a  
12 three-through-five building and six-through-eight  
13 building.

14 MS. FRANCO: Okay. The space -- the  
15 property is 16 parking spaces and as noted nine  
16 existing bus parking spaces currently exist on the  
17 property. So the school district would have a  
18 three-year lease on modular classrooms, and they  
19 would be placed, as they said, in the existing  
20 paved area on the site. They have a total length  
21 of 60 feet and width of 27 feet, and a footprint  
22 of 2100 square feet approximately, with about 1500  
23 square feet dedicated to instructional use. They  
24 are accessible by two stair cases and an ADA

1 accessible ramp. The classrooms would be -- the  
2 modular classrooms would be oriented so that the  
3 main door is located south towards 58th Plaza and  
4 as well as the windows for the building. An  
5 elevation is provided in the staff report on Page  
6 6 of the staff report, Exhibit 4.

7                   The school district would be  
8 proposing new sanitary water and electric lines to  
9 service the classrooms as there will be bathrooms  
10 and need for electric. In terms of bulk  
11 requirements, there is no concern with height.  
12 There is no concern with building setbacks. No  
13 concerns with maximum lot coverage as they are not  
14 adding any new impervious surface as part of their  
15 proposal, and staff is not applying standards for  
16 foundation landscaping as it is only a temporary  
17 structure.

18                   Currently, parking on the site  
19 is not in conformance with what was approved in  
20 their original special use in 2001. There are 16  
21 parking spaces on site, but they are missing 26  
22 spaces. There was originally an approval of a  
23 total of 42 spaces for their special use. In  
24 looking at Google Earth historical aerials, that

1 repaving happened on the lot where the buses are  
2 between 2012 and 2013, and they were just never  
3 restriped. So even if the school were to restripe  
4 these stalls to be in conformance with the code  
5 and their special use, there are now 59 faculty  
6 members employed at the school, so they would  
7 still be 17 spaces short if they were to become in  
8 conformance and they striped.

9                   So as stated by the applicant,  
10 they do have a parking agreement with the church  
11 to the north to allow their employees to park  
12 there. And this is now -- it had been a verbal  
13 agreement, but it is now a written agreement.  
14 Staff supports the agreement that is now a written  
15 agreement because it's conveniently located to the  
16 school. There is the peak hours between the  
17 school and the church directly coincide. The  
18 church mainly operates on weekends and after 5:00;  
19 whereas, the school obviously operates during the  
20 day. So very little conflicts for peak hours.  
21 It's an efficient use of the existing parking and  
22 no new impervious surface would need to be  
23 created, and they already have a successful  
24 history of using the shared parking. I believe

1 school district officials have said they've been  
2 using the parking lot since 2002. So the  
3 variation they're requesting is 16 spaces decrease  
4 of onsite parking spaces. The overnight bus  
5 parking, as we said, there is nine overnight  
6 parking stalls. They leave at 7:00 a.m. in the  
7 morning before students arrive and then park  
8 overnight from 4:30 p.m. until 7:00 a.m. The  
9 school district, as I said, you know, originally  
10 intended to relocate the bus parking; however,  
11 they had difficulty finding an alternate location  
12 and are proposing for the bus parking to remain on  
13 site. Since they are proposing that the buses  
14 stay on site, staff is requesting that they  
15 provide additional landscape screening on the  
16 property. The proposed screening is outlined or  
17 illustrated in a diagram on Page 10 of the staff  
18 report. Items in red are evergreen trees and blue  
19 are deciduous. Staff understands that there are  
20 traffic concerns. The Plan Commission has traffic  
21 concerns, Village board members and the public.  
22 But because school is not in session, staff did  
23 not require the applicant to conduct a traffic  
24 study because it would be inaccurate and wouldn't

1 show what, you know, what's really going on there  
2 in the summer. So, therefore, staff is  
3 requesting -- is supporting the requested relief,  
4 excuse me, for the two modular classrooms on site.  
5 You know, we don't desire to make a hasty  
6 decision, but staff does understand that they have  
7 been put in a difficult situation in trying to  
8 provide the classroom space. I will note if a  
9 decision is delayed -- delayed, for instance, to  
10 an August Plan Commission meeting, that the  
11 modular classrooms will not likely be installed  
12 prior to the first day of school, which, I  
13 believe, is on August 24.

14 MS. CADDY: 25th.

15 MR. SEPICH: 25th.

16 MS. FRANCO: 25th. So I want you to  
17 keep that in mind. But a sample motion is  
18 provided on Page 11 of the staff report.

19 As like the last application  
20 for approval, four members of the Plan Commission  
21 would need to vote for approval per, I believe, it  
22 is Section 9-14-4.6 of the code.

23 MR. REMKUS: Do any of the  
24 commissioners have any questions or comments?

1           MR. LACAYO: I would like to first --  
2 I want to separate the discussion between what's  
3 required by law and what we're actually approving  
4 because I understand what the principal has to go  
5 through. I get it. But here is my question to  
6 the staff, and I know you weren't here. The tests  
7 were completed in the spring. When did we find  
8 out about it?

9           MS. FRANCO: We found out about it --

10          MR. LACAYO: When did we find out  
11 there was a need?

12          MS. FRANCO: It way late May.

13          MR. LACAYO: Because this group of  
14 people, the number one theme, the number one point  
15 of discussion is traffic. We've had so many  
16 hearings of hours to talk about traffic, and  
17 traffic is already bad as it is. Three of my kids  
18 went there, and now we're going to make a decision  
19 without knowing anything about the number one  
20 topic that this Plan Commission faces every time,  
21 that's number one. Number two, the parking  
22 arrangement is a one-year arrangement. I know  
23 it's great with the church. They're good  
24 neighbors. That parking arrangement goes away,

1 where do the teachers park? It's a big risk. And  
2 I would have to agree with the citizen to the west  
3 of the property. I don't think we've explained  
4 the other alternatives. So at this point in time,  
5 I want to hear -- you know, I'm concerned about  
6 the traffic. I'm concerned about the parking  
7 arrangements with the church, and I'm concerned  
8 that people are going to be impacted, the  
9 neighbors to the south and the west, who are  
10 already impacted, are looking at us saying wasn't  
11 another alternative explored, and it seems we're  
12 rushing this because we have three weeks to get it  
13 going.

14 MR. SEPICH: Well, regardless -- I  
15 guess regardless of whether or not the mobile  
16 classrooms are put in, the traffic is still going  
17 to be the traffic that's there. You know, we  
18 tried to adjust and help with that issue,  
19 including we run seven buses, and we make those  
20 available to parents who need them really within a  
21 short radius, I think .3 miles away from school so  
22 that we can get as many students on the buses as  
23 we possibly can. Then we have a pickup line and a  
24 drop-off line that we run and we have four and

1 five adults helping run that, including I bring in  
2 the officers from Willowbrook to help during that  
3 process throughout the course of the year. I  
4 mentioned earlier that the early childhood  
5 students are mostly bused. So you'll see small  
6 Septran buses that bus those students. They come  
7 in to here, and they are at this door, and  
8 basically what they do is they slow down this  
9 process here. So what we would be doing is  
10 bringing them over to this part right up in the  
11 front. They're going to -- the regular seven  
12 buses, actually, now drop off at 8:10 in the  
13 morning. Those students would -- after we drop  
14 them off at 8:10, they go immediately and run  
15 another route. So those buses will be able to  
16 come over here and actually speed this process up.  
17 There may be a few parents from this car line that  
18 could then also come over here, and they have the  
19 three-, four-, and five-year-olds that are in car  
20 seats at the time so they may take -- they  
21 sometimes slow it down as well. So I actually  
22 think that the parking and the traffic situation  
23 will improve just by bringing these two things  
24 over. But regardless of whether or not we have

1 the mobiles, we're still going to have the same  
2 amount of people driving or on the buses. So we  
3 are going to try some new things, actually. Down  
4 here is where the church entrance is. I've been  
5 working with the pastor to try for temporarily put  
6 a couple of barriers up right there. So people  
7 often come in and go left and they cheat the  
8 system, and then they try to turn around and get  
9 into the drop-off line that actually runs up here.  
10 So he said it was okay for us to put those  
11 barriers up during the drop-off and pick-up  
12 procedures to try to speed up that process as well  
13 because it's anywhere between 10- to 15-minute  
14 line in the morning and in the afternoon. So  
15 those are the new things that I'm going to try to  
16 help improve the traffic situation.

17 Your second question?

18 MR. LACAYO: The arrangement with the  
19 church, I mean, I saw the contract. It's one  
20 year.

21 MR. SEPICH: Yeah. I mean, we've  
22 been doing it since 2002, and the reality is we  
23 have a great relationship with the church. They  
24 use our facilities all the time, including on the

1 weekends. They run their before- and after-care  
2 school to our district's calendar to support  
3 families. And we actually do run bus stops to and  
4 from the church for the other two schools to help  
5 parents out with that situation so parents can  
6 drop them off at 7:30 and a bus can take them over  
7 and bring them back over, and parents can get them  
8 when they get off of work. They run an  
9 after-school or a p.m. daycare for our  
10 kindergartners, so they come in and they actually  
11 use -- there's a small group of kindergartners  
12 that eat lunch with the other students, and they  
13 flow in and out. So I mean, I meet with the  
14 pastor regularly, Pastor J.K. Stevens, and he'll  
15 ask me what we need, and we share different  
16 resources and services. So I can't imagine -- I  
17 can't imagine any scenario they would say no. In  
18 fact, they actually added additional parking on  
19 the other side of the church. They just finished  
20 that, so they added, I would say, 150 parking  
21 spots easily to the other side. So I can't  
22 imagine there being an issue. There hasn't been  
23 in my time nor any time that predated me that I am  
24 aware of.



1 Obviously a library is not a good place. We  
2 explored the multimedia lab, and that's the room  
3 that we explored dividing it into two, but that  
4 would require stipulations. I cannot have two  
5 teachers in a big room. That was actually the  
6 best solution that we came across, but state law  
7 will not allow us to do that. ISB regulations  
8 require one classroom per teacher, and there has  
9 to be an easily accessible bathroom. And so the  
10 other alternatives, as you can see, are not ones  
11 that are going to be effective for programming and  
12 the integrity of the education that I'm trying to  
13 give kids. The splitting of the room required a  
14 door, changing the heating and the air  
15 conditioning, putting in a bathroom, and putting  
16 in a permanent wall. And all of that would  
17 roughly cost more than what we're projecting these  
18 two mobile classrooms to be. And then once -- our  
19 long-term solution, obviously, is to figure out  
20 how to get more permanent space, whether it's on  
21 the site or somewhere else. And we looked into  
22 some of those options as well. But there's not an  
23 easily affordable option because then you're  
24 talking a referendum which requires a tax hike

1 from the voters in order to get that done. So we  
2 have explored. And the fact that we rented a  
3 space next door. We audited the other two  
4 buildings as well, three, four, five, and six,  
5 seven, eight. You cannot have early childhood  
6 students -- you actually can't have early  
7 childhood, kindergarten, or first grade students  
8 on a second floor. So they would then displace  
9 classrooms at the three, four, five and we don't  
10 have enough space there as it is. We actually  
11 had -- we contracted a classroom with SASSED, which  
12 is our special ed coop, and we actually had to  
13 remove them from Maercker School. They had a  
14 multineeds classroom in our building, but we  
15 needed that room so the district had to get rid of  
16 them. As for the sixth, seventh, and eighth, it's  
17 just not -- I'm not 100 percent sure if there's  
18 classroom availability there, but to have three-  
19 and four-year-olds with middle-school students is  
20 very difficult for me to think would be successful  
21 for those students as well as that requires a  
22 shift in support staff. So my social worker, my  
23 psychologist, my assistants, the equipment, even  
24 the size of the tables, having a bathroom in the

1 room, all of those things aren't something that's  
2 easily accessible already in a six-through-eight  
3 building. So the reality of the situation is, you  
4 know, we can do these or we can adjust the space  
5 that's within the building. And those are the  
6 reality of the situations, because I just don't  
7 think it's fiscally responsible or I don't believe  
8 we as a leadership group to pour the money into  
9 the lab, which would still displace a few teachers  
10 even if we did that piece. So we did explore a  
11 lot of options, and this is something we've been  
12 talking about for three years because we want to  
13 get to a blended program. We want to offer  
14 preschool for more students. And in order to do  
15 that, we need more space. We're not at that point  
16 yet. This is just giving us the proper space to  
17 run all of my programming in what I would say is  
18 the best for what students need for all supports  
19 from classroom teachers to specialists to art and  
20 music and PE to library to my EL teachers to my EL  
21 students, so all of those programs will be  
22 affected if we don't have extra space.

23 MR. LACAYO: Understood. One  
24 question to staff. I'm surprised we only have one

1 resident. Do we have anything? Any other  
2 comments? Any feedback?

3 MS. FRANCO: I received no emails or  
4 written feedback or in-person appointments from  
5 any residents.

6 MR. LACAYO: Okay. Thank you. Thank  
7 you.

8 MR. KAUCKY: I do have a question.  
9 The actual modular space, how many students does  
10 it accommodate inside --

11 MR. SEPICH: By law, we can put 40  
12 students in there. It would be two sections --  
13 two classrooms, and there would be ten sections in  
14 the morning for each and ten sections in the  
15 afternoon -- or ten students in the afternoon. So  
16 we can max out at 40 total. We've never got -- we  
17 haven't gotten to 40, but we're projecting that we  
18 will with the students that we have coming back.  
19 We're already at 25 with two students that -- two  
20 or three that may still qualify for services as we  
21 finish summer evaluations, which puts us close to  
22 30. So that's why we've already -- we test  
23 sometimes as many -- we screen hundreds of  
24 students, but we really take about 15 to 20. So

1 you can imagine if we continue to qualify at the  
2 rate we have the last two years, we're going to go  
3 over 30 for sure into the 40. So we're going to  
4 need that classroom.

5 MR. KAUCKY: What happens in 2017  
6 when you do another study and you find you have --  
7 you might have more than what you anticipate?  
8 What happens at that point?

9 MR. SEPICH: Well, we're working on  
10 what we want the long-term solution to be, which,  
11 ideally, is to find the space within district  
12 boundaries or to add classrooms. But, again,  
13 that's not -- that's not my decision. That's the  
14 board of education's decision, and the board of  
15 education has to go to the public in order to get  
16 that done. So we've had this discussion, and  
17 they've talked about different additions over the  
18 last few years. But with the state and the  
19 finances, they've been hesitant to make that  
20 commitment 100 percent until we know exactly  
21 what's going to be best for all the space in all  
22 three buildings.

23 MR. KAUCKY: This is a three-year  
24 plan; is that correct?

1 MR. SEPICH: It's a three-year lease?

2 MS. CADDY: It's a three-year lease;  
3 correct.

4 MR. RUFFOLO: Just a follow-up  
5 question on traffic. In anticipation of this  
6 meeting last month, I actually visited the site.  
7 And I would like to ask you again to explain your  
8 bus route. I see it comes in off of Holmes on  
9 some of -- the discharge there, also along 58th.  
10 Is the bulk of the discharge with the larger  
11 buses; that's correct?

12 MR. SEPICH: Yes.

13 MR. RUFFOLO: My question is: Having  
14 visited the site, the width of that street when  
15 the buses are there, does it support -- and I  
16 believe it's a two-way street not a one-way  
17 street. Does the width of the street support  
18 traffic passing those buses or, of course, because  
19 they're discharging, their flag might be out and  
20 you cannot pass them.

21 MR. SEPICH: If they are loading or  
22 unloading students, you cannot go either way.  
23 Traffic is required by law to stop.

24 MR. RUFFOLO: Right. And when

1 they're present, as they clear, is there  
2 sufficient space or --

3 MR. SEPICH: Yes. Because there's a  
4 bus -- this fence here is an actual bus lane, and  
5 then the street starts after it. So there's the  
6 two lanes of traffic. People actually park on the  
7 other side. There's parking along the housing on  
8 the other side.

9 MR. RUFFOLO: Street parking?

10 MR. SEPICH: Street parking, yes.  
11 But this is actually part of the school property.  
12 So the bus lane goes into the school property.  
13 It's not in the street.

14 MR. RUFFOLO: I appreciate that  
15 clarification.

16 MR. REMKUS: Any other questions? I  
17 have one. Was there no room at any of the other  
18 schools for the buses?

19 MS. CADDY: There is no room at any  
20 of the other schools.

21 MR. REMKUS: And the other comment I  
22 had staff, does this have a sundown? They have a  
23 three-year lease. Does this ordinance have a  
24 sundown on it or will this -- could they just

1 continue to use these after the three years?

2 MS. FRANCO: I believe that, and I'm  
3 looking to you, Brian, for support on this, but I  
4 believe that they are only allowed a three-year  
5 lease on the modular classrooms per the special  
6 use.

7 MR. LACAYO: Let's ask it  
8 differently.

9 MS. FRANCO: Okay.

10 MR. LACAYO: In our motion, can we  
11 only approve this for three years?

12 MR. BAUGH: Sure. When we get to the  
13 formal motion that's here, I will try to modify it  
14 for -- to address that concern if that's what  
15 everybody on the Commission wants to do.

16 MR. REMKUS: It was just a question I  
17 had that it gives us public comment in three years  
18 if all of a sudden we go, you know, I know we've  
19 seen other schools and that where classrooms  
20 started out they were going to be there for three  
21 or four year and ten years later those classrooms  
22 are still there. You know, I think it's something  
23 that we should be aware of that so we don't go too  
24 long, you know. If they need it, they would have

1 to come back for another -- to renew that. It  
2 allows for public comment at that time.

3 MS. FRANCO: I believe we can include  
4 it as a condition for this petition that they can  
5 only have the temporary classrooms for three  
6 years. And then if they would like to renew that,  
7 they would have to amend their special use again.

8 MR. REMKUS: Because I think it keeps  
9 it in the public, and then it also gives the  
10 school the advantage that, you know, as this runs  
11 out, we need more money to do this.

12 MS. FRANCO: We can definitely  
13 include it as a condition in the motion tonight to  
14 only allow the three-year lease. And if they  
15 would like to renew, then they would have to amend  
16 their special use in three years.

17 MR. REMKUS: Is there anybody on the  
18 Commission that would have a problem with that?

19 MR. RUFFOLO: No. I would welcome  
20 it.

21 MR. LACAYO: I would support it.

22 MR. KAUCKY: I am in favor.

23 MR. REMKUS: Does the school have any  
24 objections?

1 MR. SEPICH: I don't have.

2 MS. CADDY: No.

3 MR. REMKUS: Then if there is no more  
4 comments, as soon as he is done writing the  
5 motion, I can read it.

6 I don't usually do this, so I  
7 appreciate you watching me stumble through this.  
8 I usually have the easy job and sit down at the  
9 end. I know how it affects -- the special ed  
10 affects you because my daughter-in-law was a  
11 special ed teacher at Westview or at Maercker, and  
12 I know all the problems it is causing. I wouldn't  
13 want your job.

14 MR. BAUGH: So before we start to  
15 make the motion, this is what I just kind of  
16 scribed up right now. It's a third condition to  
17 the motion which would read the two temporary  
18 module classrooms shall be allowed for a period of  
19 three years from the date of approval of the  
20 zoning request by the Village Board. Does that  
21 work?

22 MR. REMKUS: Yes.

23 MR. RUFFOLO: Yes.

24 MR. REMKUS: Okay. Based on the

1 submitted petition and the testimony presented, I  
2 move that the Plan Commission forward its findings  
3 of fact to the Mayor and Village Board for special  
4 uses and variances as shown in Attachments 1 and 2  
5 of the staff report prepared for the July 20,  
6 2016, Plan Commission for PC 16-10, and recommend  
7 approval of an amendment to the existing special  
8 use to allow a variation from 9-10-5(K) to reduce  
9 the minimum required onsite parking spaces, a  
10 variation from 9-10-5(B) to allow offsite parking  
11 on an adjacent lot with an existing use, and a  
12 variation from the 9-10-5(O) to allow nine  
13 overnight bus parking stalls, to allow two  
14 temporary modular classrooms on the subject  
15 property, subject to the following conditions:

16 1) Additional landscaping,  
17 including four evergreen trees and one deciduous  
18 tree, shall be added to the Landscape Plan, and  
19 that the Landscape Plan shall be prepared per  
20 Village code requirements.

21 2) Construction and  
22 maintenance of the modular classrooms shall at all  
23 times be in substantial compliance with the plans  
24 identified in the attachments of the July 20,

1 2016, staff report for PC 16-10.

2 3) The two temporary modular  
3 classrooms shall be allowed for a period of three  
4 years from the date of approval of the zoning  
5 request by the Village Board.

6 Do I have a motion?

7 MR. RUFFOLO: So moved.

8 MR. REMKUS: Second?

9 MR. KAUCKY: Second.

10 MR. REMKUS: Secretary call the roll.

11 MS. KOLODZIEJ: Commission Lacayo.

12 MR. LACAYO: Yes.

13 MS. KOLODZIEJ: Commissioner Soukup

14 MR. SOUKUP: Yes.

15 MS. KOLODZIEJ: Commissioner Kaucky.

16 MR. KAUCKY: Yes.

17 MS. KOLODZIEJ: Commissioner Ruffolo.

18 MR. RUFFOLO: Yes.

19 MS. KOLODZIEJ: Commission Remkus.

20 MR. REMKUS: Yes.

21 MR. SEPICH: Thank you very much.

22 MS. CADDY: Thank you.

23 MR. REMKUS: Could I have a motion to  
24 close the public leering.

1 MR. LACAYO: I will make a motion.

2 MR. SOUKUP: Second.

3 MR. REMKUS: All in favor.

4 ALL COMMISSIONERS: Aye.

5 MR. REMKUS: Opposed?

6 Motion carries.

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1 MR. REMKUS: Next item on the agenda  
2 is a public hearing regarding Zoning Hearing Case  
3 No. 16-07. This is a petition for a special use  
4 permit for a planned unit development, including  
5 such relief, exceptions and variations from Title  
6 9 and from Title 10 of the Village Code to allow  
7 construction of a 45,554 square foot facility that  
8 includes 28,992 square foot indoor soccer facility  
9 and 16,562 square feet of restaurant, bar and golf  
10 simulator entertainment space; and approval of a  
11 Preliminary and a Final Plat of PUD.

12 Is there a motion to open the  
13 hearing and make the application and staff report  
14 part of the public record?

15 MR. KAUCKY: So moved.

16 MR. REMKUS: Second?

17 MR. RUFFOLO: Second.

18 MR. REMKUS: Secretary call the roll.

19 MS. KOLODZIEJ: Commission Lacayo.

20 MR. LACAYO: Yes.

21 MS. KOLODZIEJ: Commissioner Soukup

22 MR. SOUKUP: Yes.

23 MS. KOLODZIEJ: Commissioner Kaucky.

24 MR. KAUCKY: Yes.

1 MS. KOLODZIEJ: Commissioner Ruffolo.

2 MR. RUFFOLO: Yes.

3 MS. KOLODZIEJ: Commission Remkus.

4 MR. REMKUS: Yes.

5 The public hearing is open.

6 At this time, I would ask the petitioner to step  
7 forward and state their name and address for the  
8 record. I would ask the court reporter to swear  
9 in the petitioner and anyone else testifying on  
10 this matter.

11 MR. GRASSO: Good evening,

12 Mr. Chairman pro tempore, members of the Board.

13 My name is Gary Grasso, G-r-a-s-s-o. I'm with the  
14 law firm of Grasso Bass, PC, located at 38 Blaine  
15 Street in Hinsdale, Illinois 60521. With me  
16 tonight -- and, by the way, I'm here on behalf of  
17 the Willowbrook 2012, LLC as the formal client and  
18 petitioner. With me is the owner, Roy  
19 Dobrasinovic, who may testify. So Roy, would you  
20 please stand up. His general counsel is also  
21 here, Arleesia McDonald. She will not be  
22 testifying but she is here. The developer is also  
23 here, Walter Veselinovich, that's  
24 V-e-s-e-l-i-n-o-v-i-c-h. I don't believe Walter

1 will be testifying. The architect is here, Ronald  
2 Vari, V-a-r-i. Ron will be testifying and should  
3 be sworn in and also the professional engineer,  
4 Walter Krawczyk, K-r-a-w-c-z-y-k.

5 MR. GRASSO: Okay. So I will be  
6 testifying maybe. Ron will be testifying. Walter  
7 will be testifying and maybe Roy. So the four of  
8 us should be sworn.

9 (Gary Grasso, Ron Vari, Roy  
10 Dobrasinovic, and Walter Krawczyk  
11 were sworn.)

12 MR. GRASSO: Forgive me but I also  
13 forgot to introduce Mario Magliano, who is one of  
14 the principals also of Compass, and he will not be  
15 testifying tonight.

16 We're here, as the agenda  
17 indicates, requesting a special use permit for  
18 PUD. It involves three main components, an indoor  
19 soccer facility, a golf simulator, and a  
20 restaurant. It is located on the south side --  
21 the property is located on the south side of the  
22 frontage road between Dell Rhea's Chicken Basket  
23 and the 7/Eleven, and to the south is the elevated  
24 section of I-55. I believe all of you are

1 familiar with the property. It is a B-3 general  
2 business area. It is vacant property. It is  
3 about 3.6, 3.7 acres in size and we are -- it is  
4 vacant now. We are preparing what we believe to  
5 be a good use of good land in the Village of  
6 Willowbrook. We believe it has been right sized.  
7 We have gone through several renditions with the  
8 staff and have, we believe, met some of the  
9 concerns, and those concerns include parking,  
10 which, I believe, in the report we have satisfied.  
11 We believe that there is also some concern about  
12 the Joliet Road shoulder area at the property for  
13 which we are proposing a bituminous shoulder  
14 upgrade and regrading, and we'll also work the  
15 easement, a very somewhat unusual easement, with  
16 the 7/Eleven to the east. And we also, I believe,  
17 have addressed the signage issues that have been  
18 raised by staff from time to time and are willing  
19 to go along with the recommendations made by  
20 staff.

21                   There are five conditions  
22 being proposed for, hopefully, approval by the  
23 Plan Commission. We are okay with all five. We  
24 note one request, however, as to No. 5, and that

1 would be that if so granted tonight, the special  
2 use permit be extended -- the time period be  
3 extended to both commencement and certificate of  
4 occupancy to 24 months. I think it's a little  
5 unrealistic to think that we could have a proposed  
6 site built and a certificate of occupancy within  
7 12 months. We think that would be a little too  
8 aggressive. And rather than have to come back, we  
9 would ask you for some leniency there and consider  
10 24 months. The architect is here, Mr. Vari. He  
11 has a number of boards we can show you.

12 MR. BAUGH: Counsel, if I may.  
13 Miss Franco would like to provide you with some  
14 additional conditions that she distributed to the  
15 Plan Commission this evening.

16 MR. GRASSO: Okay.

17 MS. FRANCO: I apologize that these  
18 conditions were not included in the original  
19 report. Should I read them off now?

20 MR. BAUGH: Give them the list and we  
21 will take a couple minutes so they can --

22 MS. FRANCO: So the first -- and I  
23 have a copy here.

24 MR. GRASSO: Thank you.

1 MS. FRANCO: So the first additional  
2 condition is Plans shall be submitted prior to the  
3 Village Board meeting specifying the fire hydrant  
4 locations. They just need to be approved by the  
5 Tri-State Fire Protection District. I think that  
6 was previously discussed with our previous planner  
7 Jo Ellen. I don't think that was ever --

8 MR. GRASSO: -- an issue. But I know  
9 you want to make it to the record. And, by the  
10 way, I appreciate you jumping in in the middle of  
11 all this and producing a very sufficient report.  
12 Thank you.

13 MS. FRANCO: 2) The maximum  
14 occupancy of the arena shall be limited to no more  
15 than 48 people, unless otherwise approved by the  
16 Village as part of a major change to a PUD.

17 3) And I believe I misworded  
18 this so I apologize. But the applicant shall show  
19 use in approved plans prior to Village Board  
20 approval future modifications to the use of any  
21 room subject to administrative review to determine  
22 whether a major change amendment is required based  
23 on parking.

24 4) The applicant shall

1 confirm with DuPage County that there is adequate  
2 capacity for the proposed use, and that's storm  
3 sewer capacity, prior to Village Board approval.

4 MR. GRASSO: And so by that you mean,  
5 we seek a review of the storm sewer ordinance and  
6 that there is no violation, it's consistent with  
7 the storms ordinance?

8 MS. FRANCO: Yes. And I believe  
9 that's mentioned -- this is also mentioned in the  
10 May 1 --

11 MR. GRASSO: Understood.

12 MS. FRANCO: -- staff report. So if  
13 you have any follow-up, you can discuss that with  
14 me. I think it is just an outstanding issue.

15 MR. GRASSO: Uh-huh.

16 MS. FRANCO: No. 5, the power pole  
17 and wire west along the north side of Frontage  
18 Road shall be buried and the pole removed as part  
19 of the construction of the project. I believe  
20 that was listed.

21 MR. GRASSO: We understand what  
22 you're saying. We just don't know what the cost  
23 factor of that might be. So we understand it  
24 being a condition.

1 MS. FRANCO: Okay. 6) A parking  
2 agreement shall be executed to accomplish the  
3 following: That stipulated parking near the front  
4 for employees only, and I believe that is part of  
5 the Plan. Now it is. Parking shall be --

6 MR. GRASSO: In the provided spaces.

7 MS. FRANCO: Yes. In the provided  
8 spaces. And drive aisles shall be kept clear.  
9 Semis shall not park on the site except in the one  
10 loading spot and only when loading and unloading  
11 products. And a cigar lounge use is not allowed.

12 MR. GRASSO: Okay. I, for the  
13 record, speaking with the architect, looking at my  
14 client and his general counsel, I don't think that  
15 we're going to have any problems with these  
16 additional conditions with the one reservation,  
17 just making sure what the cost might be for any of  
18 the pole and digging. I've had some experience  
19 with that. Is that a ComEd pole or ComEd wires or  
20 do we know?

21 MR. KRAWCZK: Right now it doesn't  
22 serve the property. Right now it serves only the  
23 Dell Rhea's Chicken Basket and the self-storage  
24 facility, so the power comes across at the

1 intersection and it feeds Dell Rhea Chicken  
2 Basket. Since there is no structures on the  
3 property right now, the property is not utilizing  
4 the pole. So if you're saying that any future  
5 connection to this facility would require that  
6 overhead line being lowered underneath the  
7 intersection, which then will rip up the  
8 intersection of Quincy and Joliet Road.

9 MR. GRASSO: Ripping it up or it can  
10 be trenched.

11 MR. KRAWCZK: Or augered underneath.

12 MR. GRASSO: So you think it's --  
13 Anna, do you think it's a power line and  
14 electricity?

15 MR. KRAWCZK: It's phone or electric.  
16 It's overhead. So it's shown on the plans right  
17 now, and it's actually on Dell Rhea's property and  
18 it serves Dell Rhea's facility. So we would have  
19 to get -- when we put the new building up, we have  
20 to get the new line in place, and then we would  
21 disconnect Dell Rhea and move them over at that  
22 time.

23 MR. GRASSO: And, obviously, we would  
24 have to be subject to any -- if it's ComEd, they

1 traditionally have easements. And I don't know if  
2 it's physically on our property or Dell Rhea  
3 Chicken's, and so we might have to get them to go  
4 along with things also. We certainly understand  
5 the request. It's certainly not unreasonable,  
6 given the fact that we're improving the area. I  
7 would understand why you want to take care of  
8 that.

9 MS. FRANCO: Can we at least make it  
10 a condition to further investigate the topic?

11 MR. BAUGH: Sure.

12 MS. FRANCO: So no condition for any  
13 action at this time with further investigation as  
14 necessary.

15 MR. GRASSO: We will make a good  
16 faith effort to give you the alternative to give  
17 the Village Board the alternatives when we're  
18 moving forward shall we get approval tonight. And  
19 the cigar lounge use, that's understandable and  
20 not a problem.

21 MS. FRANCO: Okay.

22 MR. GRASSO: Item 2, the maximum  
23 occupancy of the arena limited to no more than 48  
24 people, unless otherwise approved by the Village

1 as part of a major change to a PUD. Could you  
2 explain how the process would work if we needed  
3 more than 48 people? I mean, as time went on.  
4 Let me understand what the concern is.

5 MR. VARI: So if I may for a moment.  
6 With only 48 people in the arena per se, picture a  
7 slower night in February, Tuesday night in  
8 February. We have an occupancy card that could  
9 accommodate around 500 people and approximately --  
10 I'm going off my memory here, but we have  
11 approximately 120 spaces devoted toward the rest  
12 of the building and only 48 people are inside the  
13 arena taking only 40 or 50 spaces. That would  
14 even be a stretch. But say they were taking 50  
15 spaces. We have 120 other spaces devoted toward  
16 other areas of the establishment. But for  
17 whatever reason on Tuesday night in February, no  
18 one is out watching sports or no one is out  
19 playing golf simulator or whatnot. From a  
20 businessman's perspective, if we put a governor on  
21 the arena when the rest of the parking lot is  
22 empty, it would just -- it would not make  
23 economical sense from a businessman's perspective  
24 to do that. So our recommendation has been over

1 the past year, off and on, has been to certainly  
2 restrict it somehow. But by way of -- there is a  
3 couple governing factors. You've got the IBC,  
4 International Building Code, and the fire marshal  
5 will tell us how many people we can have in the  
6 entire building. That's going to put the governor  
7 on every room in the entire building, arena,  
8 kitchen, dining room, et cetera. You've got that  
9 aggregate number of around 500. You've got  
10 parking spaces of about 174, I think, most  
11 recently that could park or accommodate figure  
12 four people per car -- that probably won't  
13 happen -- but, theoretically, could park over 80  
14 people and bring them into the establishment.  
15 Now, the 500 that I spoke of being inside the  
16 building is a very conservative and restrictive  
17 look at the occupancy card. If we really count it  
18 out, according to the most liberal version of IBC,  
19 it's well over 2,000 people, but we're not asking  
20 for that. However, to balance it, we're certainly  
21 not wanting only 48 in the arena. What we're  
22 asking for is as long as there isn't a parking  
23 issue, the parking lot and the occupancy card will  
24 kind of self-govern itself because we can't have

1 more than the occupancy says because if the fire  
2 marshal comes by, that won't be good for us. And  
3 it will be very obvious as to whether or not  
4 there's a parking issue, and we would work with  
5 everyone here to mitigate that from day one. I  
6 know the gut feeling is to say, Oh, my goodness,  
7 what if we do have a parking issue? It takes a  
8 lot to have a parking issue. I hope Roy is  
9 blessed with a parking issue, but the truth is  
10 with 175 spaces and plenty of hotels and whatnot,  
11 and plenty of offsite parking for employees at his  
12 own business less than a quarter mile away,  
13 there's a very small chance in reality there's  
14 going to be a parking problem. I can see why  
15 we're going through a lot of trouble to make sure  
16 there isn't going to be one. But to say only 48  
17 people should exist inside 20 some thousand square  
18 feet, I wouldn't want to put a number on this  
19 room, but it's like saying there can only be two  
20 people in this room. It's just from a  
21 businessman's point of view, it's a hard pill to  
22 swallow. So what we're asking for is some common  
23 sense governor that protects everyone's interests.

24 MR. GRASSO: And I know, I believe,

1 from time to time the owner wants to make the  
2 facility available free to schools to come over  
3 and have a program or --

4 MR. VARI: Or senior day.

5 MR. GRASSO: -- or senior day. So we  
6 would like to address the concerns. We're not  
7 quite sure what the concern of 48 is, but at the  
8 same time, we would like to be able to fully  
9 utilize the facility without, obviously,  
10 overutilizing the facility, staying within the  
11 occupancy permit and within the parking lot  
12 requirements. No one is suggesting that we have  
13 any more than that, but this does seem on its face  
14 a bit severe.

15 MS. FRANCO: I think the main concern  
16 from staff is the parking issue is related to a  
17 soccer field use, and it's written down in the May  
18 staff report in detail. But, you know, I  
19 understand that parking for the whole facility  
20 is -- if there is parking, you know, for -- if the  
21 use is mainly in the retail bar area, that parking  
22 will be dispersed by use. So what I'm saying is  
23 that I think that would be fine to not have an  
24 allowed maximum or a max -- a restricted maximum

1 on that use. But I do want to state that parking,  
2 you know, is a concern. I think it is tight based  
3 on what's required in the code, and that issue  
4 still stands, although we're not, you know -- we  
5 want to be careful of that.

6 MR. VARI: Of course.

7 MS. FRANCO: But I understand that  
8 maximum occupancy for one room -- for one use of  
9 the building can be restrictive.

10 MR. GRASSO: And should the Plan  
11 Commission approve, then I think when we're in  
12 front of the Village Board, we can make the record  
13 also in front of the Village Board of the concerns  
14 and note that we recognize the Village's concern  
15 and staff's concern and that our goal, of course,  
16 is to be monitored by the occupancy permit and the  
17 parking, and we're not looking to go any more than  
18 75 spaces, and so we'll make our record also here  
19 and also in front of the Village Board.

20 MR. VARI: One more analogy real  
21 quick. In another municipality that I work with,  
22 we've had the opportunity to post two occupancy  
23 cards in one large room like this. And it would  
24 be an if-and-then scenario where my office would

1 supply drawings and say if the arena is used for  
2 this purpose, let's use 500 maximum occupancy of  
3 the entire building, and it could be more but 500  
4 is an easy number. Let's say that it was 500 in  
5 the entire building and 50 on an average night in  
6 the arena. But on Saturday on July 22, the  
7 Chicagoland Youth Soccer is going to have a  
8 tournament on Saturday morning. Well, we would  
9 say fine, the other 450 throughout the rest of the  
10 building, we'll kind of like close it down, and  
11 everyone will go into the arena, but you're still  
12 parked properly and you're still at maximum  
13 occupant of 500 for the entire building. So it's  
14 the allocation of the people and the same number  
15 of spaces to accommodate them. We just don't want  
16 to be penalized if people choose not to play golf  
17 and 20 more want to play soccer, we can't allow 20  
18 more people in there, then, legally.

19 MS. FRANCO: I agree with that  
20 reasoning.

21 MR. LACAYO: Chairman, I know we're  
22 not -- could I ask one question?

23 MR. REMKUS: Sure. No. You can.

24 MR. LACAYO: Actually, to both of

1 you.

2 MR. GRASSO: Please.

3 MR. LACAYO: Page 3 of the report,  
4 the seating is 2480. So in your estimate, what in  
5 square feet, what does that translate to people?  
6 And then to the staff, where do we come up with  
7 48? Is that what we use to analyze the number of  
8 parking spaces needed?

9 MS. FRANCO: Yes.

10 MR. LACAYO: So there was no magic.  
11 I want to hear both sides.

12 MR. VARI: Can you repeat the  
13 question?

14 MR. LACAYO: The question is: It's a  
15 room -- I understand how big it is. The field is  
16 23,000. Seating is 2480 square feet. What does  
17 that translate to number of people?

18 MR. VARI: Well, IBC's recommendation  
19 is one space for every three seats, and it's  
20 subject to interpretation, quite honestly,  
21 depending on what style of soccer we're going to  
22 have. From day one, we've always said it's going  
23 to primarily be men's pickup soccer like no  
24 guests, no spectators, although the middle-age men

1 in the room would probably think their wives are  
2 going to come and watch them. They're not.  
3 There's no referees. There's just five guys  
4 playing five guys and a goalie. So there's really  
5 not going to be much seating. But we're going  
6 along the IBC lines. This is how we calculate it.

7 MR. LACAYO: What would that be? One  
8 parking for three spaces or three seats?

9 MR. KRAWCZK: This is this table here  
10 is what he is looking at. We would be calling it  
11 24 occupants. Yeah, for every three seats, you're  
12 required one space. So 24 divided by 3 equals 8.

13 MR. LACAYO: I mean, but the Village  
14 is asking for 48 people but you're saying --

15 MR. VARI: That was including like  
16 the number of people on the field, a potential  
17 number of people watching. That was the whole  
18 aggregate of everyone.

19 MR. LACAYO: I understand. I'm  
20 looking at staff. I don't know the answer. Isn't  
21 that the fire marshal's responsibility?

22 MS. FRANCO: Yes.

23 MR. LACAYO: Our responsibility is to  
24 look at the parking requirement and the ordinance.

1 MR. GIUNTOLI: I mean, it's the  
2 building department's responsibility to assure  
3 that the occupant load placards are accurate. And  
4 I work with the fire marshal to make sure that  
5 they are and that they're observed. So I  
6 understand how this 48 number didn't come from an  
7 occupant load as the IBC said, it came from  
8 occupant load from a number they took because they  
9 wanted to establish a parking number. I  
10 understand how the architect is saying they can  
11 shift the numbers back and forth. I don't know if  
12 it's realistic that they're going to close  
13 sections of the building so the numbers stay below  
14 the overall aggregate number. Is any one given  
15 time that number going to go over it and the fire  
16 marshal or myself aren't going to be standing  
17 there? It's a distinct possibility that happens,  
18 but it's a number we want to establish to have on  
19 a placard on a wall so if they're over and  
20 something goes south, we have something -- we have  
21 some teeth in the ordinance to say look, you're  
22 going over this number and now there is issues.  
23 If we take that number and just throw it out the  
24 door and we have issues, we got no teeth to go

1 after any kind of, you know, enforcement.

2 MR. VARI: We understand the  
3 principle, but I also understand your point. The  
4 fire marshal will govern ultimately. As business  
5 people we would be fools to deviate from this  
6 because if something does happen --

7 MR. GIUNTOLI: Exactly.

8 MR. VARI: -- it's bye-bye. So we  
9 wouldn't do that and we would listen to a  
10 reasonable request to mitigate somehow.

11 MR. GIUNTOLI: I understand.

12 MR. VARI: It's easy to just close  
13 off the second floor if we had to one night. If  
14 we knew that tournament was approaching and we  
15 seen, you know, a trend line of a parking problem,  
16 I think Roy is a reasonable guy, and he would just  
17 say, you know what, the second floor is closed for  
18 Saturdays and Sunday if it becomes a problem. But  
19 because it would be a tournament, you could also  
20 argue a lot of people are going to stay at a hotel  
21 that weekend, so the shuttle bus is going to drop  
22 them off minimizing the chances of a parking  
23 issue.

24 MR. REMKUS: One of the things that

1 you're bringing up tournaments now. As I read  
2 through things before in here and as you know,  
3 we've had other conversations. There was never to  
4 my recollection anything ever brought up about  
5 having tournaments. Tournaments all of a sudden,  
6 we talk about bringing kids' tournaments, that  
7 changes the whole scenario of what originally --

8 MR. VARI: And, Commission Pro  
9 Tempore, I do apologize for the example, but I was  
10 trying to give you a scenario where we would see  
11 an influx and perhaps have to close another  
12 portion down.

13 MR. REMKUS: We know from other  
14 facilities that we had in town, it was a big issue  
15 with the public that if you're going to have a  
16 tournament, the parking becomes even more of a  
17 problem now because now you have people coming  
18 from all over. They're parking in people's  
19 driveways or parking in apartment buildings. You  
20 know, they'll be parking at the motels.

21 MR. VARI: We don't want that. We  
22 don't want that.

23 MR. REMKUS: If this is something  
24 you're going to do, I think that we really need to

1 know and that it becomes part of this.

2 MR. VARI: I was trying to think  
3 through a scenario where the field would increase,  
4 and that's why I used February. There's not going  
5 to be much action on a Tuesday night in the rest  
6 of the building so why not let --

7 MR. REMKUS: I understand that. What  
8 I'm saying, you're talking about kids' tournaments  
9 now.

10 MR. VARI: Because it was a quick  
11 example.

12 MR. REMKUS: Is that what that  
13 facility is going to be used for for kids'  
14 tournaments?

15 MR. GRASSO: No. No. It may be an  
16 unfortunate term, an example. We are not planning  
17 and have not asked for, nor would this appear to  
18 allow a tournament. If there was a request to do  
19 so, I think we would have to go to the Village and  
20 see if they would let us do a oneoff from time to  
21 time. I doubt that would happen. But we are not  
22 asking for the ability to have tournaments at this  
23 facility. It is being designed primarily for  
24 adults, men or women, at night, without referees.

1 And so I don't want to get side-tracked because  
2 that is not part of this application nor do I  
3 believe your approval or Village Board approval  
4 would allow it.

5 MR. REMKUS: Then we shouldn't use it  
6 as an example in a public meeting.

7 MR. GRASSO: I tend to agree with  
8 that.

9 MR. VARI: I apologize for the  
10 incorrect example, but the principle with the  
11 occupancy card and the fire marshal governing,  
12 including the parking lot calculation, we will  
13 work together.

14 MR. REMKUS: We all know the fire  
15 marshal will base it on square footage and the  
16 numbers would be higher than what we would have  
17 parking for.

18 MR. VARI: And if a parking  
19 requirement issue arose --

20 MR. REMKUS: That's why we're looking  
21 at capping the parking.

22 MR. GRASSO: And that's why you're  
23 capping the parking at 174.

24 MR. VARI: Which would translate into

1 a capped occupancy count which we're fine with.  
2 It's just somewhere in the middle, and it's  
3 obviously we're not wanting it to be 48 for such a  
4 large venue.

5 MR. GRASSO: Right.

6 MR. REMKUS: And I know that this was  
7 probably based on what you said it was going to be  
8 used for. There is five guys here playing, five  
9 guys there playing, a couple of goalies. Their  
10 wives won't come to watch. You know, that's why I  
11 think that number --

12 MR. GRASSO: So we would ask maybe to  
13 eliminate 2 but make a record that we certainly  
14 understand the concern about parking and  
15 occupancy.

16 MS. FRANCO: I agree with that.

17 MR. GRASSO: Are there any other  
18 questions that we might answer at this point?

19 MR. REMKUS: Is there?

20 MR. BAUGH: Counselor, I understand  
21 that you were at the meeting on May 18 and put on  
22 your presentation. But if you could go back  
23 through your presentation because of the effective  
24 notice on that, we have nothing in the public

1 record at this point. So if you could have  
2 whatever expert testimony you're going to have  
3 with the plans and everything like that.

4 MR. GRASSO: Mr. Vari can run through  
5 the renderings, both exterior and interior. And,  
6 of course, if there are any questions about the  
7 ditch or the grading, we have the engineer. And  
8 if you have any questions about the operations,  
9 the owner is also here.

10 MR. REMKUS: I apologize for this,  
11 but we have to go through this whole thing again.  
12 But with the mistake on the address and the  
13 hearing and everything, we want to make sure that  
14 we're crossing our T's and dotting our I's. We  
15 will move this forward in a timely manner for you.

16 MR. VARI: Thank you.

17 MR. GRASSO: We certainly want that  
18 done, too. So we agree with it.

19 MR. VARI: Yes. Yes. So once again,  
20 Compass Arena. This board to my left indicates  
21 the exterior renderings. It's primarily going to  
22 be a tilt-up prefab concrete panel building for  
23 the most part, certainly the arena portion which  
24 you see in the background here. And then as we

1 call the front of the house will be also tilt-up,  
2 but in front of it, we'll be applying traditional  
3 building materials such as face brick, some wood  
4 in some cases, a lot of steel and glass, so a  
5 rather modern-looking building. This image here,  
6 it's called the exterior perspective B. It  
7 basically shows the front entrance, a lot of glass  
8 on that first floor. Basically operable garage  
9 doors to bring that outside-in concept. As you  
10 know, we only have three short months of summer  
11 here if we're lucky. So during those months,  
12 people dining along those windows or those doors,  
13 they'll open up and you'll have like that  
14 outside-in feel like you see, you know, often in  
15 places like Wrigleyville and Andersonville and  
16 whatnot.

17 On the second floor, similar  
18 concept, definitely outdoor space. Primarily  
19 feeding, corporate space, corporate lounge, and  
20 soccer -- excuse me, golf simulators. Golf  
21 simulators will also exist, you'll see it on the  
22 floor plans in a second, but in this mezzanine  
23 level here, in between the first and second floor.  
24 And then the rest of the images on this board are



1 MR. KRAWCZK: And so the property  
2 itself is 3.6 acres, and that abuts the Stevenson  
3 Expressway, which is an IDOT right-of-way and  
4 Joliet Road, which is the IDOT right-of-way. The  
5 site has no wetlands on it, and we've already  
6 submitted the stormwater report to staff, to  
7 staff's consulting engineer, and we have approval  
8 of the stormwater report and the detention. The  
9 site currently contains 1.35 acre feet of  
10 detention. It releases that at the allowable  
11 release rate, which is the .1 CFS per acre. The  
12 site being 3.6 acres would allow for a .36 release  
13 rate, and we're releasing at a .31 release rate.

14 There was an agreement put  
15 together with Dell Rhea's Chicken Basket for the  
16 discharge point, which is through their parking  
17 lot and then downstream through the IDOT  
18 right-of-way, which has already been approved by  
19 staff and your consulting engineer. Final  
20 engineering plans have been submitted to staff.  
21 The last rendition of the final engineering plans  
22 were to actually clarify the geometrics to Joliet  
23 Road in which case we went back out, resurveyed  
24 Joliet Road. We indicated the striping and we



1 marshal to date. I know that that was one of the  
2 areas that we were kind of circulating, and no one  
3 really wanted to go to those next steps until we  
4 got tonight's approvals.

5 And if there is any more  
6 questions on engineering on the site, I'll sit  
7 down.

8 MR. VARI: Thank you.

9 MR. GRASSO: Thank you.

10 MR. VARI: Moving on to the --

11 MR. REMKUS: We will wait for public  
12 comment after.

13 MR. VARI: Moving on to the floor  
14 plans. So here we have the ground floor. First  
15 floor restaurant. Main entry here shown at the  
16 revolving door. On the center line, we see our  
17 circular bar. Flanking it is dining to the left  
18 and right. We have our required two stairs  
19 leading up to the mezzanine and eventually the  
20 second floor. Elevator to accommodate ADA  
21 compliance. And within it, we have, obviously,  
22 our toilet rooms, kitchen components, private  
23 dining, storage. Above it we show our mezzanine  
24 plan that will house the golf simulators as

1 mentioned. Please stop me if you guys would like  
2 to have this passed around.

3 But moving on to the second  
4 floor. As mentioned, corporate meeting space,  
5 more golf simulators, toilet rooms to accommodate  
6 the patrons up top. Half moon bar, outdoor dining  
7 in season, private party room. And then we have  
8 the soccer fields depicted here on A1.3. So two  
9 fields. They are each 80 by 120 feet, and we have  
10 locker room areas flanking the fields depending on  
11 if, you know, Team A and Team B are on Field No. 1  
12 and Team C and Team D are on Field No. 2, they can  
13 use private locker facilities at each north and  
14 south end of the establishment.

15 That's really it as far as the  
16 plans are concerned.

17 MR. GRASSO: Any questions?

18 MR. LACAYO: Is there any -- on the  
19 soccer field, is there any permanent seating  
20 there? Because I looked at it a couple of times.

21 MR. VARI: No.

22 MR. LACAYO: Is it either standing or  
23 somebody brings their chair or you set them  
24 temporary?

1 MR. VARI: Yes, sir. To our previous  
2 point, there literally isn't any room for it. We  
3 chose 80 by 120 only because of the site. I think  
4 the max is 90 by 140 or something like that. But  
5 we don't have the real estate for it, so the  
6 bleachers -- that bleacher system was the first to  
7 be removed from the equation.

8 MR. REMKUS: We can open this up  
9 as -- are you finished with your --

10 MR. GRASSO: Yes, sir, at this point.

11 MR. REMKUS: Is there any public  
12 comment?

13 MS. BERGLUND: I have a question.

14 MR. REMKUS: You will have to come up  
15 and be sworn in.

16 (Sue Berglund was sworn.)

17 MS. BERGLUND: Sue Berglund. I had a  
18 question. Is this private membership or is this  
19 open to the public?

20 MR. VARI: Open to the public,  
21 absolutely.

22 MS. BERGLUND: And what kind of food  
23 will be served?

24 MR. GRASSO: Very good food.

1 (Patrick Rhea was sworn.)

2 MR. RHEA: My name is Patrick Rhea.  
3 One of my first concerns is I just heard somebody  
4 say that they made an agreement with me to use my  
5 stormwater facilities. And the only thing that I  
6 ever recall anybody talking to me about was to do  
7 a study of the stormwater, and now I'm hearing  
8 there's agreements in place. I don't know about  
9 it. If it doesn't hurt my facility or my  
10 property, I certainly won't have any problem with  
11 it, but it's something that I have not heard of.

12 Secondly, I need to know -- I  
13 heard a lot of talk about parking, but I haven't  
14 heard any final numbers. When the facility is  
15 full and occupied, how many parking spaces are  
16 going to be required for those cars and for those  
17 people and how many spaces are you going to have?  
18 Because that's a big concern of mine. I've  
19 experienced it with The Kerry Piper on their St.  
20 Patrick's Day celebration, and I become the  
21 parking nazi, which I don't want to do. All I  
22 want to do is run my business.

23 MR. VARI: We actually have a surplus  
24 of parking. It's just around 20 spaces. We're

1 required to have 154.89, and we're providing 174.

2 MR. RHEA: Okay. That's not exactly  
3 the question I asked.

4 MR. VARI: I'm sorry.

5 MR. RHEA: The question I asked is  
6 how many parking spaces will you use? Regardless  
7 of what the Village requires, how many space do  
8 you need if you're at capacity?

9 MR. VARI: Well, I mean 174 is the  
10 maximum number that we'll have on site. I can't  
11 predict the future. What I can say is if there is  
12 a parking problem, it will be addressed. And a  
13 couple of the items that will mitigate it are  
14 hotel shuttles and whatnot that may or may not be  
15 coming to the facility to drop off so spaces will  
16 be utilized remotely, and Roy actually owns  
17 Compass Trucking down the street, which is less  
18 than a quarter mile, and our idea is that most  
19 employees will be kind of shuttled back and forth  
20 on a daily basis. So not much thought is given to  
21 this in a hearing level, but generally speaking,  
22 20 percent of your parking is going to be  
23 employees. So it's a net gain of another 20  
24 percent, so theoretically we're going to park, you

1 know, 190 spaces worth of patrons because 20  
2 would-be's would be driven down the street in a  
3 matter of minutes.

4 MR. GRASSO: But to answer your  
5 question, we were only going to be allowed 174  
6 spaces, and that's all we can put in, and that  
7 will also dictate the occupancy permit. So while  
8 the square footage and the size of the building  
9 might allow more patrons, the occupancy and what  
10 the fire marshal will be guided by is only the 174  
11 spaces so that there is no overflow, which, I'm  
12 sure, is what your concern is.

13 MR. RHEA: Exactly.

14 MR. GRASSO: That there is no  
15 overflow to the Chicken Basket. We're only asking  
16 for and we've scaled the project to only use 174  
17 spaces maximum.

18 MR. VARI: That's a very good point  
19 because the footprint of the parking lot has never  
20 changed. What has changed, we removed a basement  
21 spa component and we removed a third floor. We  
22 always had the 174 spaces. Actually, we were at  
23 the borderline of that being acceptable by code,  
24 and we head the Village's comments and we removed

1 the basement, we removed the third floor, and  
2 still provided 174. That's why there's a surplus.  
3 We're only required 154. We're providing 174.  
4 That's way beyond the normal surplus in anything  
5 I've done so...

6 MR. KRAWCZK: Mr. Rhea, in response  
7 to your question, I did put a letter together and  
8 what it said is that I needed to get on your  
9 property to survey to see what the existing  
10 stormwater concerns were.

11 MR. RHEA: Right.

12 MR. KRAWCZK: At that point we were  
13 in our preliminary design. We had indicated that  
14 we were going to utilize the storm sewer in the  
15 rear of the building, and I'll just show you the  
16 letter that I asked Mario to present to you which  
17 was to give permission to survey, tap into and  
18 repair any storm sewers that were collapsed along  
19 the Joliet corridor in order to improve the  
20 drainage.

21 MR. RHEA: Right. But to me this is  
22 not an agreement to use my facility.

23 MR. KRAWCZK: Okay. I misunderstood  
24 it, then.

1           MR. RHEA: I misunderstood it also,  
2 obviously.

3           MR. KRAWCZK: I guess what we have  
4 done is reduced the amount of stormwater that's  
5 undetained that goes to your parking lot now. And  
6 so with the new design, it significantly reduces  
7 the amount of flow. It's still the same amount of  
8 water.

9           MR. RHEA: So you're going to repair  
10 or fix anything that might be collapsed now, and  
11 then you're going to run your stormwater through  
12 there?

13           MR. KRAWCZK: Yes.

14           MR. RHEA: And what happens if it  
15 comes up over?

16           MR. KRAWCZK: I got to trust my  
17 professionals.

18           MR. RHEA: What happens if it does?

19           MR. KRAWCZK: If it does come up,  
20 we're tapping into the storm sewer that's behind  
21 the facility, and that facility then would -- if  
22 it were to surcharge, it would surcharge the same  
23 manner.

24           MR. RHEA: Into the detention pond?

1 MR. KRAWCZK: Into the detention pond  
2 and then downstream.

3 MR. RHEA: Okay. Great.

4 MR. KRAWCZK: I apologize if it  
5 wasn't clear what the intention was.

6 MR. RHEA: No. That's fine. That  
7 says to do a survey and that's what I --

8 MR. GRASSO: And we're also going to,  
9 at the Village's request, take care of the pole  
10 and at least investigate.

11 MR. RHEA: Which pole are we talking  
12 about?

13 MR. GRASSO: It must be on your side  
14 or our side.

15 MR. VARI: Walter is saying it's on  
16 your side.

17 MR. RHEA: But which pole?

18 MR. GRASSO: I am not sure. Anna,  
19 which pole?

20 MR. RHEA: On the east side of the  
21 building? On the west side?

22 MR. REMKUS: It would have to be on  
23 the east side.

24 MS. FRANCO: I missed that.

1           MR. RHEA: Which light pole are you  
2 speaking -- were you speaking about that you  
3 wanted them to bury that then became my pole and  
4 then it was their pole?

5           MR. GRASSO: Can you see it on here?

6           MR. LACAYO: There is a picture of  
7 it.

8           MR. GRASSO: For the record, what are  
9 you referring to?

10          MR. KRAWCZK: The power pole is this  
11 utility pole.

12          MR. GRASSO: To what document are you  
13 looking at?

14          MR. KRAWCZK: This one here. I'm  
15 sorry.

16          MR. GRASSO: Utility plan. On Sheet  
17 5 of the utility plan.

18          MR. KRAWCZK: It comes across here  
19 and then I believe your power is off of this pole  
20 which comes across right here.

21          MR. GRASSO: Across from Quincy?

22          MR. KRAWCZK: Right. There is an  
23 anchor here.

24          MR. RHEA: I don't think anything

1 from there comes to my building. I think the only  
2 thing that comes to my building is from this pole.

3 MR. KRAWCZK: This one here?

4 MR. RHEA: I'm not sure but...

5 MR. KRAWCZK: We will survey it and  
6 we will see what's on it, and then we will drop --  
7 it might have been for the old facility that used  
8 to be here.

9 MR. RHEA: I think that was for  
10 Country Kitchen.

11 MR. KRAWCZK: That would be great.

12 MR. GRASSO: That would be even  
13 better. So it's not being used at all. We will  
14 verify that, of course, and let you know.

15 MR. RHEA: You mean you won't turn  
16 off my power?

17 MR. GRASSO: We won't. And I will be  
18 corrected on one more thing while we're going to  
19 have good food, his chicken is probably going to  
20 be better.

21 MR. KRAWCZK: No doubt about it.

22 MR. GRASSO: I been there for  
23 chicken.

24 MR. KRAWCZK: We are coming right

1 through here and tying into that catch basin.

2 MR. RHEA: Where does it go?

3 MR. KRAWCZK: It goes into the  
4 self-storage, which then goes into their storm  
5 sewer. So by drainage law, it goes that way and  
6 now it's going to go that way, but it's going to  
7 go at .31 CFS, so a much reduced rate. No  
8 flooding back there.

9 MR. RHEA: We haven't had any  
10 flooding back now.

11 MR. GRASSO: It will be improved.

12 MR. RHEA: Where is your detention  
13 pond?

14 MR. KRAWCZK: It's all underground.

15 MR. RHEA: Thank you.

16 MR. KRAWCZK: Yes, sir.

17 MR. RHEA: Thank you.

18 MR. REMKUS: Any more public  
19 comments?

20 We are going to adjourn for a  
21 couple minutes for a bathroom break.

22

23 (There was a brief recess,

24 after which the preceding

1 hearing continued as  
2 follows:)

3 MR. REMKUS: Let's reconvene our  
4 meeting. If we can have a staff report now.

5 MS. FRANCO: So I'm going to be very  
6 brief because, of course, many of the items have  
7 already been discussed. So for bulk requirements,  
8 the maximum height of the building in a B-3  
9 district is 30 feet. The maximum height of this  
10 building is 49.8 feet at the peak of the parapet  
11 wall for the high ceiling in the soccer arena. So  
12 that's the maximum height, and as part of their  
13 PUD, they would be requesting a variation. For  
14 building setbacks in a PUD, building setbacks are  
15 required to be equal to the required setback of  
16 the adjoining zoning district and not less than  
17 the height of the building. This is all shown in  
18 Table 2 of the staff report from May 18. The  
19 shallow depth of the property limits building  
20 placement on the lot and thus relief is being  
21 requested from the front and rear property lines.

22 Pavement setbacks. The  
23 applicant is requesting relief for pavement  
24 setbacks but only minor. They are outlined in

1 Table 3 of the May 18 staff report.

2 For foundation setbacks, the  
3 zoning ordinance requires a minimum foundation  
4 landscape area of 7 feet around the building.  
5 Many areas meet this requirement around the  
6 building, excluding areas where the front and rear  
7 elevations are near the front and rear lot lines  
8 where setbacks are already encroaching into  
9 required yards for buildings and pavement setbacks  
10 and relief will be requested.

11 As discussed earlier, earlier  
12 concept plans described the lounge as a cigar  
13 lounge. Cigar lounges are prohibited by the  
14 Illinois Smoke Free Indoor Act. And that will be  
15 a condition for tonight's approval that cigar  
16 lounge is not permitted -- is not accepted.

17 Signage. The applicant is  
18 requesting three wall signs for I-55 elevation,  
19 two wall signs for Joliet Road elevation, and one  
20 monument sign along Joliet Road. Signage  
21 variations are not allowed under the existing B-3  
22 zoning, and although relief is possible through a  
23 PUD, it is generally supported -- staff recommends  
24 eliminating the digital signs on I-55, and I

1 believe previous discussions with staff have  
2 agreed to that. And staff also recommends  
3 reducing the size of the front wall sign and the  
4 monument sign to be in conformance with the  
5 Village's code. Also listed as a condition  
6 tonight and previous discussions, the applicant  
7 has agreed to that as well.

8 MR. VARI: Our most recent, we did  
9 have a discussion about being as close to the code  
10 as possible. I think we're 13.5 percent over.  
11 There were discussions in previous meetings where  
12 we could be 15 percent over plus or minus 10 to 15  
13 percent, and I think we're like 13.5 over right  
14 now.

15 MS. FRANCO: That's fine and  
16 supported by staff. Other than that, staff feels  
17 that the other aspects of the proposed development  
18 have been discussed at tonight's meeting and  
19 recommends and supports the requested relief for  
20 the proposed development.

21 MR. BAUGH: Anna, you gave or handed  
22 out a list of additional conditions that we  
23 started the hearing with. And now I mean, we've  
24 gone round and round on various of these. And my

1 understanding is that you're going to recommend  
2 removal of two of these conditions. Can you  
3 please let the board know which two that you are  
4 no longer requiring?

5 MS. FRANCO: Yes. Item 2 previously  
6 stated for the maximum occupancy for the arena  
7 being 48 people. Staff is no longer requiring  
8 that as a condition.

9 MR. KRAWCZK: Item 5.

10 MS. FRANCO: Item 5, the power pole  
11 will be investigated.

12 MR. BAUGH: We have to have language  
13 on this. You said item 4?

14 MS. FRANCO: Yes. Item 4 will no  
15 longer be required as a condition. And Item 5  
16 will be revised for further investigation of the  
17 power pole.

18 MR. BAUGH: In that regard, I came up  
19 with some language. Please let me know if you're  
20 open to this. It says the petitioner and Village  
21 staff shall collaboratively investigate the  
22 feasibility of burying of the power poll and wire  
23 along the north side of Frontage Road and the  
24 removal of the pole as part of the construction of

1 the project.

2 MR. GRASSO: Yes.

3 MR. KRAWCZK: Yes.

4 MR. GRASSO: We only ask also for  
5 some leeway on I think the original No. 5, which  
6 said 12 months. We would ask for 24 months.

7 MR. BAUGH: Right. And petitioner is  
8 also requesting Condition No. 5, the special use  
9 permit shall be null and void if construction for  
10 the proposed use is not commenced and a  
11 certificate of occupancy is not granted within 12  
12 months. They're proposing 24 months. So is  
13 that --

14 MS. FRANCO: I believe per the code,  
15 the maximum is 18 months.

16 MR. GIUNTOLI: Well, the shelf life  
17 of a permit is 18 months.

18 MR. GRASSO: 18 months is acceptable,  
19 then.

20 MR. BAUGH: Is that acceptable to  
21 you? I wanted to make sure that we wrapped that  
22 up.

23 MR. REMKUS: Do the commissioners  
24 have any questions they would like to ask?

1 MR. KAUCKY: If everything is  
2 approved like tonight, and then also at the  
3 Village level, when do you anticipate starting on  
4 this project?

5 MR. GRASSO: I know I think I can  
6 speak for Roy. I think he wants to start as  
7 quickly as possible. In fact, we would probably  
8 either approach the Village about at least getting  
9 the preliminary paperwork in for building permits.  
10 Obviously, we have to get through the stormwater  
11 and a couple of other things, and so we're hoping  
12 to be on the Village Board's agenda once we get  
13 everything to Anna for her approval maybe by the  
14 August 23 meeting.

15 MS. FRANCO: 22nd.

16 MR. GRASSO: The 22nd meeting. The  
17 second meeting in August. And assuming we get  
18 approval at that point, we will move as rapidly --  
19 I know Roy wants to break ground in the fall.

20 MR. KAUCKY: Okay. Thank you.

21 MR. REMKUS: If there is no other  
22 questions, since he is done writing, I will read  
23 it.

24 MR. BAUGH: I was going to share the

1 road map here.

2 MR. LACAYO: Did you guys pick up the  
3 grammar in No. 3 that I appointed out, "the  
4 applicant shall show".

5 MR. BAUGH: We have the applicant  
6 shall show use on the approved plans.

7 MR. REMKUS: Okay. Based on the  
8 submitted petition and testimony presented, I move  
9 that the Plan Commission forward its findings of  
10 fact to the Mayor and the Village Board for a  
11 Special Use Permit as shown in Attachment 1 of the  
12 staff report prepared for the July 20, 2016, Plan  
13 Commission for PC 16-07, and recommend approval of  
14 a Special Use Permit for a Planned Unit  
15 Development, including such relief, exceptions and  
16 variations from Title 9 and Title 10 of the  
17 Village Code as outlined in the staff report,  
18 prepared for the May 18, 2016, Plan Commission  
19 meeting for PC 16-07, to develop a 49,934 square  
20 foot facility that includes a 28,992 square foot  
21 indoor soccer facility, and a 16,562 square feet  
22 of restaurant, bar, and golf simulator,  
23 entertainment space, subject to the following  
24 conditions:

1                   1) The submitted revised  
2 engineering plans, included as Attachment 2, be  
3 completed as reviewed and approved by the Village  
4 engineer.

5                   2) The applicant shall  
6 provide a copy of the document that granted the  
7 existing ingress and egress easement on the east  
8 end of the subject property to the Village staff.

9                   3) The applicant shall work  
10 with the owners of the 7/Eleven property to amend  
11 or eliminate the existing ingress and egress  
12 easement on the east end of the subject property  
13 and provide staff with new documentation of the  
14 amended or eliminated ingress and egress easement.

15                   4) The applicant shall revise  
16 existing plans to eliminate the two digital signs  
17 directed to I-55 and reduce the size of the front  
18 wall sign and the monument sign to be in  
19 conformance with the Village code.

20                   5) The special use permit  
21 shall be null and void if construction for the  
22 proposed use is not commenced and a certificate of  
23 occupancy is not granted within 18 months of the  
24 date of any approval of the special use by the

1 Village Board.

2                   6) Plans shall be submitted  
3 prior to the Village Board meeting specifying the  
4 fire hydrant locations to be approved by the  
5 Tri-State Fire Protection District 1.

6                   7) The applicant shall show  
7 use of the approved plans prior to the Village  
8 Board approval, future modifications to the use of  
9 any room subject to administrative review to  
10 determine whether a major change amendment is  
11 required based on parking.

12                   8) The petitioner and the  
13 Village shall collaboratively investigate the  
14 feasibility of burying the power pole and wire  
15 along the north side of Frontage Road and the  
16 removal of the pole as part of the construction of  
17 the project.

18                   9) A parking agreement shall  
19 be executed to accomplish the following:

20                   A) Stipulates parking near  
21 the front for employees only.

22                   B) Parking shall be in  
23 designated parking spaces only. Drive aisles  
24 shall be kept clear.

1 C) Semis shall not be parked  
2 on the site except in the one loading spot and  
3 only when loading and unloading products.

4 And the cigar lounge use is  
5 not allowed.

6 MR. BAUGH: That's Condition 10.

7 MR. REMKUS: That's 10. May I have a  
8 motion?

9 MR. LACAYO: I'll make a first.

10 MR. REMKUS: Second?

11 MR. KAUCKY: Second.

12 MR. REMKUS: Secretary will call the  
13 roll, please.

14 MS. KOLODZIEJ: Commission Lacayo.

15 MR. LACAYO: Yes.

16 MS. KOLODZIEJ: Commissioner Soukup

17 MR. SOUKUP: Yes.

18 MS. KOLODZIEJ: Commissioner Kaucky.

19 MR. KAUCKY: Yes.

20 MS. KOLODZIEJ: Commissioner Ruffolo.

21 MR. RUFFOLO: Yes.

22 MS. KOLODZIEJ: Commissioner Remkus.

23 MR. REMKUS: Yes. Okay. The motion  
24 has passed.

1 MR. GRASSO: Thank you.

2 MR. VARI: Thank you.

3 MR. DOBRASINOVIC: Thank you.

4 MR. REMKUS: Can we make a motion to  
5 close the public hearing?

6 MR. BAUGH: That's what we're going  
7 to do right now.

8 MR. RUFFOLO: So moved.

9 MR. KAUCKY: Second.

10 MR. REMKUS: All in favor?

11 ALL COMMISSIONERS: Aye.

12 MR. REMKUS: Opposed?

13 (Which were all the  
14 proceedings had in the  
15 above-entitled cause.)

16 (The hearing ended at  
17 9:25 p.m.)

18

19

20

21

22

23

24

1 STATE OF ILLINOIS )  
2 COUNTY OF COOK )

3  
4 I, MARY WOOLSEY, C.S.R., do hereby  
5 certify that I am a court reporter doing business  
6 in the City of Chicago; that I reported in  
7 shorthand the testimony given at the  
8 above-entitled hearing on July 20, 2016; and that  
9 the foregoing is a true and correct transcript of  
10 my shorthand notes so taken as aforesaid.

11  
12  
13   
14

15 Certified Shorthand Reporter

16 Illinois C.S.R. License No. 084-002894  
17  
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24



## Village of Willowbrook

### Staff Report to the Plan Commission

**Public Hearing Date:**

Public Hearing August 3, 2016  
Public Hearing (Continued) August 17, 2016

**Prepared By:** Anna Franco, Planning Consultant

**Case Title:** 16-09: 10 Midway Drive Variance

**Petitioner:** 10 Midway Drive, Willowbrook, IL 60527

**Action Requested Applicant:** Consideration of a petition to authorize two (2) variations to reduce the minimum exterior side yard setback at 10 Midway Drive, located in the R-2 Zoning District.

**Location:** At the Northwest corner of Midway and Route 83; east of Eleanor Place

**Location:** R-2 Single Family Residential District

**Existing Land Use:** Single Family Detached Residential

**Property Size:** 0.29 Acres

<b>Surrounding Land Use:</b>	<b>Use</b>	<b>Zoning</b>
North	Single Family Residence	R-2 Single Family
South	Single Family Residence	R-2 Single Family
East	Illinois Route 83	Illinois Route 83
West	Single Family Residence	R-2 Single Family

**Documents Attached:** 1. Staff Report and attachments for the August 3, 2016 Plan Commission Meeting (13 Sheets)

**Necessary Action by Plan Commission:** Continue Public Hearing, accept testimony, and approve a recommendation to the Village Board.

**Staff's recommendation and a sample motion can be found on page 3.**



### **Public Hearing Continuation**

The public hearing for PC 16-09, 10 Midway Drive Variance, was continued to the continued from the August 3, 2016 regular the next special meeting of the Plan Commission on August 17, 2016 due to the belief that the zoning code does not authorize all the variations that the applicant was seeking. Therefore, the Plan Commission agreed to continue the case until Staff confirmed the zoning issue with the Village's legal counsel.

### **Discussion at August 3<sup>rd</sup>, 2016 Plan Commission Meeting**

Zoning Authorization – At the August 3 Plan Commission meeting, the petitioner requested the following relief in order to be allowed to construct a single family home at 10 Midway Drive:

1. Variation from section 9-5B-3(D)3 to authorize a minimum exterior side yard of forty (40') feet to twenty-two and one half (22.5') feet.
2. Variation from section 9-5B-3(B)2 to authorize reduction of a single family detached dwelling on a corner lot width from one hundred and five (105') feet to seventy-five (75') feet.
3. Variation from section 9-14-4.4 to authorize an alteration of minimum lot width and lot depth reduction requirements to be greater than twenty five percent (25%).

During discussion at the August 3 Plan Commission meeting, Vice Chairman Wagner brought to the attention of the Plan Commission that the proposed variation to vary Section 9-14-4.4 of the code to alter the minimum lot width and lot depth in excess of the maximum 25% (Item #3 above) is not an allowed variation. Correct in his statement, the limitation of Section 9-14-4.4 cannot be varied, however, this has become a moot issue.

Given the parcel is an existing platted lot, the variation to reduce the corner lot width (Item #2 above) in this instance is not required; a finding that has been confirmed with the Village Attorney. Therefore, there is no need to apply Section 9-14-4.4 to this petition.

New Required Variances – The proposed variation from Section 9-5B-3(D)3 to authorize the reduction of the minimum exterior side yard setback from the required 40' for an R-2 property to 22.5' remains valid. The petitioner will also need to request a variance to reduce the required Specific Setback distance 9-3-7(A) from 100' to 22.5', since the property abuts a major arterial, Illinois Route 83.

New Required Variances:

1. **A variation to reduce the required bulk regulation exterior side setback distance 9-5B-3(D) from 40' to 22.5', and;**
2. **A variation to reduce the required Specific Setback distance 9-3-7(A) from 100' to 22.5'.**

In accordance with Section 9-14-4.4, both of the above variations can be authorized.

Mandatory Turnaround –Due to high daily traffic volumes at the intersection of Midway Drive and Illinois Route 83, which are approximately 47,300 average daily traffic counts (ADTs) according to IDOT, Staff recommended that the applicant install a driveway turnaround on the subject property to aid with entering and exiting the Midway Drive right-of-way. The Plan Commission discussed Staff's recommendation and agreed that the turnaround be installed, but further stated that it should be listed as a condition of approval for the petition. The turnaround is now listed as a condition in the sample motion at the end of this Staff Report.



### **Staff Recommendation**

Staff supports the requested variances to reduce the required exterior side yard setback to 22.5'. The applicant's proposal for a single family home meets the intended use of the R-2 zoning district. The expected construction would be a welcomed addition to an otherwise vacant and unused lot.

Staff supports the requested variances and recommends the Plan Commission approve the following sample motion:

**Based on the submitted petition and testimony provided, I move that the Plan Commission forward its findings for variances referenced in the Staff Report for PC 16-09 prepared for the August 3<sup>rd</sup>, 2016 Plan Commission meeting and recommend approval of variances from Section 9-5B-3(D) and Section 9-3-7(A) of the Village Ordinance to reduce the required exterior side yard setback to 22.5', subject to the following conditions:**

- 1. Driveway placement for the proposed single family home be placed as far west on the property per interior side yard easement allowance.**
- 2. The petitioner shall add a driveway turn around to their primary driveway to aid in accessibility to Midway Drive.**
- 3. The variances granted shall only apply to 10 Midway Drive.**
- 4. The variances granted shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval of the variance by the Village Board.**



## Village of Willowbrook

### Staff Report to the Plan Commission

**Public Hearing Date:** August 3, 2016

**Prepared By:** Tiffany Kolodziej, Administrative Intern

**Case Title:** 16-09: 10 Midway Drive Variance

**Petitioner:** 10 Midway Drive, Willowbrook, IL 60527

**Action Requested by Applicant:** Consideration of a petition for a variation from Title 9 of the Village Code to authorize a corner lot width from one hundred and five (105') feet to seventy-five (75') feet, a variation to reduce the minimum exterior side yard setback from forty (40') feet to twenty-two and one half (22.5') feet, and a variation to alter minimum lot width and depth reduction requirements to be greater than twenty five percent (25%).

**Location:** At the Northwest corner of Midway and Route 83; east of Eleanor Place

**Existing Zoning:** R-2 Single Residential District

**Existing Land Use:** Single Family Detached Residential

**Property Size:** 0.29 Acres

**Surrounding Land Use:**

	Use	Zoning
North	Single Family Residence	R-2 Single Family
South	Single Family Residence	R-2 Single Family
East	Route 83Hwy	Route 83Hwy
West	Single Family Residence	R-2 Single Family

**Documents Attached:**

1. Land Title Survey, dated 06/06/2016
2. Sample Elevations, dated 07/18/2016
3. Expected Construction Schedule, dated 07/18/2016
4. Comparable Properties, dated 07/18/2016
5. Applicant Response to Standards of Variation, dated 07/05/2016

**Necessary Action by Plan Commission:** Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.

**Staff's recommendation and a sample motion can be found on page 7**



**Site Description:**

The property is located west of Route 83 and north of Midway Drive. It is bordered by R-2 Single Family detached dwellings to the north, south, and west. East of the site is Route 83 and the Willowbrook Mobile gas station. The site has a total 0.29 acres of vacant lot space with a lot width of seventy five (75') feet alongside the north end of Midway and one hundred seventy nine and a half (179.5') feet alongside the west end of Route 83.

**FIGURE 1** (Site Location)



**FIGURE 1** shows highlighted aerial imagery of the subject property in relation to both Midway Drive and Route 83. Note that although the two parcels directly west of the lot are depicted as empty lots, site visitation proves that the construction of single family homes are nearly complete. While not all of the parcels alongside Midway and west of Eleanor Place are shown, of the six (6) parcels in this area only 10 Midway Drive remains to be developed. This property has been vacant for over five years and as **FIGURE 2** and **FIGURE 3** show, its current state is noticeably unkempt.



**FIGURE 2** (Vacant Lot 1/2)



**FIGURE 3** (Vacant Lot 2/2)



Non-Conforming Lot

Based on the reported acreage provided by DuPage county ArcGIS, the total area of the subject property is about twelve thousand five hundred (12,500) square feet. According to Section 9-5B-3 (E), maximum lot coverage is thirty percent (30%) of the total acreage. Therefore, any buildable space based on these estimated figures cannot exceed three thousand seven hundred and fifty (3,750) square feet. *While Staff had requested precise figures from the applicants, only approximate numbers have been produced.*

“Property Total Area: 12, 724 sq. feet more or less

“Proposed Buildable area: 4, 438 sq. feet”, *figures provided by applicants dated 07/19/2016*

While more precise measurements for 10 Midway Drive would be ideal, the applicants’ petition before the Plan Commission do not require any at this time. Instead, the purpose of the applicants’ petition is merely to maximize the amount of buildable space on their property. Therefore, if the property measures at approximately seventy-five (75’) feet by one hundred and fifty (150’) feet, **SEE ATTACHMENT 1**, then a rough estimation of the property’s total area is about eleven thousand two hundred and fifty (11,250) square feet. Thirty percent (30%) of which would be three thousand, three hundred and seventy five (3,375) square feet. This is a rough estimation of the red outline located on the Land Title Survey.

**Development Proposal**

The applicants, Tony and Lisa Wong, wish to relocate to Willowbrook from their current residency in Chicago. After obtaining the rights to 10 Midway Drive, they plan to build a two-story, detached, single family home for their personal residency. While the applicants are capable of building on the subject property as is, the subject property’s current setback requirements are less than ideal for their desired floorplans. Coupled with the newer projects in the subject property’s immediate vicinity, larger homes are becoming a trend within this neighborhood.

Required Setbacks

Current setback requirements for 10 Midway Drive are as follows:

**FIGURE 4** (9-5B-3 (D) BULK REGULATIONS)

YARD	SETBACK REQUIREMENT
Front	Forty (40’) feet
Interior Side	Eight and a Half (8.5’) feet
Exterior Side	Forty (40’) feet
Rear	Thirty (30’) feet



Based on these setback requirements, the applicants are limited to a floor plan no larger than ninety-five (95') feet of structure length and twenty-six and a half (26.5') feet of structure width. To build a home on this lot without any variance, the applicants are limited to a home with a building footprint of two thousand and five hundred (2,500) square feet. When factoring in eight hundred (800) square feet of garage space, livable square footage is reduced even further to one thousand and seven hundred (1,700) square feet.

Therefore, in order to maximize buildable space, the applicants and Staff propose that a variation to the exterior side yard be made.

**FIGURE 5 (9-5B-3 (D) BULK REGULATIONS with VARIANCE for 10 Midway Drive)**

YARD	SETBACK REQUIREMENT
Front	Forty (40') feet
Interior Side	Eight and One Half (8.5') feet
<b>Exterior Side</b>	<b>Twenty-Two and a Half (22.5') feet</b>
Rear	Thirty (30') feet

In **FIGURE 5**, the table shows that only the exterior side yard setback for 10 Midway Drive will be varied within the applicants' petition. It shows that instead of the required forty (40') foot setback, the variation would reduce the exterior side yard setback to twenty-two and a half (22.5') feet. Should this variation be accepted, the applicants would expand their buildable structure width from twenty-six and a half (26.5') feet to forty-four (44') feet. Ultimately, this variance would give the applicants a little over one thousand and six hundred (1,600) additional square footage to construct their new home. **SEE ATTACHMENT 1.**

Elevations & Construction

While not in any official format, the applicants have provided the following sample elevations to grant some insight to the intended design of their subsequent home. **SEE ATTACHMENT 2.** The applicants have discussed with staff that their proposed building materials will include cement fiber board siding, brick, or a combination of the two. The applicants have also shared with staff their expected construction schedule. **SEE ATTACHMENT 3.**

Garage Space

The last notable item of the applicants' development proposal includes a mention of their intended attached garage space. Per 9-12-4(D), the applicants are allowed a maximum area of eight hundred (800) square feet of attached garage space. The applicants plan to use this allotted space by constructing two separate garages. One will serve as their principle garage, an attached structure that will measure twenty-by-twenty two (20' x 22') feet. The second will be at the back of their home, another attached structure which will measure thirty-by-twenty (30' x 20') feet.

**Summary of Variances Requested**

The purpose of this public hearing is to consider a petition requesting the approval of variations for a vacant corner lot. When petitioning to reduce the exterior side yard setback for 10 Midway Drive, two additional variations must be considered by the Plan Commission. All three of the variations referred to in this staff report, therefore, are as follows:



1. Variation from section 9-5B-3(D) 3 to authorize a minimum exterior side yard of forty (40') feet to twenty-two and one half (22.5') feet.
2. Variation from section 9-5B-3(B)2 to authorize reduction of a single family detached dwelling on a corner lot width from one hundred and five (105') feet to seventy-five (75') feet.
3. Variation from section 9-14-4.4 to authorize an alteration of minimum lot width and lot depth reduction requirements to be greater than twenty five percent (25%).

## Staff Analysis

### Building Use Breakdown

Collaborating with the aid of the applicants, Staff has determined that the seventeen and a half (17.5') foot reduction from forty (40') feet to twenty-two and a half (22.5') feet will be an acceptable variance for the applicants' desired floor plans. Based on comparable properties in the immediate vicinity of the subject property, **SEE ATTACHMENT 4**, the size demand of more modern construction will warrant the proposed expansion to 10 Midway Drive's buildable area.

While it will benefit the Village to fill an otherwise vacant lot, there are two outlining concerns that should be discussed prior to the Plan Commission's recommendation:

#### 1) Proximity to Route 83

According to section 9-3-7, any property abutting certain roadways within Willowbrook are subject to a setback measuring at one hundred (100') feet. While this includes Route 83, the subject property is currently non-conforming. It is important to note that the property directly south of the subject property, 9 Midway Drive, is also non-conforming. As you will see in **ATTACHMENT 4**, lot # 4 currently contains a principle structure that has an exterior side yard setback at approximately thirty (30') feet. Imagery provided in **FIGURE 7** shows the landscaping separation between 10 Midway drive and Route 83. This is nearly a mirror image when comparing 9 Midway Drive.

-Staff **suggests** that effort be made by the property owners to maintain and/or create a landscaping barrier/screen between Route 83 and the east side of 10 Midway Drive.

#### 2) Traffic at the Intersection between Midway Drive and Route 83

Throughout the day, traffic at this intersection can be rather high in volume. While the property owners have deliberately chosen this location, the property owners are encouraged to make measures to increase safety and efficiency.

-Staff will **require** that the expected placement of the driveway, accessible by Midway Drive, be positioned as far west on the property per interior side yard easement allowance.

-Staff **highly recommends** that the property owners add a turn around to their primary driveway. This will aid accessibility to Midway Drive and an example turn around can be seen in **FIGURE 6**.

**FIGURE 6** (Recommended Example Turn Around)



**FIGURE 7** (Route 83 Current Landscaping)



### Standards

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variations. The applicant's responses are provided in **ATTACHMENT 5**. A list of the variance standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Finding:** The subject property is currently non-conforming. The current exterior side yard requirement only allows a maximum width of twenty-six and a half (26.5') feet for construction of a single family residence. The variance will maximize buildable width to forty-four (44') feet.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Finding:** The proposed setback will allow for greater buildable space for the desired footprint of a detached single family home. This will align nicely with the newly constructed homes directly to the west of the subject property. Current minimum side yard requirements without the variance would otherwise limit the size and layout of the proposed single family residence.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Finding:** The applicant confirms the hardship was not created by any person presently having a proprietary interest in the premise.



- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Finding:** The proposed variation and proposed home to be built will add value to the community. It will add an additional single family residence to the R-2 district and it will promote development on a property that has otherwise been vacant and unkempt.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Finding:** The proposed variation and the subsequent single family home will not decrease the supply of natural light and air to the adjacent properties to the north, west, south or east.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

**Finding:** The proposed variation is in keeping with the essential character of the locality by maintaining conformity to the width of the newly constructed homes within the neighborhood.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

**Finding:** The proposed variation allows a less than ideal property to have a home built where the applicants can live in and become residents of the Village of Willowbrook.

### **Staff Recommendation**

Staff supports to authorize a variation to reduce the minimum exterior side yard setback from forty (40') feet to twenty-two and a half (22.5') feet, to authorize a variation to the minimum corner lot width from one hundred and five (105') feet to seventy-five (75') feet, and to authorize a variation to alter minimum lot width and depth reduction requirements to be greater than twenty-five percent (25%). The site, 10 Midway Drive, and the applicants' proposed single family home meets the intended use of the R-2 zoning district. The expected construction would be a welcomed addition to an otherwise vacant and unused lot.

Staff supports the requested variances and recommends the Plan Commission approve the following sample motion:

**Based on the submitted petition and testimony provided, the variance for setback alterations at 10 Midway Drive meets the standards for a variance as outlined in this staff report dated for the August 3<sup>rd</sup>, 2016 Plan Commission meeting and as deliberated by the Plan Commission; therefore I move that the Plan Commission recommend approval of PC 16-09 subject to the following conditions:**

1. **Driveway placement for the proposed single family home be placed as far west on the property per interior side yard easement allowance.**
2. **The variances granted only applies to 10 Midway Drive.**
3. **The variances shall be null and void if construction of the proposed use is not commenced and a certificate of occupancy is not granted within eighteen (18) months of the date of any approval of the variance by the Village Board.**

# ALTA/ACSM LAND TITLE SURVEY

PROFESSIONAL LAND SURVEYING, INC.

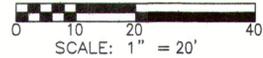
3080 OGDEN AVENUE SUITE 107

LISLE, ILLINOIS 60532

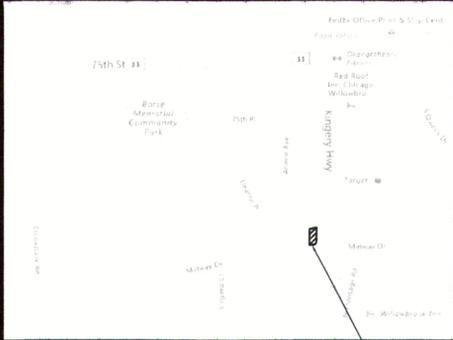
PHONE: 630-778-1757

PROF. DESIGN FIRM # 184-004196

E-MAIL: info@plslisle.com



PARCEL INDEX NUMBER  
09-26-305-018



SITE

## VICINITY MAP

~ NO SCALE ~

## SYMBOL LEGEND

- |   |                                     |
|---|-------------------------------------|
| ⊙ - MANHOLE                                 | -OHW- OVERHEAD WIRES                |
| ○ - CATCHBASIN                              | -G- UNDERGROUND GAS LINE            |
| □ - INLET                                   | ▭ - CONCRETE SURFACE                |
| ⊗ - WATER VALVE<br>(UNLESS OTHERWISE NOTED) | ▣ - REFLECTOR POST                  |
| ⊕ - HYDRANT                                 | △ - PETROLEUM PIPELINE WITNESS POST |
| ⊕ - VALVE & VAULT                           | *** - FENCE LINE                    |
| ⊕ - GAS VALVE                               | ⊙ - NICOR GAS VERTICAL PIPE         |
| ⊕ - UTILITY POLE W/GUY                      | ⊕ - TRAFFIC SIGNAL                  |
| ⊕ - POWER POLE                              | ⊕ - HANDHOLE                        |
| ⊕ - STREET SIGN                             | ⊕ - END SECTION                     |

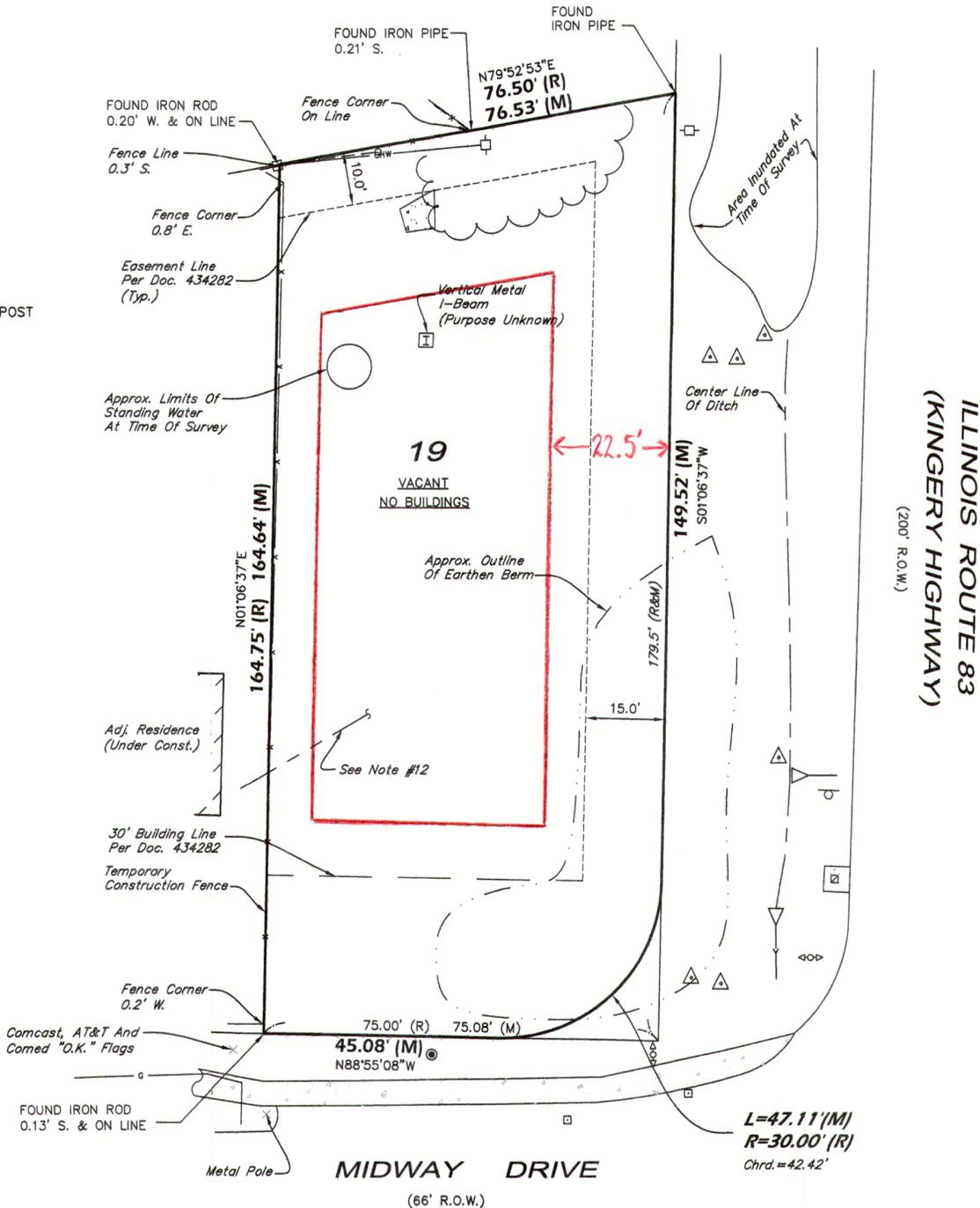
## SURVEYOR'S NOTES

- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD MARKS ON THE GROUND, AND ABOVE GROUND OBSERVABLE EVIDENCE ONLY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND REPORT ANY DIFFERENCE IMMEDIATELY.
- BEARINGS SHOWN HEREON ARE ASSUMED.
- BUILDING LINES ARE SHOWN ONLY WHERE THEY ARE SO RECORDED ON THE MAPS. REFER TO YOUR DEED OR ABSTRACT FOR ADDITIONAL ZONING RESTRICTIONS
- THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL.
- EASEMENTS AND SERVITUDES SHOWN HEREON ARE BASED UPON A TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE COMPANY IDENTIFIED AS NUMBER 16WNW409347WH WITH AN EFFECTIVE DATE OF MAY 2, 2016, A REVIEW OF WHICH INDICATES THAT:  
ITEMS 1-7, A, I, K, M, N, L, J, H, B, C, D, G, O, P, Q & S ARE NOT SURVEY RELATED.  
ITEMS E AND F PERTAIN TO A BUILDING LINE AND EASEMENT PER THE RECORDED PLAT OF SUBDIVISION AND ARE SHOWN HEREON.
- (R) = RECORD DATA  
(M) = MEASURED DATA
- AREA OF SURVEY= 12,724 SQ. FT., MORE OR LESS.
- PROPERTY DESCRIBED HEREON LIES WITHIN ZONE X AS DELINEATED ON THE NATIONAL FLOOD INSURANCE RATE MAP 17043C0909H WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004.
- ZONING INFORMATION WAS NOT PROVIDED TO SURVEYOR AND THEREFORE IS NOT SHOWN ON THE FACE OF THIS PLAT.
- NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING
- ACCORDING TO EYEWITNESS ACCOUNTS FROM NEIGHBOR TO THE WEST OF SUBJECT PROPERTY, THERE IS A 6" METAL PIPE THAT RUNS ON ANGLE THROUGH THE SUBJECT PROPERTY. THE APPROXIMATE LOCATION, BASED ON VERBAL DESCRIPTION, IS SHOWN HEREON. WITNESS AND THE VILLAGE OF WILLOWBROOK WERE UNABLE TO DETERMINE THE ORIGIN AND THE TERMINUS OF SAID 6" PIPE.
- AN ATTEMPT WAS MADE, BY A VISIT TO THE VILLAGE AND ALSO A PHONE CALL, REQUESTING UTILITY ATLAS/MAPS FOR SUBJECT PROPERTY. BOTH THE VISIT AND PHONE CALL WERE UNSUCCESSFUL IN OBTAINING ATLAS/MAP. UTILITIES PERTAINING TO SUBJECT PROPERTY ARE BY ABOVE GROUND OBSERVATION ONLY.

## LEGAL DESCRIPTION

LOT 19 IN BLOCK 23 IN TRI STATE VILLAGE UNIT NUMBER THREE, BEING A SUBDIVISION OF THE EAST THREE-FOURTHS OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1942 AS DOCUMENT 434282, IN DUPAGE COUNTY, ILLINOIS.

PREPARED FOR: LEONE  
ADDRESS: 10 MIDWAY DRIVE WILLOWBROOK, IL  
BOOK & PG: 160/19 DATE: 06-06-16 JOB NO: 1612707  
DRAWN BY: JRP CHECK BY:  
REVISED:



## SURVEYOR'S CERTIFICATE

CERTIFIED TO:  
TONY & LISA WONG

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a) & 11(b) OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JUNE 2, 2016.

DATED THIS 6TH DAY OF JUNE, 2016.



IPLS No. 3483  
MY LICENSE EXPIRES 11/30/2016

**Attachment 2: Sample Elevations**  
07/18/2016



**Estimated Construction Schedule**  
**10 Midway Drive, Willowbrook, IL 60527**

Submittal of Variance Application to Village of Willowbrook	7/5/16
Village Staff Initial Review Comment Letter	7/12/16
Notices sent to newspaper	7/13/16
Notices Published in newspaper and sent to adjacent owners	7/15/16
Notification signs to be posted on the property	7/18/16
Applicant resubmits plans (if necessary)	7/20/16
Village Staff report published to Willowbrook website	7/29/16
Village Plan Commission (Discussion & Approval)	8/3/16
Village Board (Receive)	8/8/16
Village Board (Approval)	8/22/16
Home Plans completed by Architect	9/9/2016
Request for proposals from General Contractors	9/12/16
Proposals back from General Contractors	9/26/16
General Contractor Chosen	9/30/16
Permitting Complete	10/24/16
Construction Begins	11/2/16
Home Completion	8/30/17

**Attachment 4: Comparable Properties**  
07/18/2016

**1** 7635 Eleanor Place

**3** 13 Midway Drive

**2** 12 Midway Drive

**4** 9 Midway Drive



July 5, 2016,

3715 S Wallace St  
Chicago, IL 60609

The Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

RE: 10 Midway Drive Response to Standards for Variation

To Whom it May Concern:

We are seeking relief from the minimum exterior side yard requirements for 10 Midway Drive, Willowbrook, IL 60527.

The village code requires an exterior side yard of 40 feet. Currently the lot is non-conforming. In speaking with the previous planning engineer, we were informed that the lot is part of the Tri-State Village Unit 3 Subdivision, and most likely platted by the County before annexation to the Village of Willowbrook. The lot width of 10 Midway does not meet Willowbrook's minimum lot widths for single family detached dwellings on a corner lot, resulting in a small "buildable area" given the current exterior side yard requirements.

In researching the history of 10 Midway, we discovered that a home had been on the lot some years ago and the setback at the time of platting by the County had an exterior side yard requirement of 15 feet. Given the exterior side of 10 Midway is adjacent to Route 83, we are asking the exterior side yard requirement be changed from 40 feet to 22.5 feet to allow for building a single family detached dwelling that would be similar in size and conform with other newer constructed homes in the neighborhood.

10 Midway has been a vacant lot for many years and by allowing the variance, it can finally be developed with a home that would be a nice addition to the Village of Willowbrook.

Below please find the response to the standards for variation on the lot located at 10 Midway Drive, Willowbrook, IL 60527.

(A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

The subject property is currently non-conforming. The current exterior side yard requirement only allows a maximum width of 26.5 feet for a home to be built. The variance would provide a maximum buildable width of 44 feet, allowing the construction of a single family detached dwelling that is more conforming to other newer constructed homes in the neighborhood.

(B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

By allowing the variation, a home more in line to the rest of the homes in the neighborhood can be built. Current minimum side yard requirements would only allow a very narrow and non-conforming home to be built, causing the home to stand out in the community and create a possible eye sore.

(C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

The applicant confirms the hardship was not created by any person presently having a proprietary interest in the premise.

(D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

The proposed variation and subsequent home to be built will add value to the community. Currently, the lot has been vacant for more than 5 years. Granting a variation would allow the lot to be improved and create another home to be added to the neighborhood.

(E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

The proposed variation and subsequent single family detached dwelling to be built will not decrease the supply of natural light and air to the adjacent properties to the North, West, South, or East as the variance will allow the dwelling footprint to be more central to the property boundaries.

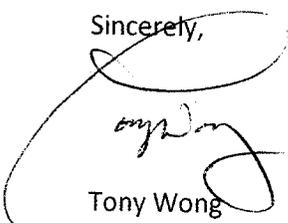
(F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977)

The proposed variation is in keeping with the essential character of the locality by maintaining conformity to the width of other newer constructed homes that are existing in the neighborhood.

(G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

The proposed variation allows a less than ideal lot to have a home built where my family and I can live and become productive members of this Village.

Sincerely,



Tony Wong



## Village of Willowbrook Staff Report to the Plan Commission

<b>Public Hearing Date:</b>	August 17, 2016 (Special Meeting)															
<b>Prepared By:</b>	Anna Franco, Planning Consultant															
<b>Case Title:</b>	PC 16-16: 7501-7601 Quincy, ROC PUD Amendment															
<b>Petitioner:</b>	ROC Willowbrook LLC															
<b>Action Requested by Applicant:</b>	Consideration of a petition to amend a special use permit for a Planned Unit Development (PUD) to allow the addition of a second story to storage facility Building A, and to consider alternate façade and building materials for both storage facility Building A and B, in the M-1 Zoning District.															
<b>Location:</b>	East side of Quincy between Willowbrook Center Parkway (75th Street extended) on the north and Executive Drive on the south.															
<b>PINs:</b>	09-28-403-028 and 09-28-403-027															
<b>Existing Zoning:</b>	M-1															
<b>Existing Land Use:</b>	The north property is currently improved with a multi-use industrial building. The south property is vacant.															
<b>Property Size:</b>	15.434 acres															
<b>Surrounding Land Use:</b>	<table border="1"><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>Vacant property north of 75<sup>th</sup></td><td>M-1</td></tr><tr><td>South</td><td>Stone Wheel</td><td>M-1</td></tr><tr><td>East</td><td>Multi-Tenant Industrial</td><td>M-1 &amp; OR</td></tr><tr><td>West</td><td>5 Lots/Buildings</td><td>M-1 &amp; OR</td></tr></tbody></table>		Use	Zoning	North	Vacant property north of 75 <sup>th</sup>	M-1	South	Stone Wheel	M-1	East	Multi-Tenant Industrial	M-1 & OR	West	5 Lots/Buildings	M-1 & OR
	Use	Zoning														
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South	Stone Wheel	M-1														
East	Multi-Tenant Industrial	M-1 & OR														
West	5 Lots/Buildings	M-1 & OR														
<b>Documents Attached:</b>	<ol style="list-style-type: none"><li>1. Revised Building "A" Elevations, dated 10/08/15 (8 Sheets)</li><li>2. Building "B" Elevations, dated 07/18/16 (3 Sheets)</li><li>3. InsulTech Cut Sheet, no date (4 Sheets)</li><li>4. Construction Schedule, no date (1 Sheet)</li><li>5. Approved PUD Ordinance 16-O-03, dated 01/11/16 (64 Sheets)</li></ol>															
<b>Necessary Action by Plan Commission:</b>	Open Public Hearing, accept testimony, and approve a recommendation to the Village Board.  <b>A sample motion can be found on page 10.</b>															



## Section 1: Site Description

The subject property is located on the east side of Quincy Street between 75th Street/Willowbrook Centre Parkway on the north and Executive Drive on the south. The site is currently improved with one (1) 94,976 square foot multi-tenant building at the north end of the site with site access from Quincy. Located south of the existing building is a large undeveloped grassed and treed area and about two thirds of a large pond, which provides detention volume for these properties, as well as properties in the Plaza Court subdivision to the east.

Exhibit 1 Site Location



Aerial Source: DuPage County, 2014 Imagery.

## Section 2: Development Request

The applicant is requesting an amendment to their existing PUD approval (approved December 14, 2015) to allow the addition of a second story to storage facility Building “A”, increasing the height from twenty-five (25) feet to thirty-three (33) feet and to consider alternate façade and building materials for both storage facility Building “A” and “B”, in the M-1 Zoning District. As the building footprint is unchanged from the previously approved PUD & Re-Subdivision, all site engineering previously approved remains unchanged.

The applicant has submitted this petition because a greater than five percent (5%) gross floor area and building height is created by the requested change and therefore constitutes a “Major” change to a PUD per Section 9-13-4(C)6. While minor changes to a PUD only require administrative approval, major changes require a new application for a PUD.

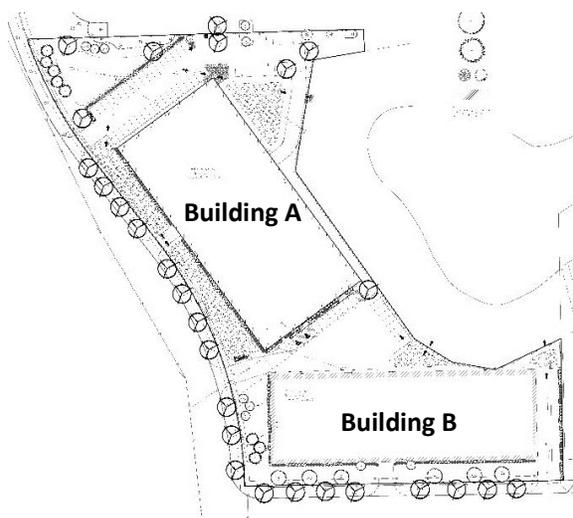


## PUD History

Approval - On December 14, 2015, the Village Board approved a special use for a Planned Unit Development (PUD) and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD for two (2) storage buildings along Quincy Street and Executive Drive. One of the new buildings will parallel and front Quincy, while the southern building will parallel Executive and have frontage on both Quincy and Executive Drive.

- *November 4, 2015* - Plan Commission Discussion
- *December 2, 2015* - Plan Commission Recommendation for Approval
- *December 14, 2015* - Village Board Approval

About the Approved PUD - The new northern building, Building "A", will be for "drive-in" general goods storage and was originally approved to contain 55,656, square feet. Access to this building will be possible via a shared access point through the existing parking lot of the building to the north and full access drives on both the north and south sides of the building. Patrons wishing to purchase a storage space will enter the parking lot on the south side of the building to access the offices area, which will be in the southwest corner of the north building. Patrons wishing to store their goods within this building will enter the building in their cars from the north side of the building which provides access to a garage door located on the east side of the building. Once they are finished, they will exit the building through an exit-only garage door to Quincy Street located midpoint in the building.



The second building, Building "B" will be used for the storage of automobiles and will contain 44,410 square feet. Access to the building will be via Quincy Street, located between the two (2) buildings. Patrons will be able to drive into the building on the north, and out of the building on the south side to Executive Drive, where the driveway aligns with the access drive to the business across the street. The east side of this building also has a "fire lane" emergency only access drive on the east side of the building.

## Section 3: Staff Analysis

### Building "A" Second Story

The petitioner is seeking an amendment to their PUD for the addition of a second story to Building "A" that will increase the total height of the building from 25' to 33'. The second story will consist of 386 additional storage units of varying sizes and will almost a mirror the layout of the approved first floor plan of the building. There will therefore be a total of 764 storage units in Building "A". As stated later in "Bulk Requirements", the height of the building is allowed per the M-1 Zoning district regulations.



**Elevation & Façade Improvements**

In addition to building height, the petitioner is seeking an amendment to their PUD to allow alternate masonry material to be allowed in place of pre-cast concrete. Due to the extreme lead-time for precast panels, the petitioner is asking that InsulTech – insulated concrete masonry system be allowed as an alternate material for both Building A and Building B. The petitioner has presented these material choices and colors to Village Staff prior to the public hearing and has received preliminary approval for their use.

New colored elevation drawings have been provided for Building “A” in *Attachments (1) and (2)*. As shown, the masonry materials will display in an alternating patterns of two (2) colors to symbolize the two (2) different stories of the building.

The applicant has not updated the materials and notes on the plans for Building “B”. The submittal of the updated plans is listed as a condition in the sample motion of this report.

**Parking Analysis**

The proposed second story for the north Building “A” will double the square footage of the building. Due to the increase in square footage, the parking requirement has been recalculated. The Zoning Ordinance does not provide a specific parking requirement for a "self-storage" use, so Staff has applied the closest use defined in the ordinance, which is "Warehouse, Storage, Wholesale and Mail Order Establishments", which requires the greater of 1 space for every 1.5 Employees, or 4 spaces plus 1 additional space for every 1,500 square feet over 4,500 square feet. Please reference *Table 1* below for a comparison for the parking requirement calculated for the previously approved PUD and the parking requirement with the proposed changes.

**Table 1**

Phase	Building	Square Footage	Required	Proposed
Approved PUD	Building “A”	55,656	38 spaces	71 spaces
	Building “B”	44,410	31 spaces	
	Total	100,066	69 spaces	
Proposed PUD Amendment	Building “A”	111,312	75 spaces	
	Building “B”	44,410	31 spaces	
	Total	155,722	106 spaces	

Approximately 55,600 square feet of storage space would be added to Building “A”, increasing the required parking for the Building “A” from 38 spaces to 75 spaces, and increasing the required parking for the entire site from 69 spaces to 106 spaces. The relief that would need to be granted would be substantial, but because patrons use this site primarily to either store a car in the south building or to arrive in their car, drive into the building and unload items into a storage locker in the north building, there is no real need to provide code compliant parking space for this use.

However, if the property were used for a future use, this parking may not be adequate. Conditions in the ordinance approved in December 2015, restrict any other use other than a self-storage facility without amending the PUD, given the unique characteristics of this use. A major changes to the PUD would therefore be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.



If this petition is approved, a waiver would need to be added to the ordinance approving this PUD amendment from Section 9-10-5(K) of the Village code.

**Note:** According to information provided by Staff in the November 4, 2015 Staff Report to the Plan Commission for the original PUD approval, the existing building north of the subject property (also owned by ROC) is deficient thirty-two (32) parking spaces. To account for the deficiency, a parking easement was created to allow use of the north fifty-three (53) parking spaces on the subject property. This item should be considered when analyzing parking on the subject property.

### Changed Bulk Regulations

All previously approved bulk regulations (building setbacks, pavement setbacks, lot coverage, foundation landscaping, etc) will remain unchanged with the exception of building height and maximum floor area ratio, which remain in conformance with the code.

1. **Building Height.** The applicant is proposing to increase the building height of Building "A" from 25' (approved in December 2015) to 33'. The maximum building height in the M-1 Zoning District is 40', so no relief is necessary.
2. **Maximum Floor Area Ratio.** The maximum floor area ratio (FAR) for the approved PUD was approximately 0.33. With the proposed addition of the second floor for Building "A", the new FAR would be approximate 0.52. The maximum FAR in the M-1 Zoning District is 0.6, so no relief is necessary.

### Tri-State Comments

The Tri-State Fire Protection District Fire Marshall/Inspector does not have any issues with the addition of a second story for Building "A."

### Construction Schedule

Following the issuance of building permits, the projected timeline for the construction of the buildings is seven (7) to eight (8) months based on the construction schedule submitted by the applicant in *Attachment (4)*.

## Section 5: Special Use and Planned Development Standards

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the standards is provided below, along with a "finding" that can be referenced in the Plan Commission's motion. Please note that the "findings" assume acceptance of the required changes and proposed conditions in this report. Modifying a required change or proposed condition may require changing a listed finding.

### Special Use Standards

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

**Finding:** *Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.*



- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

**Finding:** *The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.*

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

**Finding:** *This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.*

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

**Finding:** *The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.*

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Finding:** *Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Give the unique characteristics of this use, a major changes to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.*

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is isolated, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Finding:** *Except as modified in the Ordinance granting the amendment and Ordinance 16-O-03, the project will comply with the applicable regulations of the M-1 Zoning District.*

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

**Finding:** *The Village Board has not denied a special use permit on this property in the last year.*



## Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

**Finding:** *If designed with the conditions included in the approving Ordinance granting the amendment and in Section 8 of Ordinance 16-O-03, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy.*

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

**Finding:** *The proposed development contains 15.434 acres.*

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

**Finding:** *Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive Drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overlay commercialized appearance, which may have a negative influence on surrounding industrial properties.*

*The proposed increase in building height of Building "A" from 25' to 33' will not have detrimental influence upon surrounding properties.*

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

**Finding:** *Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since changed to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.*

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

**Finding:** *The Building "A" is two stories and Building "B" is one story. There is a 32.74' separation between the buildings.*



- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

**Finding:** *The proposed project and amendment meets this requirement.*

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

**Finding:** *Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allow access and parking to 53 parking spaces on Lot 1.*

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Finding:** *Traffic is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.*

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

**Finding:** *While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.*

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

**Finding:** *No variations to the Willowbrook Subdivision regulations are required.*

- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

**Finding:** *The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the conditions outlined in the ordinance granting the PUD amendment and Section 8 of Ordinance 16-O-03.*

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other



provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

**Finding:** *Minor exception are incorporate into the PUD as identified in the staff report prepared for the August 17, 2016 Plan Commission meeting, however, the development does comply with standards A, B, C, D, H, I and K as required.*

#### Planned Unit Development Findings

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

**Finding:** *The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 53 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.*

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

**Finding:** *The PUD meets the standards as identified above.*

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

**Finding:** *The PUD includes exceptions as identified in the Staff Report for the August 17, 2016 Plan Commission meeting*

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

**Finding:** *The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.*

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

**Finding:** *The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenant" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.*



- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well being of the village.

***Finding:** Zoning Ordinance requirements and will bring new people to the area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.*

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

***Finding:** The plan and amendment to the PUD conforms to the spirit and intent of the Village's current planning objective if developed as recommended by the Plan Commission.*

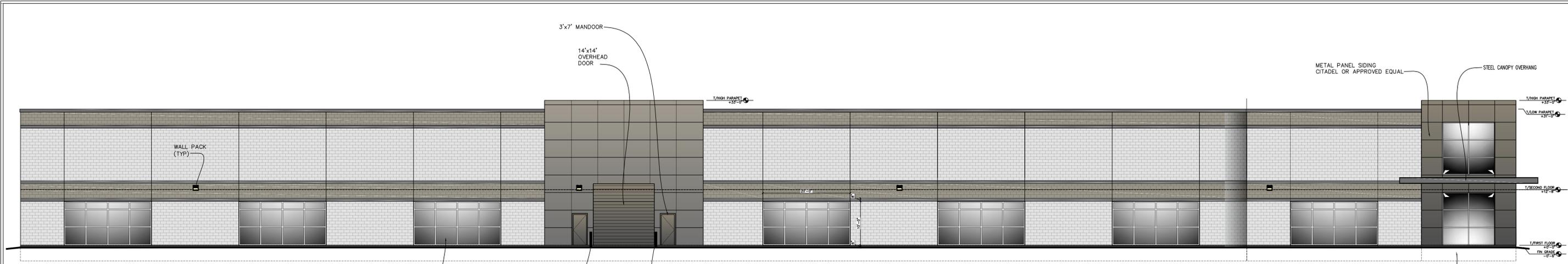
### **Section 6: Sample Motion**

The proposed changes to the existing PUD meet all bulk requirements for the M-1 District, though the addition of a second story to Building "A" requires substantial relief from the parking requirement for the subject property. However, because patrons use this site primarily to either store a car or unload items into a storage locker, the need to provide code compliant parking space for this use may not be necessary. The proposed building façade materials have already been presented to Staff prior to the public hearing, and have received preliminary approval, but should also be considered by the Plan Commission

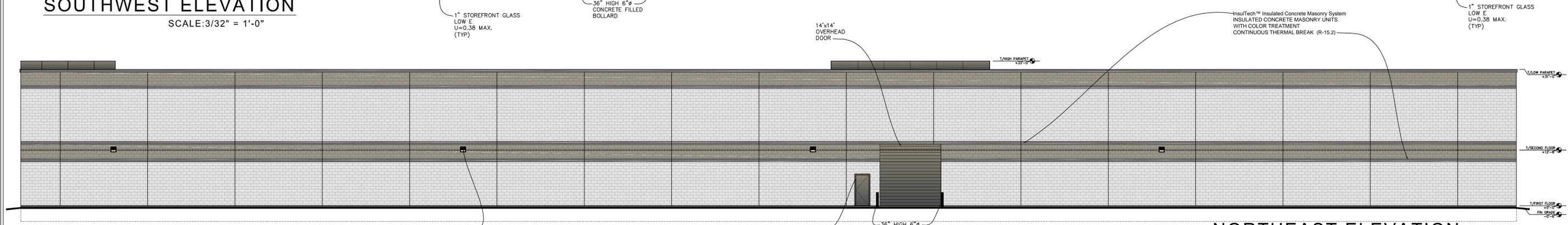
If the Plan Commission wishes to forward a positive recommendation to the Village Board, the following sample motion is provided:

**Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings for a Special Use and Planned Unit Development referenced in the Staff Report for PC 16-16 prepared for the August 17, 2016 meeting (except as the Plan Commission may modify during the meeting) and recommend approval of an amendment to the existing special use for a Planned Unit Development to allow the addition of a second story to storage facility Building "A", and alternate façade and building materials for both storage facility Building "A" and "B", subject to the following conditions:**

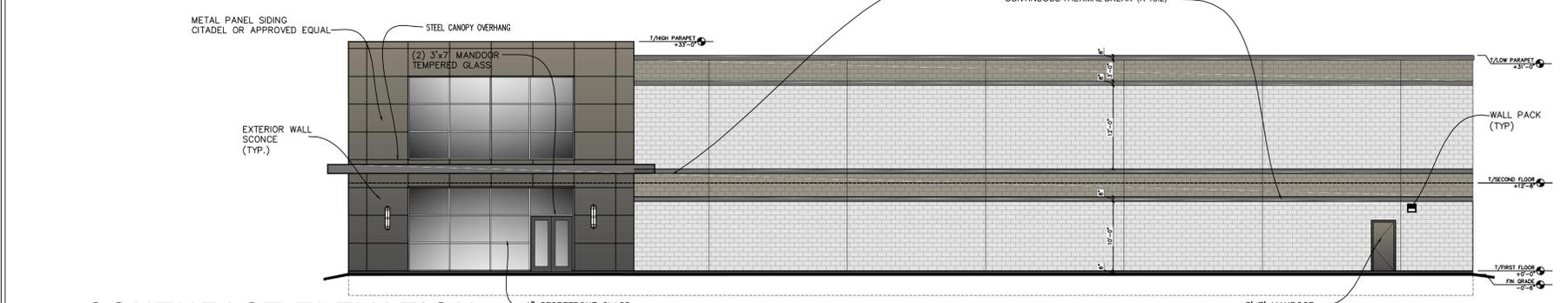
- 1. The petitioner shall submit updated building plans for Building "B" that show the updated InsulTech Insulated Concrete building material.**
- 2. That the approval be in substantial compliance with the list of "Documents Attached" for PC 16-16 included in the August 17, 2016 Staff Report for PC 16-16, except as may be required for compliance with the requirements of the Village Engineer or Building Inspector as part of the Building Permit review process.**
- 3. Approved uses on Lot 1 (subject property) are restricted to self-storage uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.**
- 4. No building permits shall be issued unless final plan documents provide details that show building material colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator.**



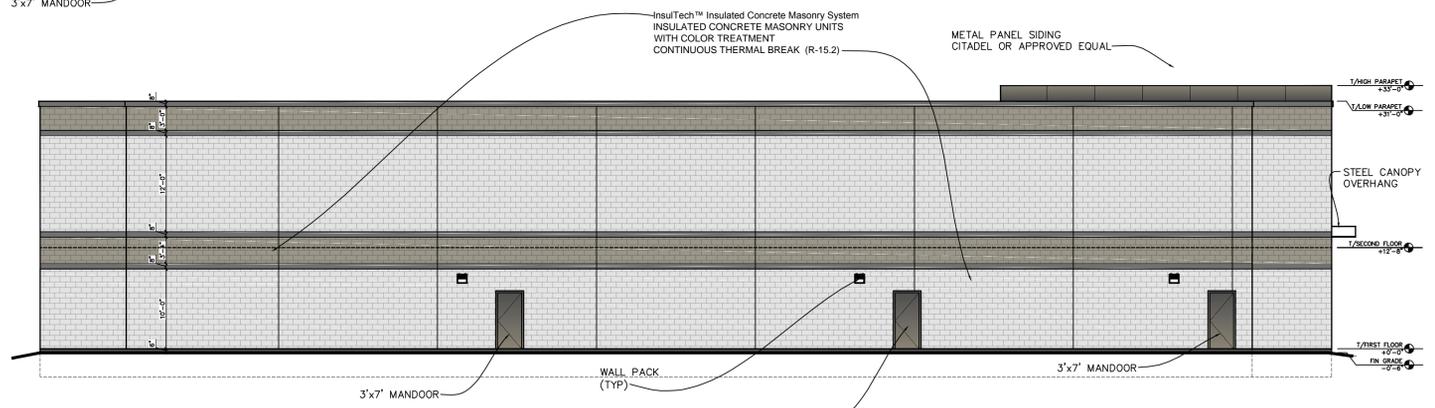
**SOUTHWEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTHEAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**SOUTHEAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**NORTHWEST ELEVATION**  
SCALE: 3/32" = 1'-0"

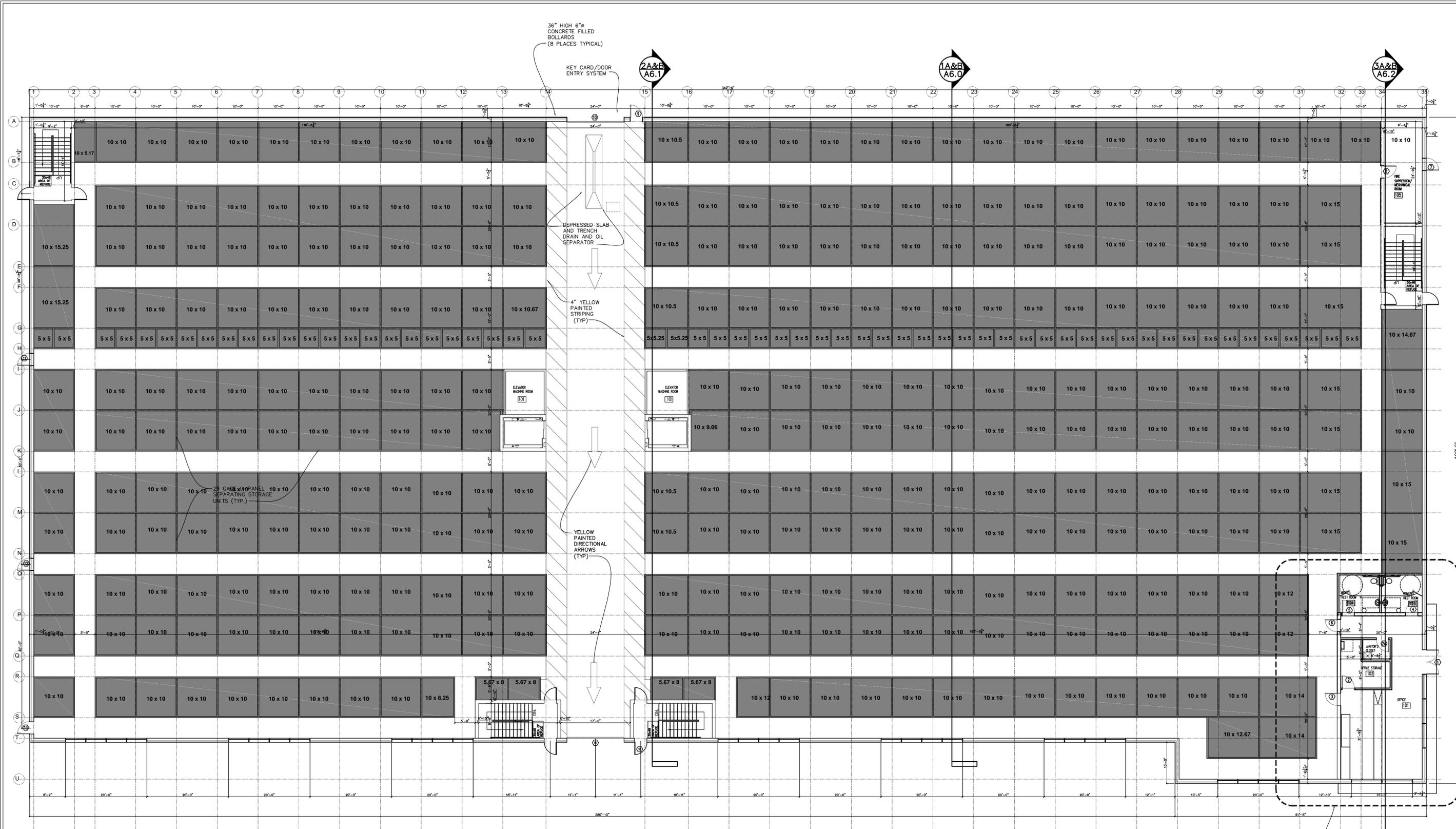


REV	DATE	DESCRIPTION
0	10/8/15	CONCEPT

SCALE	AS NOTED	PROJECT NUMBER
		14246

7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS



# FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



PROPOSED FLOOR PLAN	DESCRIPTION	DATE	REV	SCALE	PROJECT NUMBER
7601 Quincy Street, Bldg A	CONCEPT	10/8/15	0	AS NOTED	14249
WILLOWBROOK, ILLINOIS					

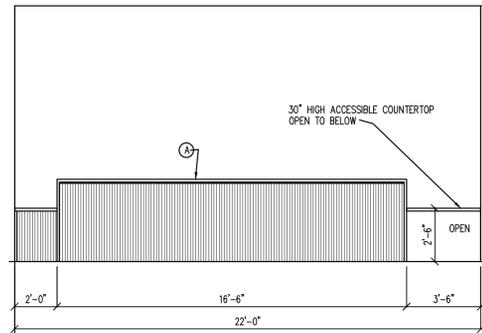
Page A2.0

**OFFICE LEGEND**

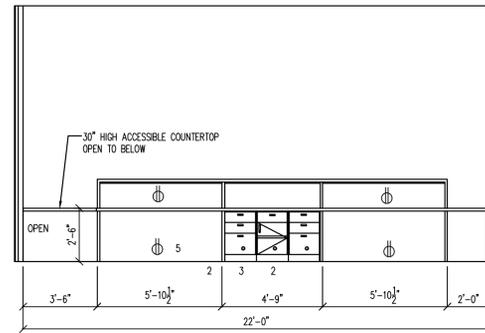
- ① LATERAL FILE, 2 DRAWERS 28"Hx42"Wx24"D
- ② FILE & 2 DRAWERS 28"Hx 19 1/2"W x 22"D
- ③ DRAWER & 1-DOOR CABINET 28"Hx 18"W x 22"D
- ④ 2-DRAWER & 2-DOOR CABINET 28"Hx 30"W x 22"D
- ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
- ⑥ 4" BACKSPLASH
- ⑦ SUSPENDED ACCOUSTIC CEILING TILE

**FINISH LEGEND**

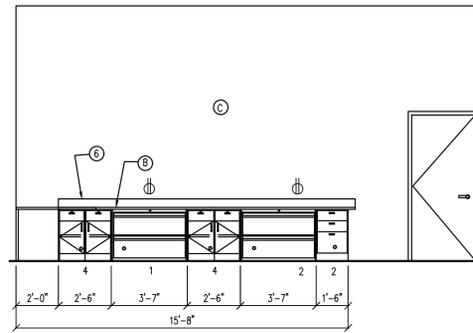
- ① PLASTIC LAMINATE
- ② SOLID SURFACE COUNTERTOP
- ③ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE.
- ④ TOW KICK / DETAIL - BLACK FINISH
- ⑤ EXISTING CEILING GRID W/ NEW CEILING TILES
- ⑥ SALVAGED CEILING GRID W/ NEW CEILING TILES
- ⑦ SIGNAGE - BY OTHERS



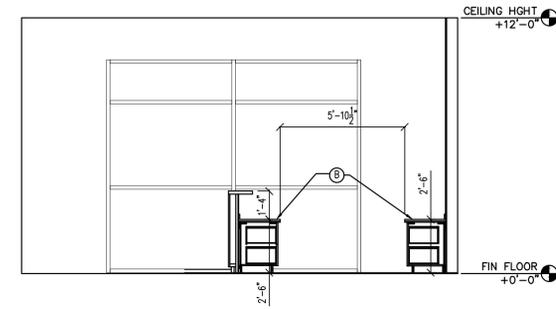
① FRONT COUNTER ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



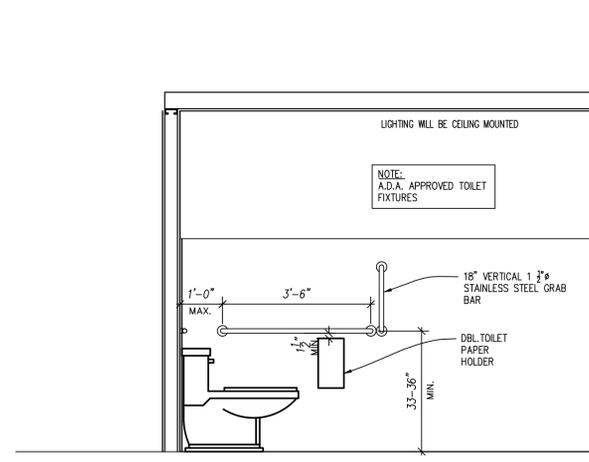
② FRONT COUNTER ELEVATION (BACK)  
SCALE: 1/4" = 1'-0"



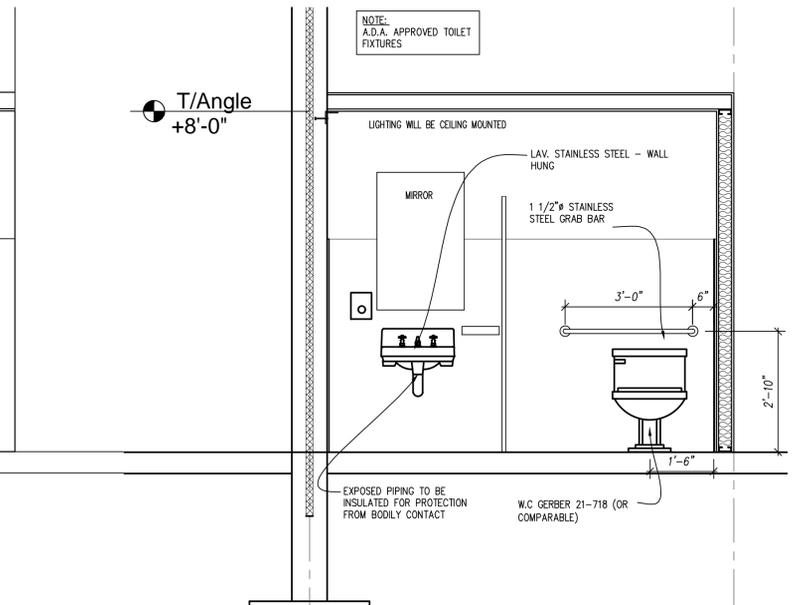
③ REAR COUNTER  
SCALE: 1/4" = 1'-0"



④ SIDE VIEW  
SCALE: 1/4" = 1'-0"



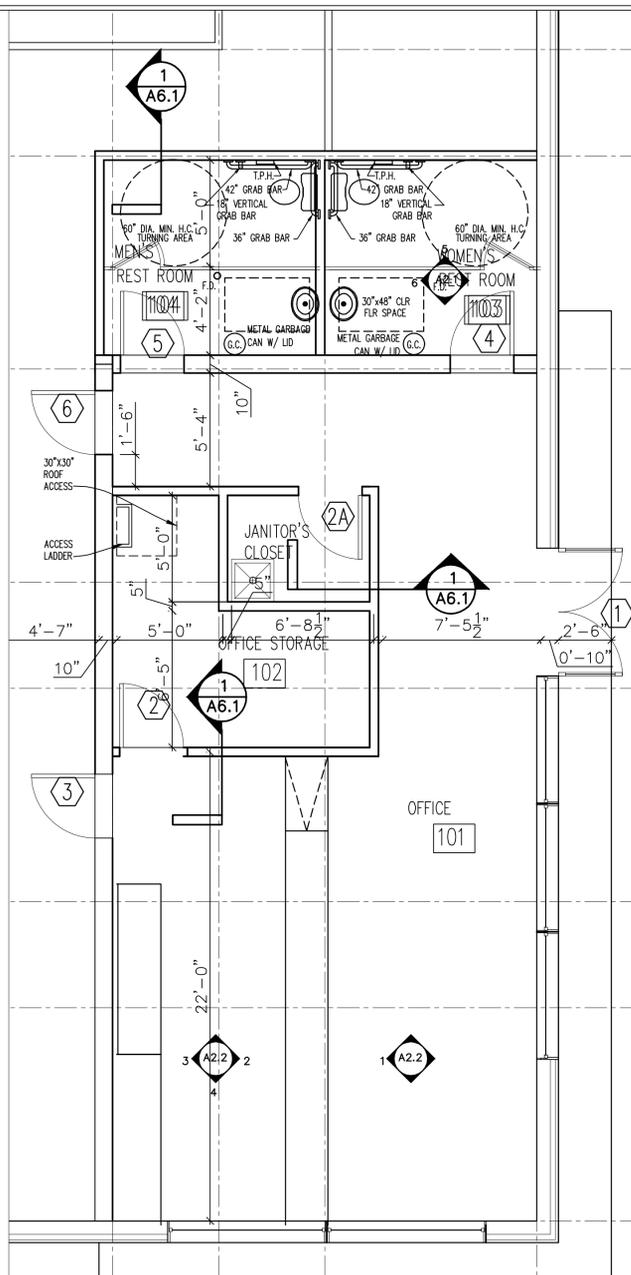
⑤ SIDE RESTROOM ELEV



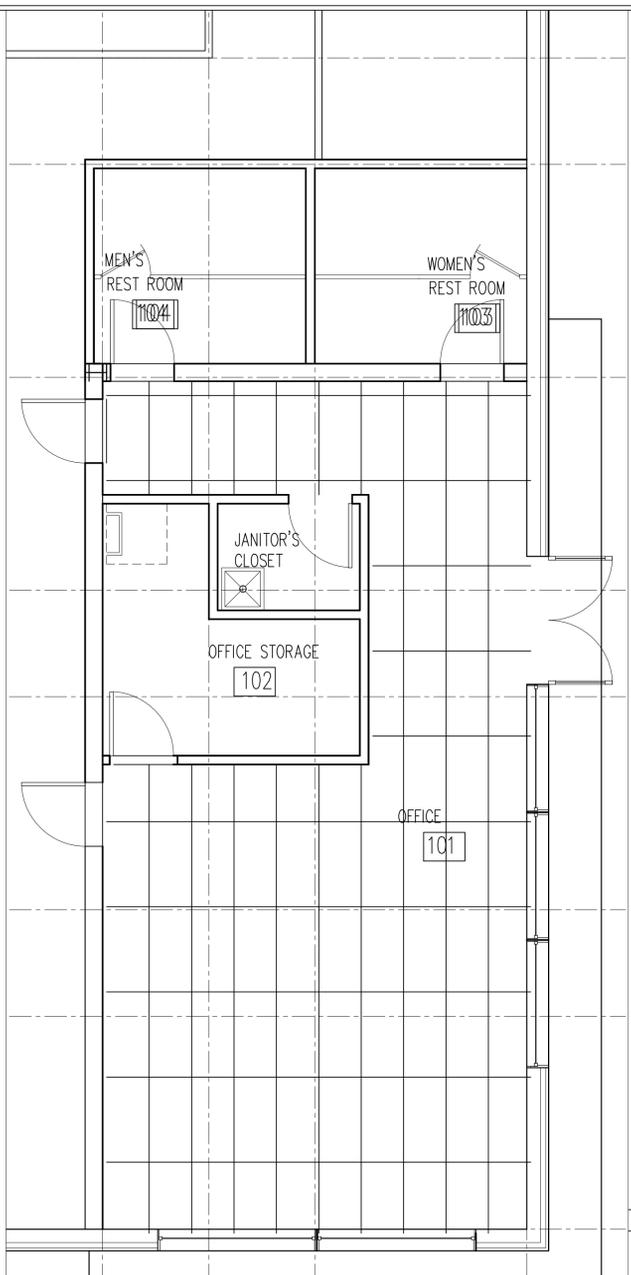
⑥ FRONT RESTROOM ELEV.



DRAWN BY:	JRH
DESCRIPTION	CONCEPT
DATE	10/8/15
REV	0
SCALE	AS NOTED
PROJECT NUMBER	14249



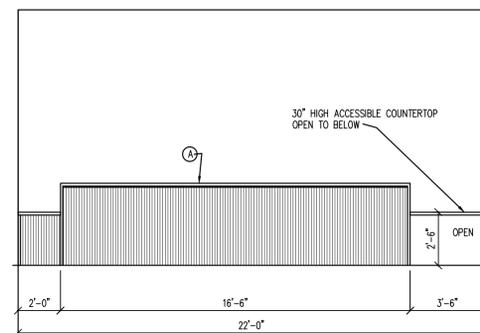
**OFFICE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



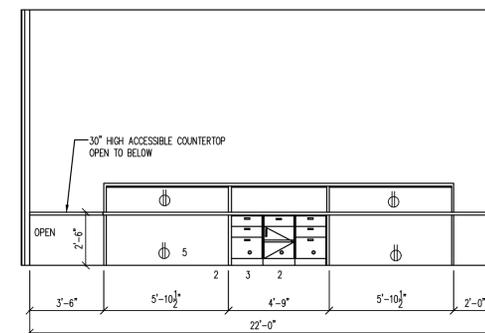
**OFFICE REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

- OFFICE LEGEND**
- ① LATERAL FILE, 2 DRAWERS 28"Hx42"Wx24"D
  - ② FILE & 2 DRAWERS 28"Hx 19 1/2"W x 22"D
  - ③ DRAWER & 1-DOOR CABINET 28"Hx 18"W x 22"D
  - ④ 2-DRAWER & 2-DOOR CABINET 28"Hx 30"W x 22"D
  - ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
  - ⑥ 4" BACKSLASH
  - ⑦ SUSPENDED ACCOUSTIC CEILING TILE

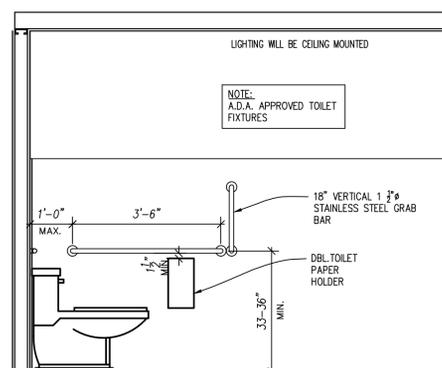
- FINISH LEGEND**
- Ⓐ PLASTIC LAMINATE
  - Ⓑ SOLID SURFACE COUNTERTOP
  - Ⓒ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE.
  - Ⓓ TOW KICK / DETAIL - BLACK FINISH
  - Ⓔ EXISTING CEILING GRID W/ NEW CEILING TILES
  - Ⓕ SALVAGED CEILING GRID W/ NEW CEILING TILES
  - Ⓖ SIGNAGE - BY OTHERS



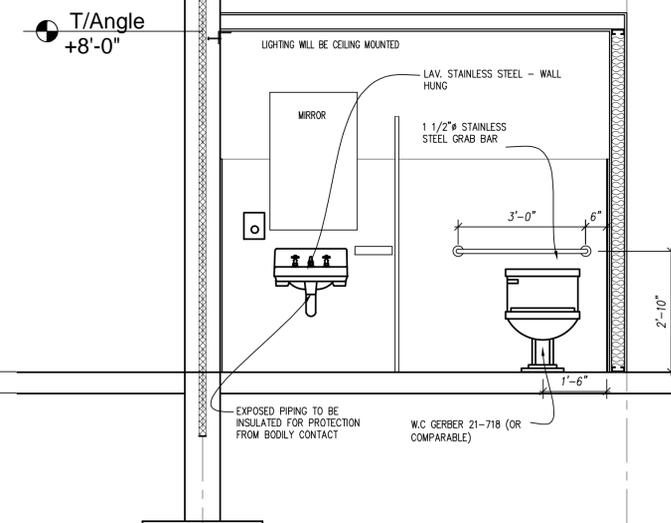
**1 FRONT COUNTER ELEVATION (FRONT)**  
SCALE: 1/4" = 1'-0"



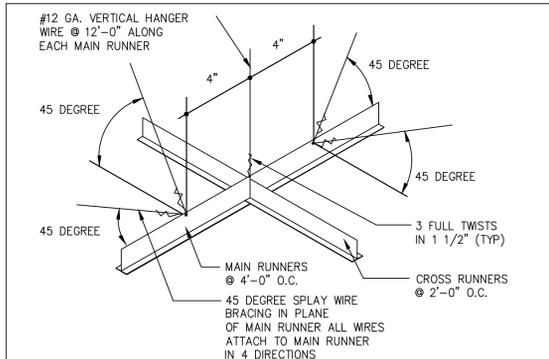
**2 FRONT COUNTER ELEVATION (BACK)**  
SCALE: 1/4" = 1'-0"



**5 SIDE RESTROOM ELEV**



**6 FRONT RESTROOM ELEV.**



1. LOCATE BRACE POINTS MAX. OF 4" FROM WALLS AND 12'-0" O.C. EACH WAY THROUGHOUT CEILINGS.
2. REMOVE SUPPORT LEDGE MIN. OF 7/8" WIDTH CONTINUOUS ALONG PERIMETER OF CEILING.
3. AT ENDS OF ALL RUNNERS PROVIDE A MINIMUM CLEAR DISTANCE OF 3/8" FROM FACE OF WALL.

**TYP. SPLAY BRACING DETAIL**

NO SCALE SEISMIC BRACING DETAIL FOR SUSPENDED CEILINGS



REV	DATE	DESCRIPTION	DRAWN BY
0	10/8/15	CONCEPT	JRH

**OFFICE PLANS**  
7601 Quincy Street, Bldg. A  
WILLOWBROOK, ILLINOIS

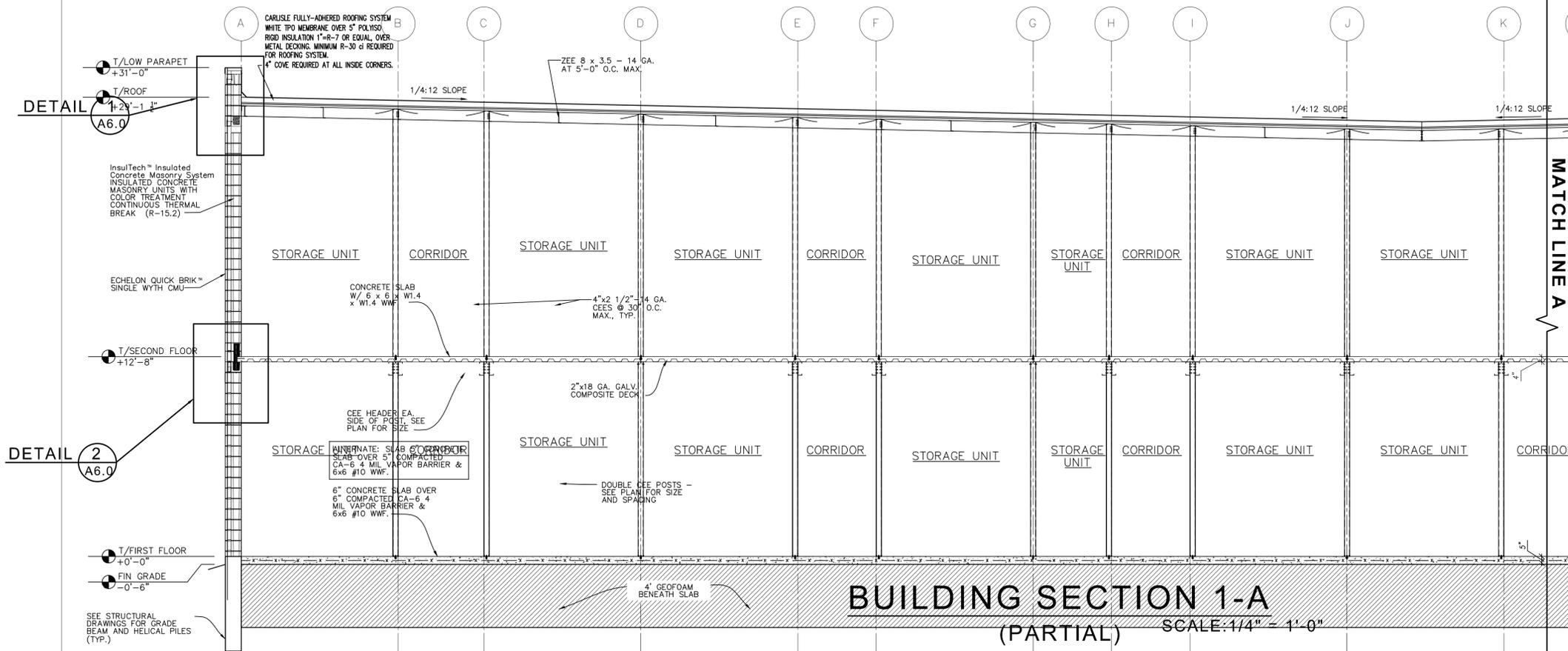
10 x 10



**SECOND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



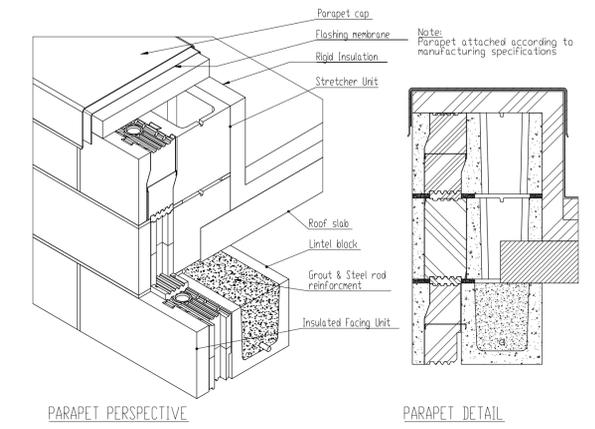
DRAWN BY: JRH	DESCRIPTION	CONCEPT
	DATE	10/8/15
REV	0	
SCALE	AS NOTED	
PROJECT NUMBER	14249	
SECOND FLOOR PLAN	7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	
Page	A3.0	



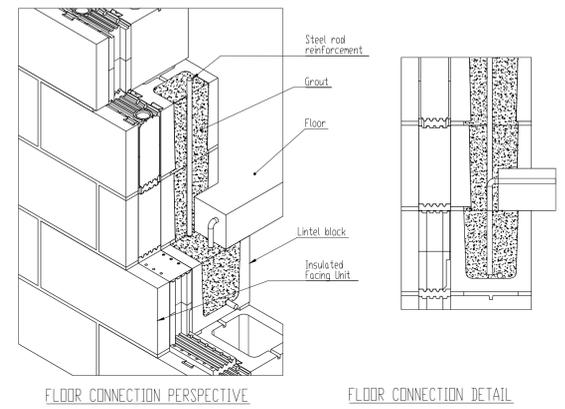
DETAIL 1  
A6.0

DETAIL 2  
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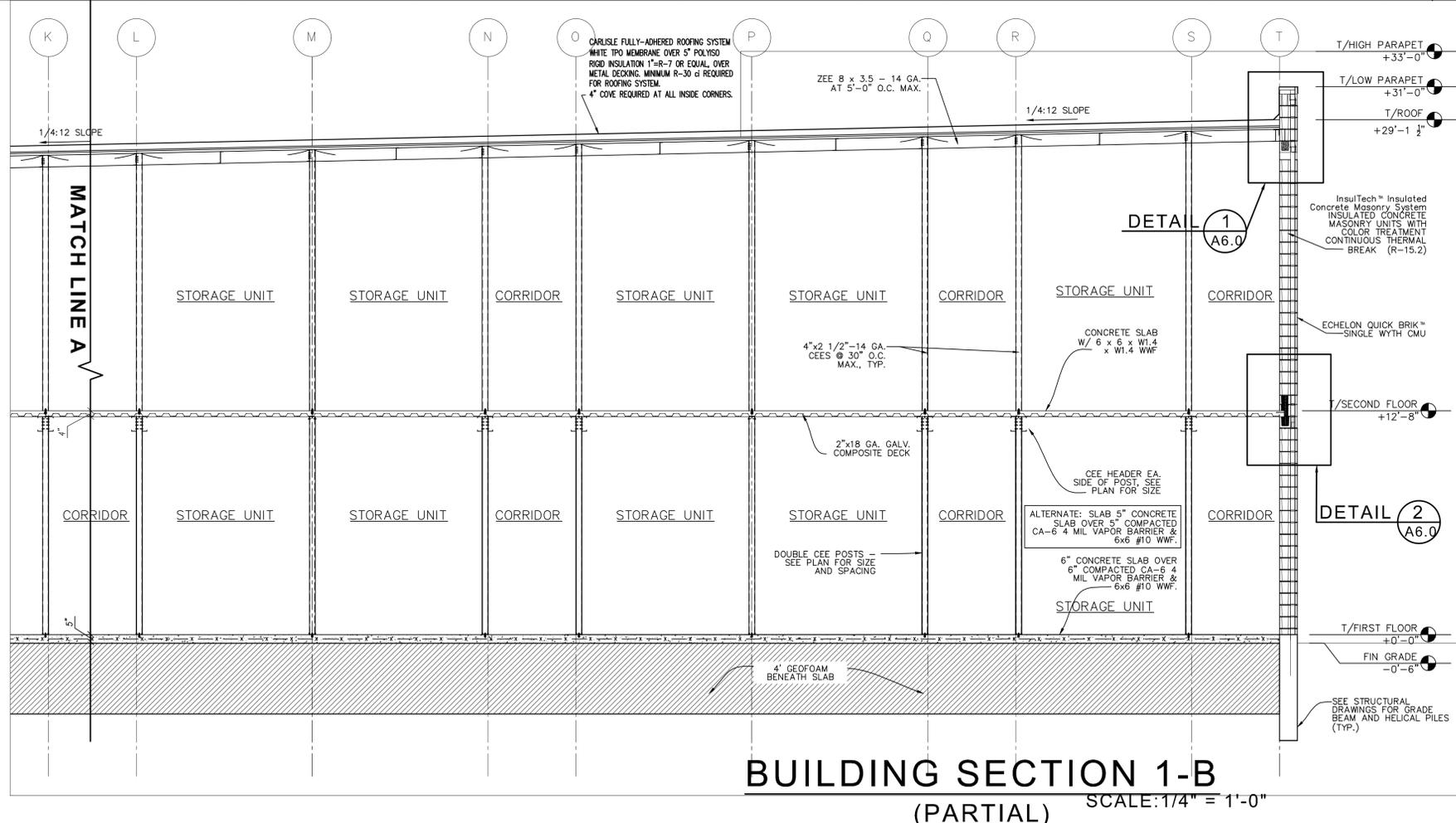
**BUILDING SECTION 1-A**  
(PARTIAL) SCALE: 1/4" = 1'-0"



**DETAIL 1**  
SCALE: 1 1/2" = 1'-0"



**DETAIL 2**  
SCALE: 1 1/2" = 1'-0"



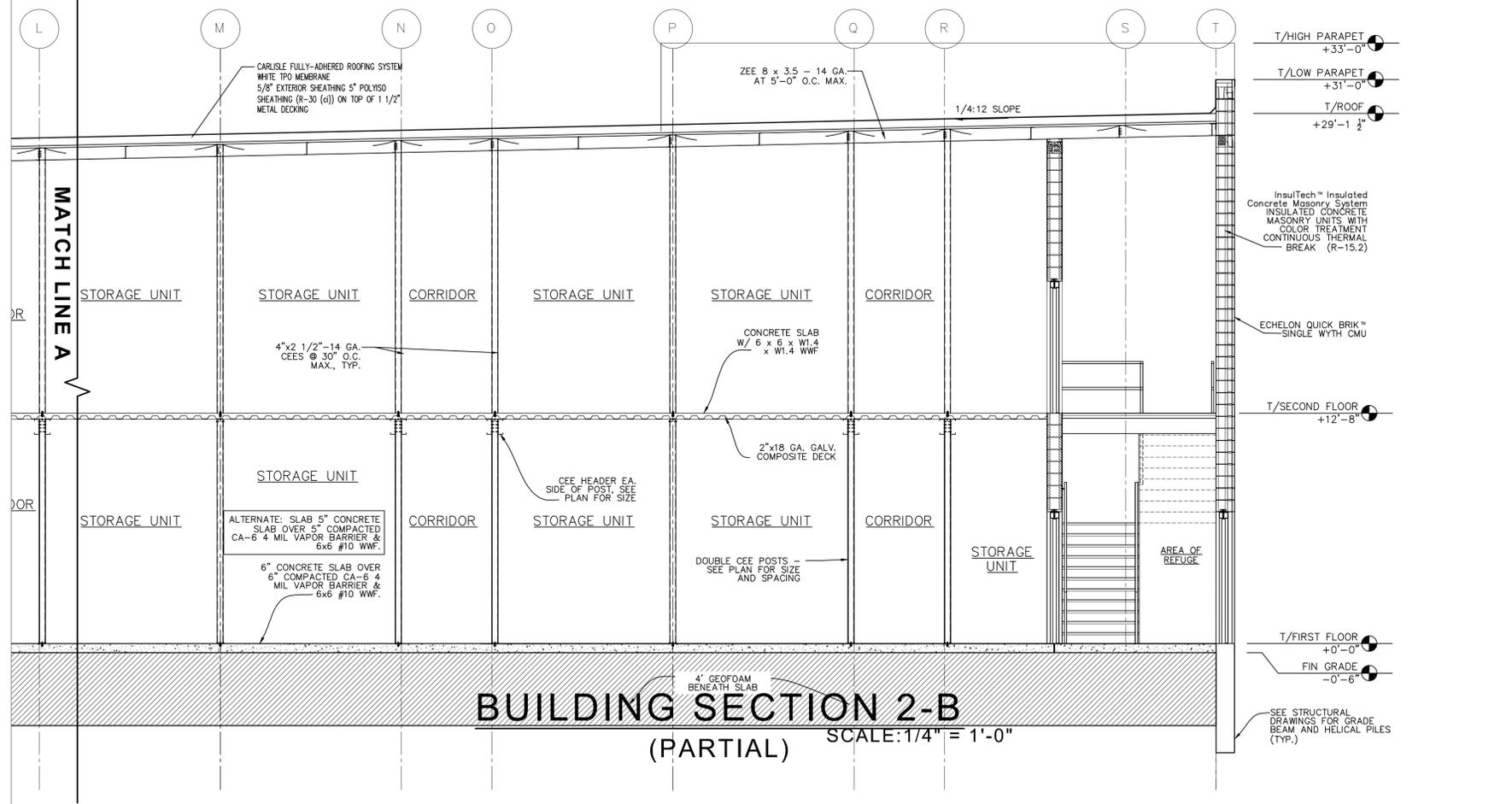
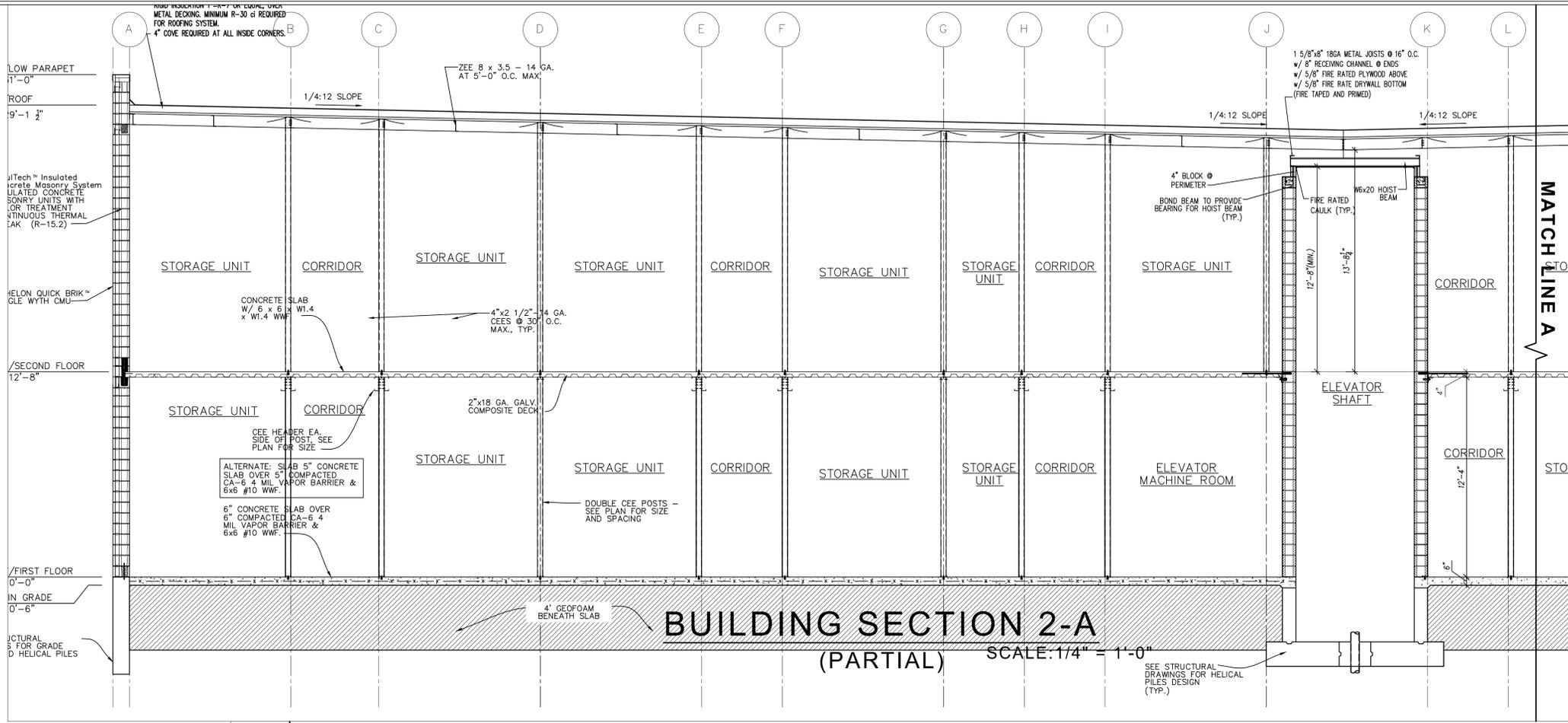
DETAIL 1  
A6.0

DETAIL 2  
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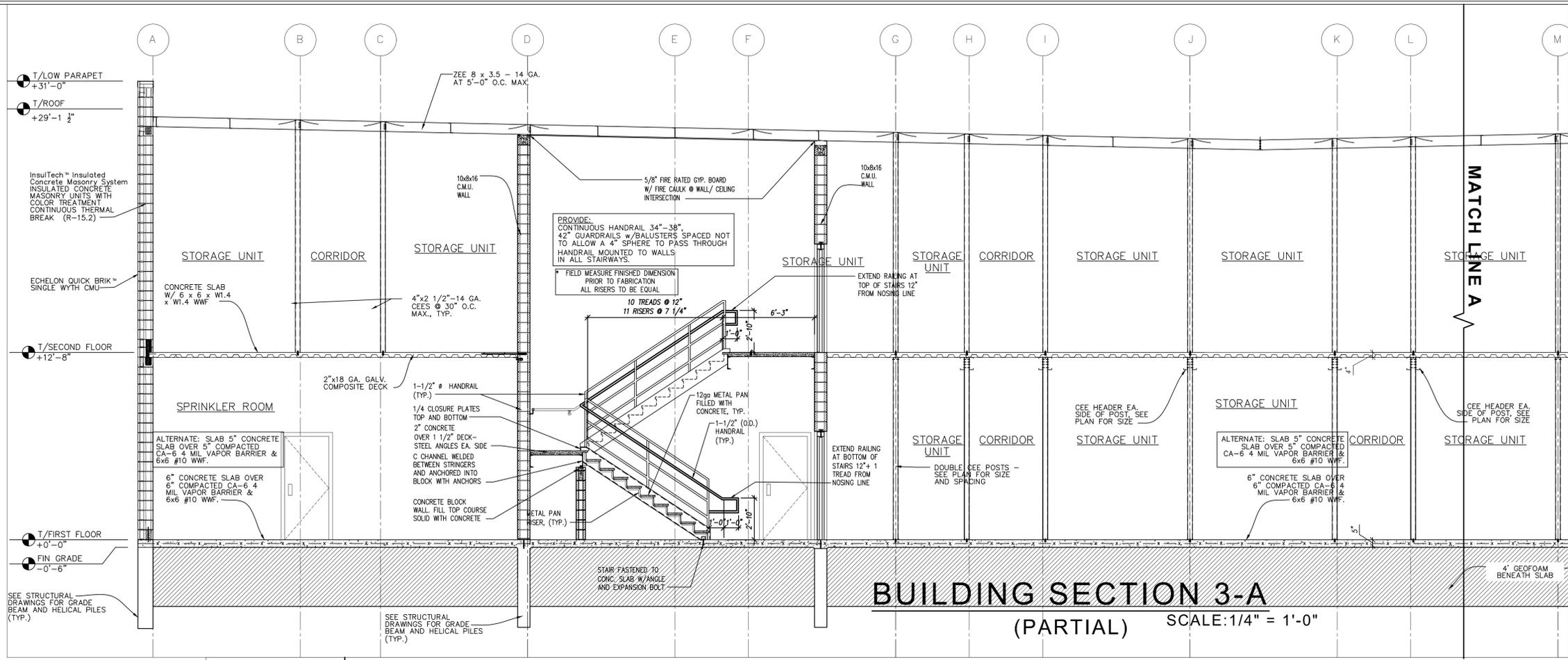
**BUILDING SECTION 1-B**  
(PARTIAL) SCALE: 1/4" = 1'-0"



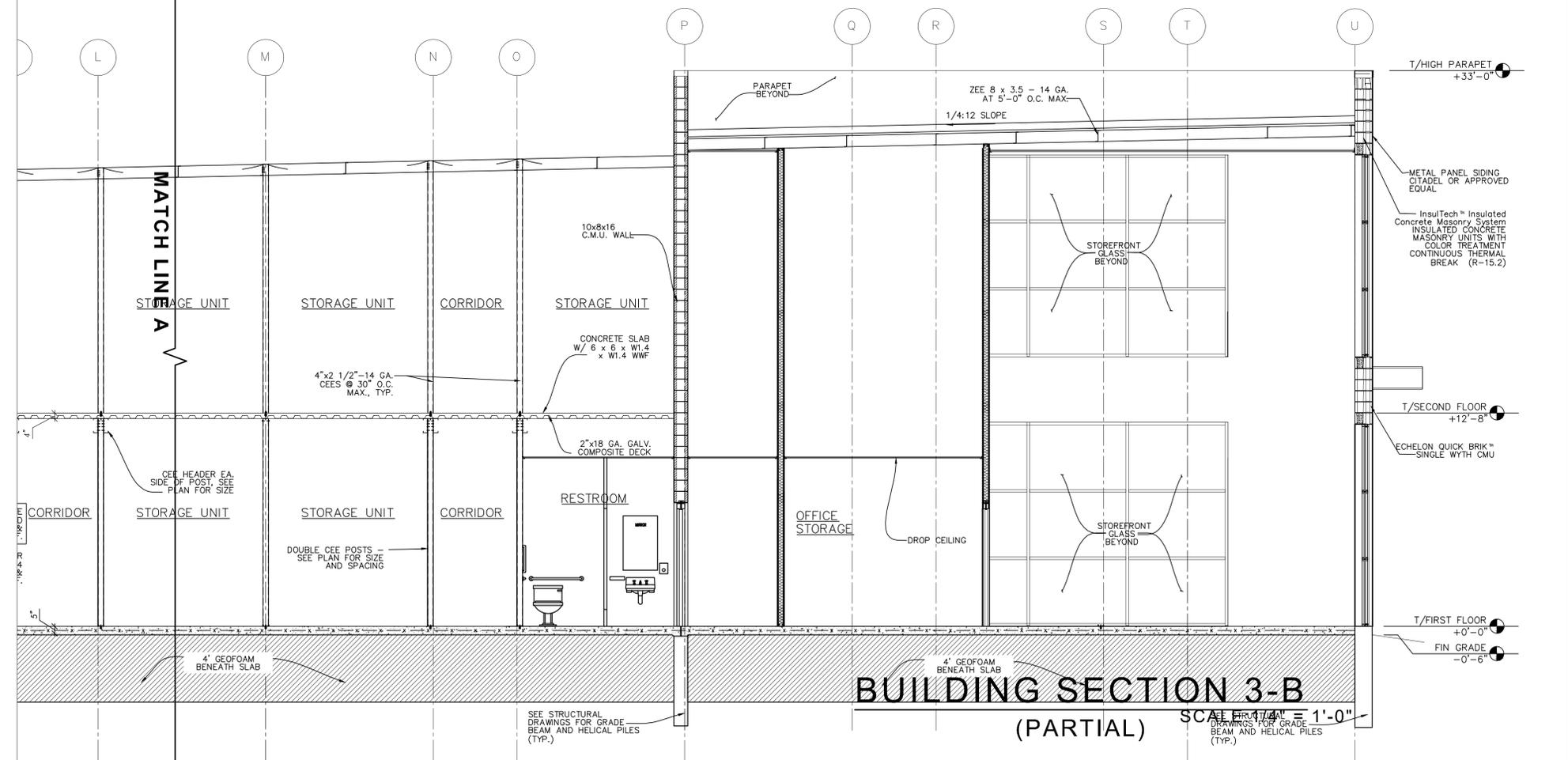
DRAWN BY:	JRH
DATE	10/8/15
REV	0
SCALE	AS NOTED
PROJECT NUMBER	14249
<b>BUILDING CROSS SECTION 1</b>	
7601 Quincy Street, Bldg. A WILLOWBROOK, ILLINOIS	
Page	A6.0



DRAWN BY:	JRH
DESCRIPTION	CONCEPT
DATE	10/8/15
REV	0
SCALE	AS NOTED
PROJECT NUMBER	14249
<b>BUILDING CROSS SECTION 2</b>	
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	
Page	A6.1



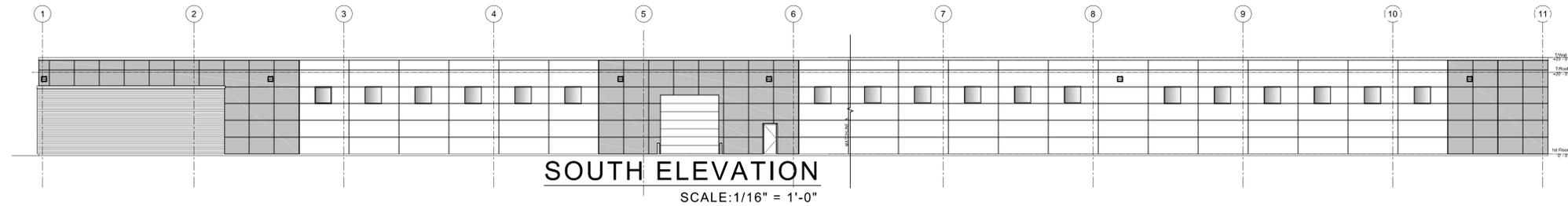
**BUILDING SECTION 3-A**  
(PARTIAL) SCALE: 1/4" = 1'-0"



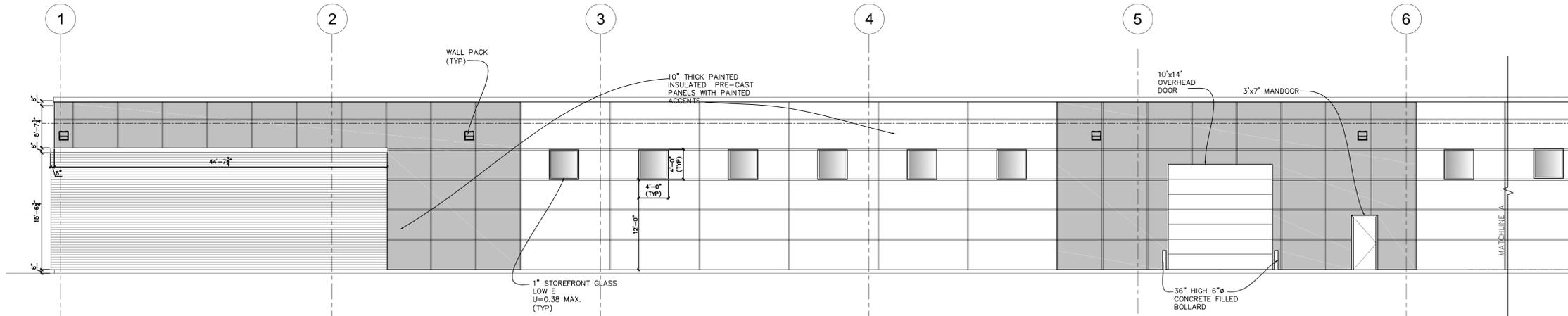
**BUILDING SECTION 3-B**  
(PARTIAL) SCALE: 1/4" = 1'-0"



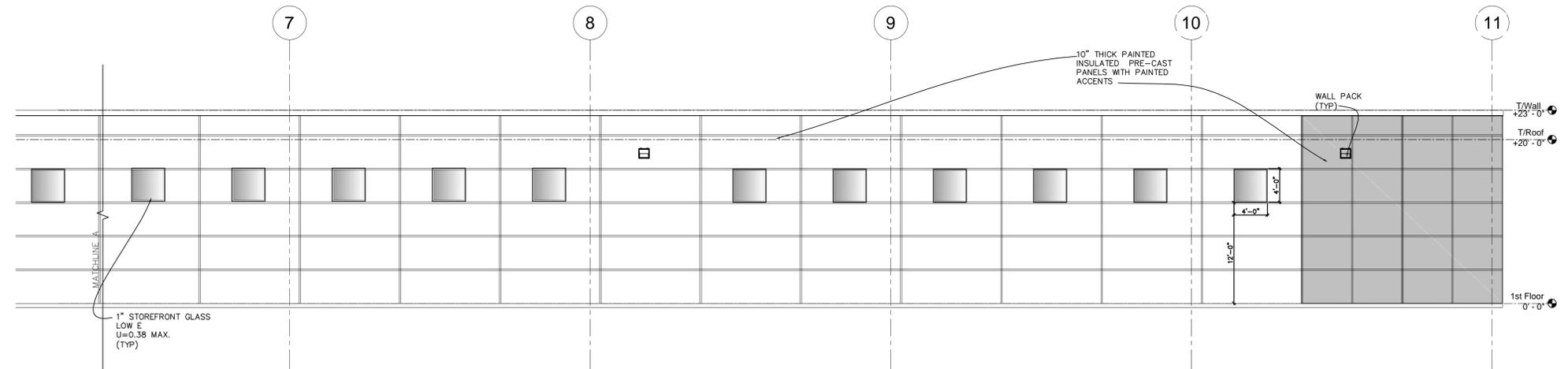
DRAWN BY:	JRH
DESCRIPTION	CONCEPT
DATE	10/8/15
REV	0
SCALE	AS NOTED
PROJECT NUMBER	14249
<b>BUILDING CROSS SECTION 3</b>	
<b>7601 Quincy Street, Bldg A</b>	
<b>WILLOWBROOK, ILLINOIS</b>	
Page	A6.2



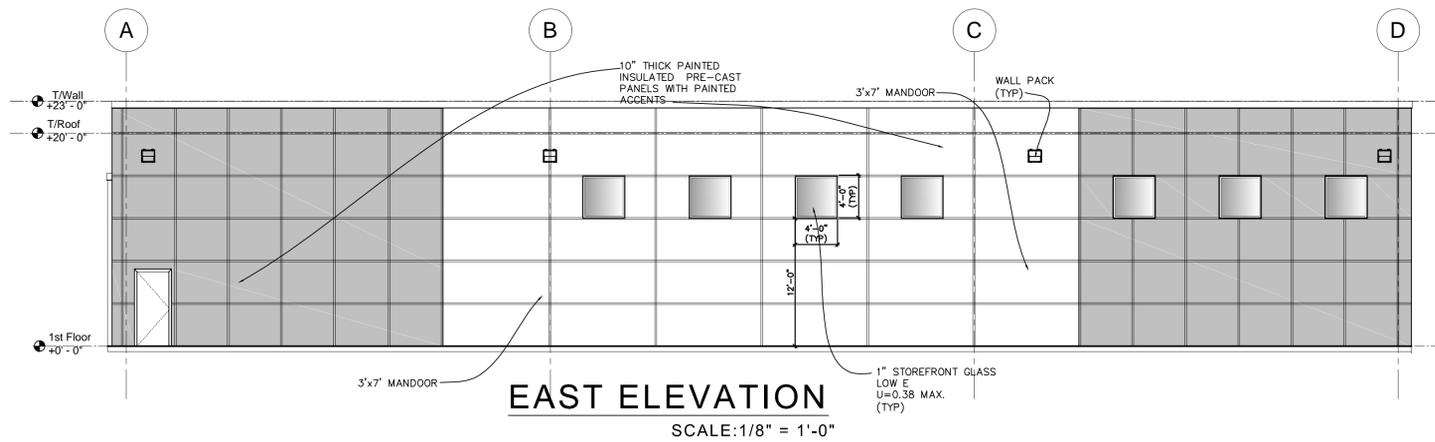
**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



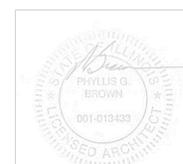
**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



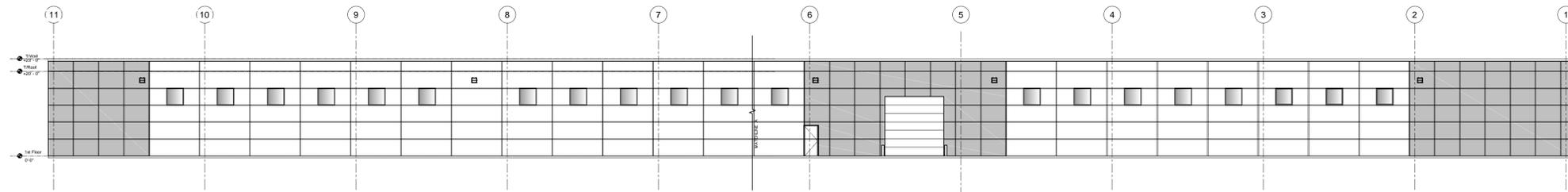
**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



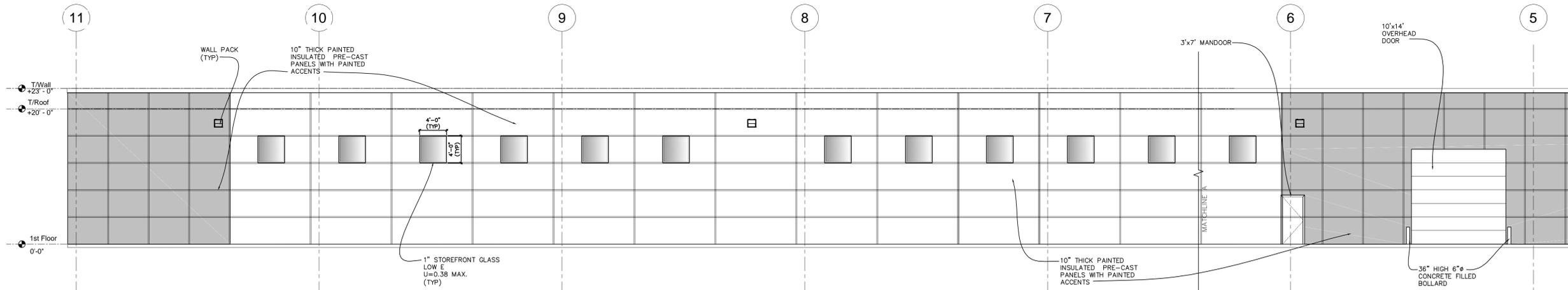
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



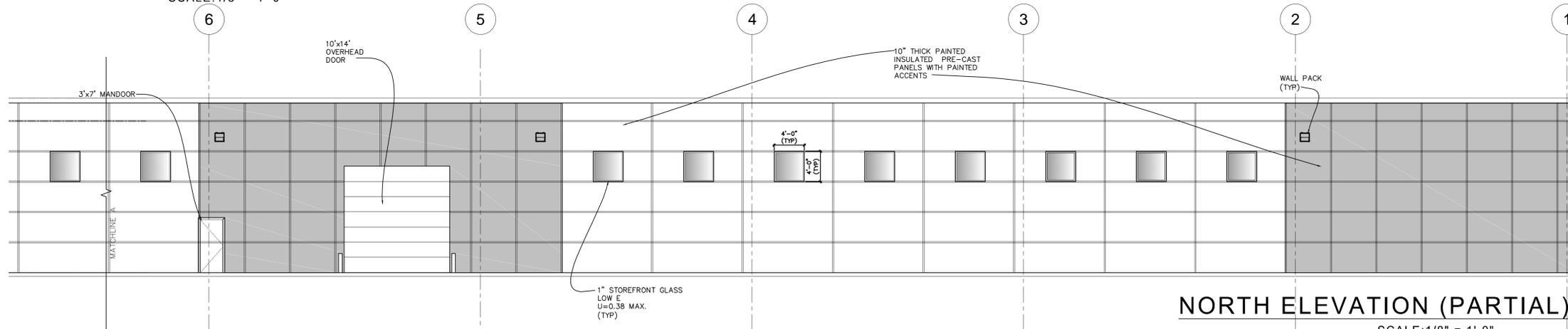
REV	DATE	DESCRIPTION
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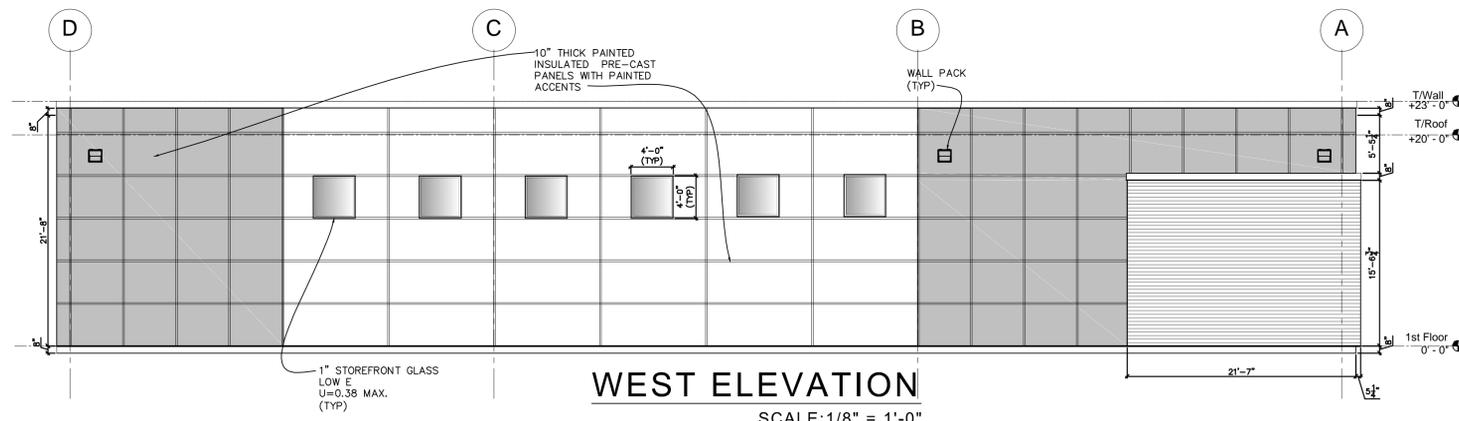
**NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**NORTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION	ISSUED FOR PERMIT
0	7/20/18		

DATE	REV	DESCRIPTION

SCALE AS NOTED	PROJECT NUMBER
	14249

**NORTH & WEST ELEVATION**  
7601 Quincy Street, Bldg B  
WILLOWBROOK, ILLINOIS





## **Proposed Construction Schedule**

7601 Quincy St.  
Willowbrook, Illinois

1. Install soil erosion control measures around entire site within 1 week of receipt of permit. Inspect erosion control measures and maintain in working order.
2. Remove topsoil/ spoils from previous excavation from site. (1 week)
3. Remove underbrush fallen, dying and dead trees on site and withing stormwater easement. (1 week)
4. Construct Deep Foundations based on soil conditions. Install grade beams and floor system for both buildings. Building A will be first followed immediately by building B. (6 weeks)
5. Erect Precast Buildings. Building A will be first followed immediately by building B. (6 weeks).
6. Paint Exterior of Building and detail. (2-3 weeks).
7. Construct all underground storm sewer and utility service lines per plan. Estimated time 4 weeks. (Concurrent w/ exterior building construction.)
8. Install all curb & Gutter. Install Parking Lot base. (1 week)
9. Construct VCBMP's immediate following Exterior work. Install landscape materials per landscape plan. Estimated time 3 weeks. Maintain as detailed on the Drawing notes. (Continuous through project)
10. Clean streets immediately if mud is tracked onto the road during construction. (Continuous through project)
11. Construct building interior. Estimated time 4 months.
12. Pave Parking Lots and install concrete aprons. Provide touch-up maintenance on Rain Gardens. Final grade entire development. Estimated time 3 weeks. (At the end of the project)
13. Plant any stripped/ bare areas after final grading and leave erosion control measures in place until 70% coverage is reached.
14. Monitor BMP's for 1 year. Maintain and repair as needed.

# InsulTech™



**ECHELON™**

Quality masonry products from Oldcastle

INSULATED CONCRETE MASONRY SYSTEM



FEATURING NEOPOR®  
HIGH PERFORMANCE EPS

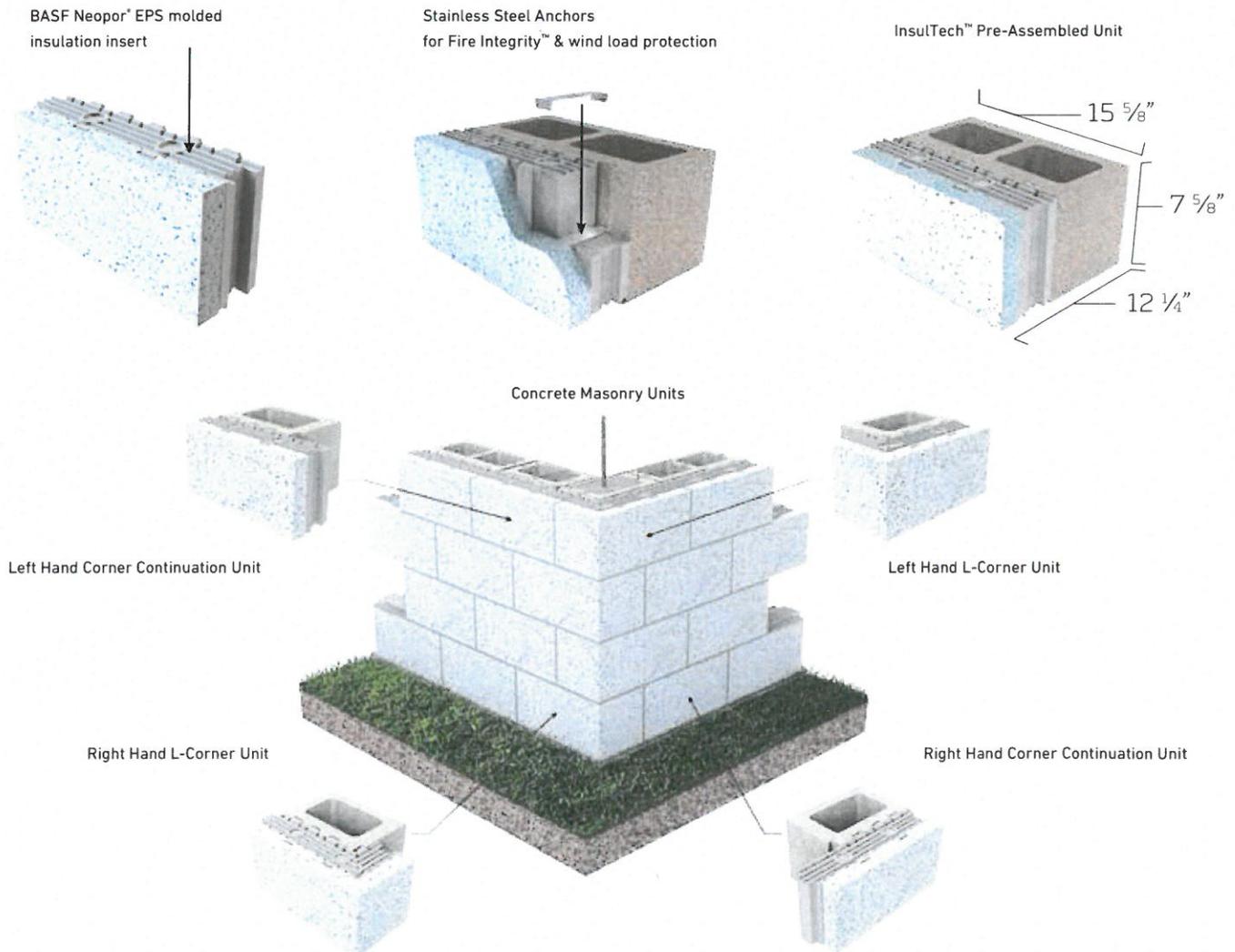
InsulTech™ ICMS is a complete thermally broken insulated masonry system which includes a full complement of masonry units and is produced by Oldcastle®. InsulTech offers high thermal efficiency in an innovative design combining a pre-assembled structural masonry unit, molded High Performance Neopor® EPS insulation insert and thin veneer face. InsulTech provides design flexibility, installation efficiency and is available in both standard finishes as well as Trenwyth® colors and textures.



Upgrade the performance of your project with acoustical comfort, energy efficiency & moisture management with this complete system.

## Features & Benefits

- Complete insulated concrete masonry system with a full complement of masonry units
- Consists of a **pre-assembled structural masonry unit**, molded Neopor® EPS insulation insert and thin veneer face with finished size of 12" x 8" x 16"
- Installed as a complete assembly to improve installation efficiency
- Includes BASF High Performance Neopor EPS molded insulation inserts, giving the assembled unit an effective R-value of 16.2 at 75° F.
- **Fully thermally broken** units and system
- Meets 2012 IECC Energy codes from Zones 1 through 7
- Internal **stainless steel metal anchors** molded into the EPS inserts ensures safety connection to the back wall during windloading and Fire Integrity™ for fire safety
- Innovative design provides continuous insulation and air tightness formed by the EPS inserts in combination with compliant closed cell gasket material and production spray applied air barrier
- All InsulTech™ CMUs and Thin Veneer Faces are produced with RainBloc® Integral Water Repellant or other Oldcastle approved water repellant admixtures.
- Multitude of color and texture options for aesthetic needs



# InsulTech™ ICMS Block Units

Consists of a pre-assembled structural masonry unit, molded EPS insulation insert and thin veneer face with finished size of 12" x 8" x 16"

Closed End Stretcher Unit



Open End Stretcher Unit



Double Sash Unit



Half Sash Unit - Left/Right



Left Hand  
L-Corner Unit



Left Hand Corner  
Continuation Unit



Right Hand  
L-Corner Unit



Right Hand Corner  
Continuation Unit



16" Face With Profiled Insert For  
First Row and Bond Beam



Left Hand  
L-Corner Unit Face With  
Profiled Insert For First Row



Right Hand  
L-Corner Unit Face With  
Profiled Insert For First Row



Corner Block Unit  
Left/Right for First Row



InsulTech Foam Insert



Stretcher Unit  
for First Row



8" Bond Beam Unit



Horizontal Gasket



## InsulTech™ Performance Upgrade Options

InsulTech™ Insulated Concrete Masonry System is a performance upgrade option that may be paired with a number of Echelon™ Masonry products. Please ask your local architectural rep for a complete list of color and texture options. InsulTech is a single block that allows for both interior and exterior color and texture options.

## InsulTech™ East Colors & Finishes (more available upon request)

Mesastone™



Elmhurst



Butterfield



Bloomington



Belvedere

Trendstone



Sand Stone



Shadow Gray



Coral



Elmhurst

Trendstone Plus



Midwest White



Rocky Road



Ash Charcoal



Light Karmel

Blended Colors



Coppertone



Boston Blend



Promenade Blend



Richfield Blend

ORDINANCE NUMBER 16-0- 03  
AN ORDINANCE APPROVING A PRELIMINARY AND FINAL  
PLAT OF SUBDIVISION, AND  
GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL  
PLAT OF PUD,  
INCLUDING WAIVERS FROM THE ZONING ORDINANCE

PC 15-06: 7501-7601 Quincy/ROC PUD

---

**WHEREAS**, on or about March 4, 2015, Doug Riccolo and Mike Siurek as applicants ("APPLICANTS") and authorized agents for ROC WBCS LLC as owners ("OWNERS") filed an application with the Village of Willowbrook with respect to the property legally described in Exhibit "A" attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY"); and,

**WHEREAS**, said application requested that the Village approve a Preliminary and Final Plat of Subdivision, grant a special use permit for a Preliminary and Final Plat of Planned Unit Development, and grant certain waivers from the requirements of the Zoning Ordinance of the Village; and

**WHEREAS**, Notice of Public Hearing on said application was published on or about October 16, 2015, in The Suburban Life, being a newspaper of general circulation within the Village of Willowbrook, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

**WHEREAS**, pursuant to said Notice, the Plan Commission of the Village conducted a Public Hearing on said application on or about

November 4, 2014, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

**WHEREAS**, at said Public Hearing, the applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

**WHEREAS**, the recommendation of the Plan Commission, including its Findings of Fact, was forwarded to the Mayor and Board of Trustees on December 2, 2015, a copy of which is attached hereto as Exhibit "B" and by this reference, made a part hereof; and,

**WHEREAS**, at their meeting on December 2, 2015, the Mayor and Board of Trustees discussed modifications that would decrease density by increasing the Quincy Avenue setback from thirty feet (30') to forty feet (40'), that would add an outdoor masonry enclosure for garbage, and that would provide for additional architectural details on both buildings; and

**WHEREAS**, on December 29, 2015, APPLICANTS submitted revised plans to address the modifications discussed by the Mayor and Board of Trustees at their December 2, 2015 meeting; and

**WHEREAS**, the Mayor and Board of Trustees now determine it would be in the best interest of the Village to approve the Preliminary and Final Plat of Subdivision and grant a special use for a Preliminary and Final Planned Unit Development, including certain

waivers from the requirements of the Zoning Ordinance, subject to the terms and conditions established by this Ordinance

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-8-2(A) of the Zoning Ordinance of the Village of Willowbrook, for a Planned Unit Development.

SECTION TWO: That pursuant to Section 9-13-6(K), the Mayor and Board of Trustees hereby find that the construction of a self-storage facility use in two (2) buildings on Lot 1 on the SUBJECT REALTY is consistent with the objectives of the Planned Unit Development provisions of the Zoning Ordinance and is hereby approved.

SECTION THREE: That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted:

- A. An exception from Section 9-8-3(D) (1) for a reduction in the required front yard building setback from Executive on Lot 1 from forty feet (40') to thirty feet (30').
- B. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to five feet (5') on the east side of Lot 1 between a fire lane and the east property line.

- C. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to zero feet (0') along the common lot line between Lot 1 and Lot 2.
- D. An exception from Section 9-10-5L2(B)(2)(C) for a reduction in the minimum distance between a driveway and a lot line from seventy feet (70') to five feet (5') between the proposed fire lane and the east lot line of Lot 1.
- E. An exception from Section 9-14-2.23(B)3(d) for a reduction in the amount of foundation landscaping in accordance with the Approved Plans.
- F. An exception from Section 9-10-4(H) for a reduction in the number of loading spaces on Lot 1 from two (2) to zero (0).
- G. An exception from Section 9-10-5(L)(2)(b)(2)(C) for a reduction in the distance between a driveway center line and a lot line from seventy feet (70') to twenty-two and one half feet (22.5') for the fire lane as it relates to the east line of Lot 1.
- H. An exception from the landscaping provisions of Title 9 for a reduction in the landscaping requirements per the Approved Plans.

**SECTION FOUR:** That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted to the extent that said findings support the modifications recommended by the Mayor and Board of Trustees at their December 2, 2015 meeting and included in the APPROVED PLANS described infra.

**SECTION FIVE:** That a Parking Easement Agreement, substantially in the form as attached hereto as Exhibit "C", is hereby approved

and shall be recorded by the APPLICANTS prior to the issuance of any construction permits.

**SECTION SIX:** That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Subdivision for "ROC Industrial Subdivision", as prepared by Harrington Land Surveying Ltd and attached hereto as Exhibit "D", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

**SECTION SEVEN:** That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Planned Unit Development for "ROC Industrial PUD", as prepared by Harrington Land Surveying Ltd. and attached hereto as Exhibit "E", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

**SECTION EIGHT:** That the approvals granted in Sections 1, 2, 3, and 7 of this Ordinance are expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

- A. That all construction, use, development and maintenance of the site be in substantial accordance with the following approved plans ("APPROVED PLANS"), attached hereto as Exhibit "F", except as may be modified by the conditions

infra, or as required by the Village Engineer or Village Administrator for compliance with Village Codes prior to the issuance of any construction permits:

1. Color Elevations (1 Sheet) hand dated December 29, 2015.
  2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
  3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
  4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
  5. Building B details, prepared by Koziol Engineering Services, consisting of Sheets A0.0, A1.0, A1.1, A1.2, A2.0, A2.1, A2.2, and latest revision dated December 23, 2015, except that floor plan details shall be revised to show windows on four sides as indicated on the elevation plans.
  6. Final Engineering, prepared by Koziol Engineering Services, consisting of Sheets C-0 through C-13, and latest revision dated December 28, 2015.
- B. Approved uses on Lot 1 are restricted to self-storage uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
- C. The overhead doors visible on Building A from Quincy and on Building B from Executive Drive shall only be used as a means of egress out of the buildings, with no ability for customer to activate these doors from outside the buildings. Ingress into Building A shall only be from the east side of the building, and ingress into Building B shall only be from the north side of the building.
- D. Tenant parking requirements for the building on Lot 2 shall be measured to include the 237 parking spaces on Lot 2 plus

the 53 parking spaces in the northern most parking lot on Lot 1.

- E. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify the use of "10" pre-cast panels with painted reveal accent stripes" on all sides of Building A and Building B.
- F. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify a brick pattern stamp in the lower half of the pre-cast panels for Building A as shown in the Color Elevation, excluding the east elevation
- G. No building permits shall be issued unless final plan documents provide details that show building material colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator.
- H. Storefront windows along the Quincy Frontage of Building A shall be lit so as not to exceed lighting standards in the Zoning Ordinance, and the color of doors visible through these windows shall be only one color, to be approved by the Village Administrator.
- I. The dumpster enclosure shall be masonry and shall appear similar to the color and style of Building B. It shall be placed upon a frost proof foundation.
- J. There shall be no outdoor storage of any kind.
- K. There shall be no retail sales except for retails sales of moving boxes or other moving/storage supplies that are stored inside from the office located in the southwest corner of Building A.
- L. There shall be no dispensing of gasoline.
- M. There shall be no servicing of vehicles on the site.
- N. Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent

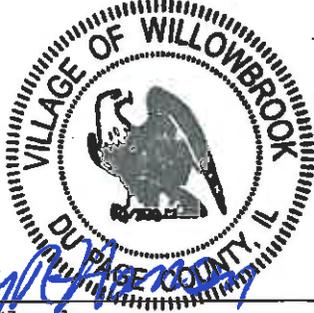
property, in compliance with the requirements of section 9-9-8 of this title.

- O. All mechanical equipment shall be located on the roof, and except for the area above the proposed office area in Building A, no mechanical equipment shall be located closer than 30' to a building edge. Any mechanical equipment above the office area in Building A that is taller than the parapet extension in that area shall be screened as approved by the Village Administrator.
- P. Wall signs shall conform to the requirements of Title 9, Chapter 11 of the Village Code.
- Q. Construction permits may not be issued prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats.
- R. Prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats, the APPLICANT shall supply the Village with a letter of credit in the amount equal to 125% of the engineer's estimate of cost to be approved by the Village Engineer on a form approved by the Village Attorney.

**SECTION NINE:** That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

**SECTION TEN:** That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 11th day of January, 2016.



APPROVED:

Frank A. Vanella  
Mayor

ATTEST:

Leroy [Signature]  
Village Clerk

ROLL CALL VOTE:

AYES:

Berglund, Davi, Kelly, Mistele, Neal  
Cappano

NAYS:

0

ABSTENTIONS:

0

ABSENT:

0

EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 1 AND 2 IN PLAZA COURT ASSESSMENT PLAT, BEING AN ASSESSMENT DIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, IN THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAZA COURT ASSESSMENT PLAT RECORDED FEBRUARY 26, 2004 AS DOCUMENT R2004-052460, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-403-027-0000 and 09-26-403-028-0000

COMMONLY KNOWN AS: 7501 and 7601 S. Quincy St., Willowbrook, IL 60527

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION  
AND  
FINDINGS OF FACT

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor  
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: December 2, 2015

SUBJECT: Zoning Hearing Case 15-06: (ROC WILLOWBROOK LLC - 7501-7601 Quincy) Consideration of a motion to approve a special use for a Planned Unit Development and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD.

At the regular meeting of the Plan Commission held on December 2, 2015, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Remkus, seconded by Commissioner Lacayo that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings for special use and planned unit development referenced in the staff report for PC 15-06 prepared for the December 2, 2015 meeting (attached to the end of this memo) and recommend to the Village Board approval of the relief associated with PC 15-06 including a preliminary and final plat of subdivision, approval of a special use for a preliminary and final planned unit development, including exceptions outlined in exhibit 2 of the December 2, 2015 staff report, and other relief as may be necessary to accommodate proposed project, subject to the following conditions:

1. That the approval be in substantial compliance with the list of documents approved for PC 15-06 on December 2, 2015 meeting

for PC 15-06, except as modified or required by all required changes or proposed conditions of approval identified in sections 2 and 3 respectively of the staff report for PC 15-06 except that Required Change Number 1 in Section 2 will not require a shade tree in the one island that contains a light pole, and except as may be required for compliance with the requirements of the village engineer or the building inspector as part of the building permit review process.

2. Compliance at all times with the conditions of approval identified in Section 3 of the December 2, 2015 staff report for PC 15-06, except as discussed at the meeting, which is as follows:

- a. Condition Number 5 shall be revised to identify 53 instead of 29 parking spaces in Lot 2, and eliminate the words "only as long as the use on Lot 1 is for self-storage".
- b. Condition Number 6 shall be revised to require the 10" pre-cast panels with painted reveal accent stripes only on the west elevation of Building A and only on the west and south elevations of Building B, which are the elevations visible to Quincy and Executive Drive.
- c. Condition Number 18 is removed as it was a run-on error in the staff report.

ROLL CALL: AYES: Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, and Vice-Chairman Wagner; RECUSED: Chairman Kopp. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

Exhibit B Continued

STANDARDS AND FINDINGS OF FACT

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the required standards is provided below, along with "findings" provided in *italics*.

Special Use Standards.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

*Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.*

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

*The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.*

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

*This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.*

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

*The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.*

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

*Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Given the unique characteristics of this use, a major change to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.*

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

*Except as modified in Section 3 of this Ordinance, the project will comply with the applicable regulations of the M-1 Zoning District.*

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-0-05, 1-27-1997)

*The Village Board has not considered any special use permit on this property in the last year.*

## Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

*If designed with the conditions included in Section 8 of this Ordinance, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy is added to be consistent with the Comprehensive Plan.*

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

*The proposed development contains 15.434 acres.*

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

*Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of the pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of a storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overly commercialized appearance, which may have a negative influence on surrounding industrial properties.*

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

*Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since change to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.*

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

*The buildings are one story and there is a 32.74' separation between the buildings*

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

*The proposed project meets this requirement.*

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

*Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allowing access and parking to 53 parking spaces on Lot 1.*

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

*Access is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.*

- (I) *Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.*

*While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.*

- (J) *Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.*

*No variations to the Willowbrook Subdivision regulations are required.*

- (K) *Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.*

*The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the conditions outlined in Section 8 of this Ordinance.*

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

*Minor exceptions are incorporated into the PUD as identified in the staff report prepared for the December 2, 2015 meeting, however the development does comply with standards A, B, C, D, H, I and K as required.*

#### **Planned Unit Development Findings**

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

*The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 53 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.*

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

*The PUD meets the standards as identified above.*

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

*The PUD includes exceptions as identified in Section 3 of this Ordinance.*

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

*The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.*

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

*The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenants" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.*

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

*The proposed plan promotes new development in compliance with Zoning Ordinance requirements and will bring new people to the*

*area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.*

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

*The plan conforms to the spirit and intent of the Village's current planning objectives if developed as recommended by the Plan Commission.*

**EXHIBIT "C"**  
**PARKING EASEMENT AGREEMENT**

RECEIVED

JUL 29 2015

VILLAGE OF WILLOWBROOK  
BUILDING & ZONING DIVISION

**PARKING  
EASEMENT AGREEMENT**

THIS PARKING EASEMENT AGREEMENT ("Agreement") is made as of June \_\_\_\_, 2015 by and between ROC Willowbrook LLC, an Illinois limited liability company ("Tract 1 Owner"), and ROC WBCS II LLC, a Delaware limited liability company ("Tract 2 Owner").

**RECITALS:**

- A. Tract 1 Owner is the owner of that certain tract of land known as Lot 1 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 1"), as more particularly described on Exhibit A.
- B. Tract 2 Owner is the owner of that certain tract of land known as Lot 2 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 2"), as more particularly described on Exhibit A.
- C. Tract 2 Owner desires to receive from Tract 1 Owner and Tract 1 Owner is willing to grant to Tract 2 Owner a nonexclusive easement over, across and upon that portion of Tract 1 (the "Easement Area") cross-hatched on the site plan attached hereto as Exhibit B and made a part hereof, as the same may exist from time to time, upon and subject to the conditions and limitations herein contained.

NOW, THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Tract 1 Owner and Tract 2 Owner hereby agree as follows:

1. **Easement Grant.** Tract 1 Owner hereby grants to Tract 2 Owner a non-exclusive, perpetual, irrevocable easement for the benefit of Tract 2 Owner for the use of the Easement Area for the sole and exclusive purposes of the passage and parking of passenger automobiles and passage of pedestrians, by Tract 2 Owner, all tenants and other occupants of Tract 2 or portions thereof, and the respective employees, agents, contractors, customers, visitors, invitees, licensees, subtenants and concessionaires of Tract 2 Owner or such tenants and occupants. Notwithstanding the foregoing, in no event shall Tract 2 Owner have the right use more than fifty-three (53) parking spaces in the Easement Area at any time.

2. **Insurance.** Tract 2 Owner shall at all times obtain and maintain commercial general liability insurance for bodily injury, personal injury and property damage for the mutual benefit of the owner of Tract 1 and Tract 2, with limits of not less than \$2,000,000.00 in Constant Dollars (as defined below) per occurrence, which policy or policies shall:

- (a) name as an additional insured Tract 1 Owner;
- (b) be written by solvent insurance companies licensed in the State of Illinois; and
- (c) include contractual liability coverage insuring Tract 2 Owner's indemnity obligations provided for herein.

Tract 2 Owner shall deliver certificates evidencing such policies of insurance to Tract 1 Owner upon demand. Nothing herein contained shall prevent Tract 2 Owner from taking out insurance of the kind and in the amount provided for hereunder under a blanket insurance policy or policies which may cover other properties owned or operated by Tract 2 Owner.

For purposes of this Agreement, the term "Constant Dollars" shall mean the value of the U.S. dollar to which such phrase refers, as adjusted from time to time. An adjustment shall occur on the 1st day of January of the fifth (5<sup>th</sup>) full calendar year following the date of this Agreement, and thereafter at five (5)

year intervals. Constant Dollars shall be determined by multiplying the dollar amount to be adjusted by a fraction, the numerator of which is the Current Index Number and the denominator of which is the Base Index Number. The "Base Index Number" shall be the level of the Index for the year in which this Agreement is executed; the "Current Index Number" shall be the level of the Index for the year preceding the adjustment year; the "Index" shall be the Consumer Price Index for All Urban Consumers, published by the Bureau of Labor Statistics of the United States Department of Labor for U.S. City Average, All Items (1982-84=100), or any successor index thereto as hereinafter provided. If publication of the Index is discontinued, or if the basis of calculating the Index is materially changed, then Tract 1 Owner and Tract 2 Owner shall substitute for the Index comparable statistics as computed by an agency of the United States Government or, if none, by a substantial and responsible periodical or publication of recognized authority most closely approximating the result which would have been achieved by the Index.

3. **Maintenance.** Tract 1 Owner shall keep the improvements located within the Easement Area neat, orderly in condition and appearance, and in good repair and in compliance with all applicable laws. Except as otherwise provided herein, the improvements located within the Easement Area shall not be obstructed in any way but shall be kept open at all times for the free use thereof.

4. **Indemnification.** Tract 2 Owner (as an "indemnitor") shall defend, indemnify and hold harmless Tract 1 Owner (as an "indemnitee") from and against all claims, damages, liabilities and expenses (including reasonable attorneys fees, court costs and expenses) which are incurred by the indemnitee in connection with loss of life, personal injury and/or property damage arising from the indemnitor's exercise of the indemnitor's easement rights granted herein, except to the extent caused by willful or negligent acts of the indemnitee or to the extent covered by insurance. The indemnitee shall tender defense of any claim subject to the indemnitor's indemnity to the indemnitor in sufficient time to avoid prejudice, and the indemnitor shall be entitled to defend the same with counsel of its selection and reasonably acceptable to the indemnitee.

5. **Rights Reserved.** Tract 1 Owner reserves and shall continue to enjoy the use of Tract 1 for any purpose which does not interfere in any material respect with or prevent the use by Tract 2 Owner of the easements herein granted, including the right to locate and relocate buildings, driveways, parking areas and other improvements to be located upon Tract 1, provided there is no material and adverse impact to the quality or quantity of the parking or access provided hereunder, and provided further that no buildings or permanent structures shall be located within the Easement Area.

6. **Duration.** The easements, covenants, conditions and restrictions contained herein shall exist at all times hereafter, shall create mutual benefits and covenants running with the land, and shall be binding upon any owner, tenant or occupant of Tract 1 or Tract 2 and their respective legal representatives, heirs, successors and assigns.

7. **Not a Public Dedication.** Nothing herein contained shall be deemed to be a grant or dedication of any portion of Tract 1 to or for the general public or for any public purposes whatsoever, it being the intention of Tract 1 Owner and Tract 2 Owner that this Agreement shall be strictly limited to and for the purposes herein expressed.

8. **Sole Agreement.** This Agreement may not be amended or modified in any respect whatsoever except by an instrument in writing signed by all parties. This Agreement constitutes the entire agreement between the parties with respect to the matters set forth herein and supersedes all prior negotiations, discussions, writings and agreements between them in connection therewith other than the Declaration.

9. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois.

10. **Partial Invalidity.** Should any one or more of the provisions of this Agreement be determined to be invalid, unlawful or unenforceable in any respect, the validity, legality and enforceability of the remaining provisions hereof shall not in any way be affected or impaired thereby unless as a result the purpose and intent of this Agreement shall thereby be substantially and essentially impaired. In such event, the parties shall diligently proceed to revise this Agreement in order to memorialize such purpose and intent.

11. **Miscellaneous.** This Agreement shall be binding upon and inure to the benefit of each of: (a) Tract 1 Owner and all successor owners of Tract 1; and (b) Tract 2 Owner and all successor owners of Tract 2, each of whom shall accept and undertake, and shall be deemed to have accepted and undertaken, all rights and obligations of Tract 1 Owner or Tract 2 Owner, respectively, upon transfer of ownership in Tract 1 or Tract 2, respectively. Wherever a transfer occurs in the ownership of either Tract 1 or Tract 2, the transferor shall have no further liability for breach of covenant occurring thereafter. Each owner agrees to look solely to the interest of the other owner in its respective Tract for the recovery of any judgment from such Tract owner, it being agreed that the owner of any such Tract and its partners, directors, officers, members, managers or shareholders shall never be personally liable for such judgment.

[Signature Page Follows]

IN WITNESS WHEREOF, Tract 1 Owner and Tract 2 Owner have executed this Agreement as of the day and year first above written.

**TRACT 1 OWNER:**

**ROC WILLOWBROOK LLC,**  
an Illinois limited liability company

By:   
Michael Siurek, its Manager

**TRACT 2 OWNER:**

**ROC WBCS II LLC,**  
a Delaware limited liability company

By: ROC WBCS LLC, an Illinois limited liability company, its Manager

By:   
Its: Michael Siurek, its Manager

This instrument was prepared by  
and after recording return to:

Daniel J. Kopp  
Daspin & Aument, LLP  
227 West Monroe Street  
Suite 3500  
Chicago, IL 60606

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DuPage )

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell, personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, as Manager of ROC WBCS II LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said limited liability companies, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20<sup>th</sup> day of July, 2015.



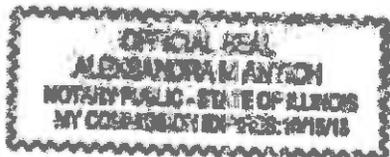
[Signature]  
Notary Public

My Commission Expires: 01/16/18

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DuPage )

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability partnership, as his free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20<sup>th</sup> day of July, 2015.



[Signature]  
Notary Public

My Commission Expires: 01/16/18

**EXHIBIT A**

**TRACT 1:**

**LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE  
SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_,  
2015 AS DOCUMENT NO. \_\_\_\_\_, IN DUPAGE COUNTY, ILLINOIS.**

**TRACT 2:**

**LOT 2 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE  
SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_,  
2015 AS DOCUMENT NO. \_\_\_\_\_, IN DUPAGE COUNTY, ILLINOIS.**

**EXHIBIT B**

**Easement Area**

THAT PART OF LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED \_\_\_\_\_, 2015 AS DOCUMENT NO. \_\_\_\_\_, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 223.13 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG SAID NORTH LINE, A DISTANCE OF 140.66 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 27 SECONDS WEST, A DISTANCE OF 41.84 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 17.75 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 73.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 33.42 FEET; THENCE SOUTH 34 DEGREES 21 MINUTES 36 SECONDS EAST, A DISTANCE OF 16.93 FEET; THENCE SOUTH 55 DEGREES 38 MINUTES 24 SECONDS WEST, A DISTANCE OF 163.00 FEET; THENCE NORTH 34 DEGREES 21 MINUTES 36 SECONDS WEST, A DISTANCE OF 61.00 FEET; THENCE NORTH 55 DEGREES 38 MINUTES 24 SECONDS EAST, A DISTANCE OF 173.29 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.



**EXHIBIT "D"**  
**ROC INDUSTRIAL SUBDIVISION PLAT**

# FINAL PLAT ROC INDUSTRIAL SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 24 NORTH,  
RANGE 17 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUNDEE COUNTY, ILLINOIS.

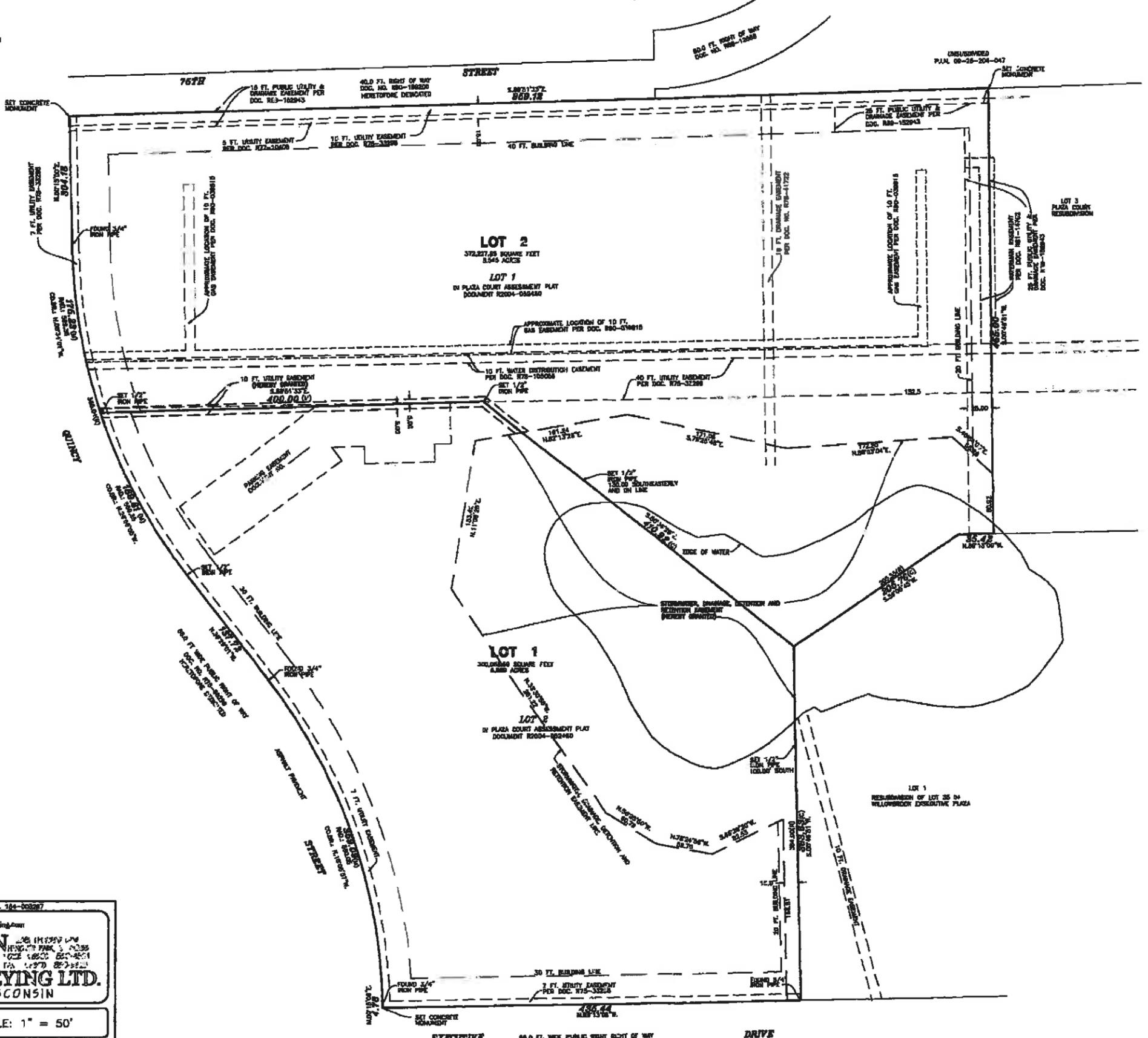
P.L.N. 08-26-403-027  
08-26-103-028

SUBMITTED BY AND RETURN TO:  
VILLAGE OF WILLOWBROOK  
235 SOUTH OAK ST.  
WILLOWBROOK, ILLINOIS 60157



BASED ON RECORDED  
SURVEYS AND BASED ON THE  
TRUSTED LINE OF EXISTING BLDG.  
AS SHOWN ON THE RECORDED PLAT  
OF PLAZA COURT REDEVELOPMENT  
AS SHOWN THEREON.

(D) INDICATES RECORD DIMENSION  
(M) INDICATES MEASURED DIMENSION  
(C) INDICATES CALCULATED DIMENSION  
AREA IS FOUND TO  
BE 27,511.1 SQUARE FEET OR 13.434  
ACRES



SHEET 1 OF 2

PROFESSIONAL ENGINEER REGISTRATION NO. 144-00287

**HARRINGTON**  
LAND SURVEYING LTD.  
ILLINOIS & WISCONSIN

ORDERED BY:  
KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 082-13WEST  
DRAWN BY: PJM

COMMON ADDRESS:  
7801 QUINCY STREET  
WILLOWBROOK, ILLINOIS



**EXHIBIT "E"**  
**ROC INDUSTRIAL PUD**

FINAL PLAT  
**ROC INDUSTRIAL P.U.D.**  
 BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH,  
 RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 09-59-403-137  
 09-59-403-035

SUBMITTED BY AND RETURNED TO  
 J. L. HARRINGTON  
 835 MIDWAY DRIVE  
 WILLOWBROOK, ILLINOIS 60157



BEARINGS ARE BASED ON THE  
 NORTH LINE OF EXECUTIVE DRIVE  
 AS SHOWN ON THE RECORDED  
 PLAT OF PLAZA COURT  
 RESUBDIVISION AS S.89°13'09"E.

(R) INDICATES RECORD DIMENSION  
 (M) INDICATES MEASURED DIMENSION

AREA IS EQUAL TO:  
 672,318.34 SQUARE FEET OR 15.434  
 ACRES

P.U. INDICATES PUBLIC UTILITY EASEMENT  
 D.E. INDICATES DRAINAGE EASEMENT

LINE DIMENSIONS			LINE DIMENSIONS		
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
L1	N.84°15'13"E	80.06	L23	N.55°00'00"E	11.01
L2	S.89°11'13"E	28.83	L24	S.56°00'00"E	181.34
L3	N.88°27'29"E	84.27	L25	S.73°37'40"W	53.72
L4	S.35°00'00"E	6.80	L26	N.52°22'27"E	30.88
L5	S.55°00'00"W	49.94	L27	S.35°00'00"E	6.23
L6	N.87°11'01"E	109.00	L28	N.05°18'47"E	87.83
L7	S.84°07'38"E	24.88	L29	S.50°00'00"W	61.17
L8	N.89°21'19"E	79.08	L30	N.25°00'52"W	107.93
L9	S.00°43'03"W	22.57	L31	N.00°08'27"W	17.33
L10	S.10°18'40"W	31.70	L32	N.55°00'00"E	37.84
L11	S.54°07'36"E	25.29	L33	S.57°04'14"E	58.88
L12	S.10°31'04"W	11.07	L34	S.7°03'20"E	23.18
L13	N.54°07'36"W	25.05	L35	S.10°54'40"W	3.00
L14	S.10°18'40"W	21.87	L36	N.88°51'33"W	102.71
L15	S.48°21'18"W	25.25	L37	N.24°09'04"W	20.00
L16	N.38°00'00"W	139.82	L38	N.65°50'56"E	35.56
L17	S.87°11'01"W	118.42	L39	S.00°08'27"W	32.85
L18	S.55°00'00"W	14.51	L40	N.88°51'33"W	24.18
L19	S.05°15'47"W	87.81	L41	N.56°47'21"E	86.40
L20	S.35°00'00"E	122.70	L42	N.51°21'15"E	60.89
L21	S.55°00'00"W	10.77	L43	N.31°58'34"E	174.41
L22	S.36°17'40"E	33.78			

CURVE DIMENSIONS			
NO.	ARC LENGTH	RADIUS	CHORD BEARING
C1	191.70	560.05	N.27°19'08"W
C2	14.53	569.35	N.27°19'08"W
C3	25.42	560.05	N.13°23'19"W
C4	114.37	560.05	N.6°14'17"W

SHEET 1 OF 2

PROFESSIONAL DESIGN FIRM REGISTRATION NO. 184-003297

www.HarringtonLandSurveying.com  
**HARRINGTON**  
**LAND SURVEYING LTD.**

UNDER GROUND UTILITY INFORMATION  
 HEREON IS FROM OBSERVABLE EVIDENCE.  
 ALL UNDER GROUND UTILITY LOCATIONS  
 MUST BE VERIFIED PRIOR TO ANY  
 CONSTRUCTION.

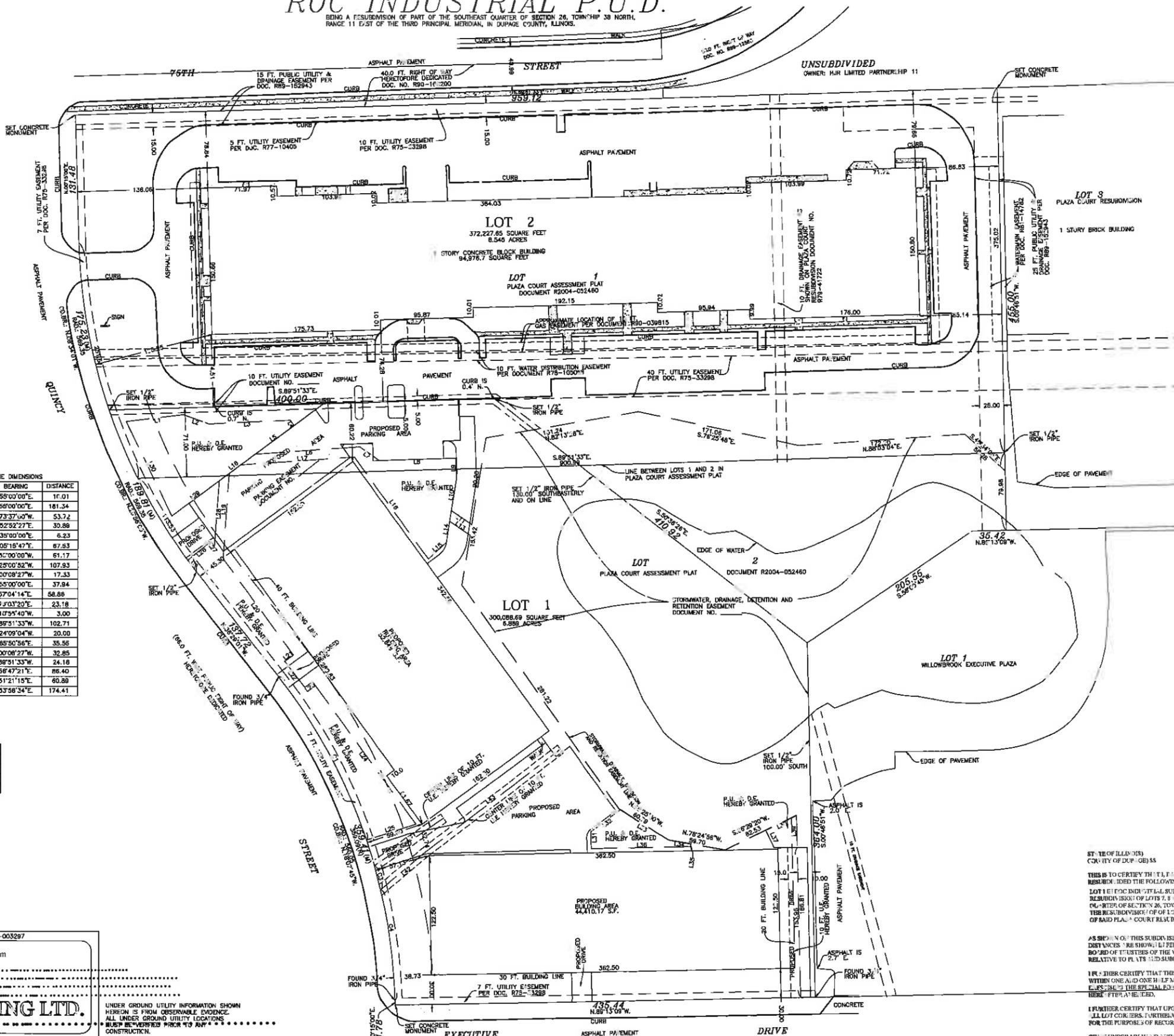
For Building Restrictions and Easements refer to your  
 Abstract Deed, Guarantee Policy and Local Ordinances.  
 COMPARE ALL POINTS BEFORE BUILDING  
 AND AT ONCE REPORT ANY DIFFERENCES

ORDERED BY:  
 KOZIOL ENGINEERING

SCALE: 1" = 50'

SURVEY NO.: 062-13PUD  
 DRAWN BY: RJM  
 FILE NAME: 062-13.DWG

COMMITTEE ADDRESS:  
 7601 QUINCY STREET  
 WILLOWBROOK, ILLINOIS.



USE AREA ADJUSTMENT

LAND AREA	
NO. OF BUILDINGS - 2	
NO. OF DWELLING UNITS - NONE	
NO. OF DWELLING UNITS PER ACRE - NONE	

STATE OF ILLINOIS  
 COUNTY OF DUPAGE

THIS IS TO CERTIFY THAT I, J. L. HARRINGTON, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2495, HAVE SURVEYED AND  
 RECORDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 1 OF ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF LOT 4 OF PLAZA COURT RESUBDIVISION, BEING A  
 RESUBDIVISION OF LOTS 7, 8 AND 9 OF WILLOWBROOK EXECUTIVE PLAZA, A SUBDIVISION OF PART OF THE SOUTHWEST  
 QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS,  
 RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLETED WITH THE PREPARATION OF THIS PLAT.

AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND RESUBDIVISION, ALL  
 DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL RESUBDIVISIONS COMPLETED BY THE  
 BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK, ILLINOIS, IN CONNECTION WITH THE DEVELOPMENT OF THIS PLAT, IN  
 ACCORDANCE WITH THE SPECIAL ORDINANCES AUTHORIZED BY ARTICLE II, DESIGN 12 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR  
 HEREIN AMENDED.

I FURTHER CERTIFY THAT THIS SUBDIVISION PLAT COMPLETES THE CORRECT REPRESENTATION OF SAID VILLAGE OF WILLOWBROOK OR  
 WITHIN ONE AND ONE-HALF FEET OF THE CORNER POINTS OF SAID VILLAGE OF WILLOWBROOK, OR ITS AGENTS, TO THE CITY OF  
 WILLOWBROOK, ILLINOIS.

I FURTHER CERTIFY THAT UPON COMPLETION OF MASS GRADING, IRON PIPE AND CONCRETE ADJUSTMENTS WILL BE SET AT  
 ALL LOT CORNERS. FURTHERMORE, I DESIGNATE THE ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2495, TO BE RESPONSIBLE  
 FOR THE PURPOSES OF RECORDING THIS DOCUMENT.

GIVEN UNDER MY HAND AND SEAL AT WILLOWBROOK, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2015

J. L. HARRINGTON  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2495  
 234 LEEWARD LAKE  
 WILLOWBROOK, ILLINOIS



**EXHIBIT "F"**  
**APPROVED PLANS**

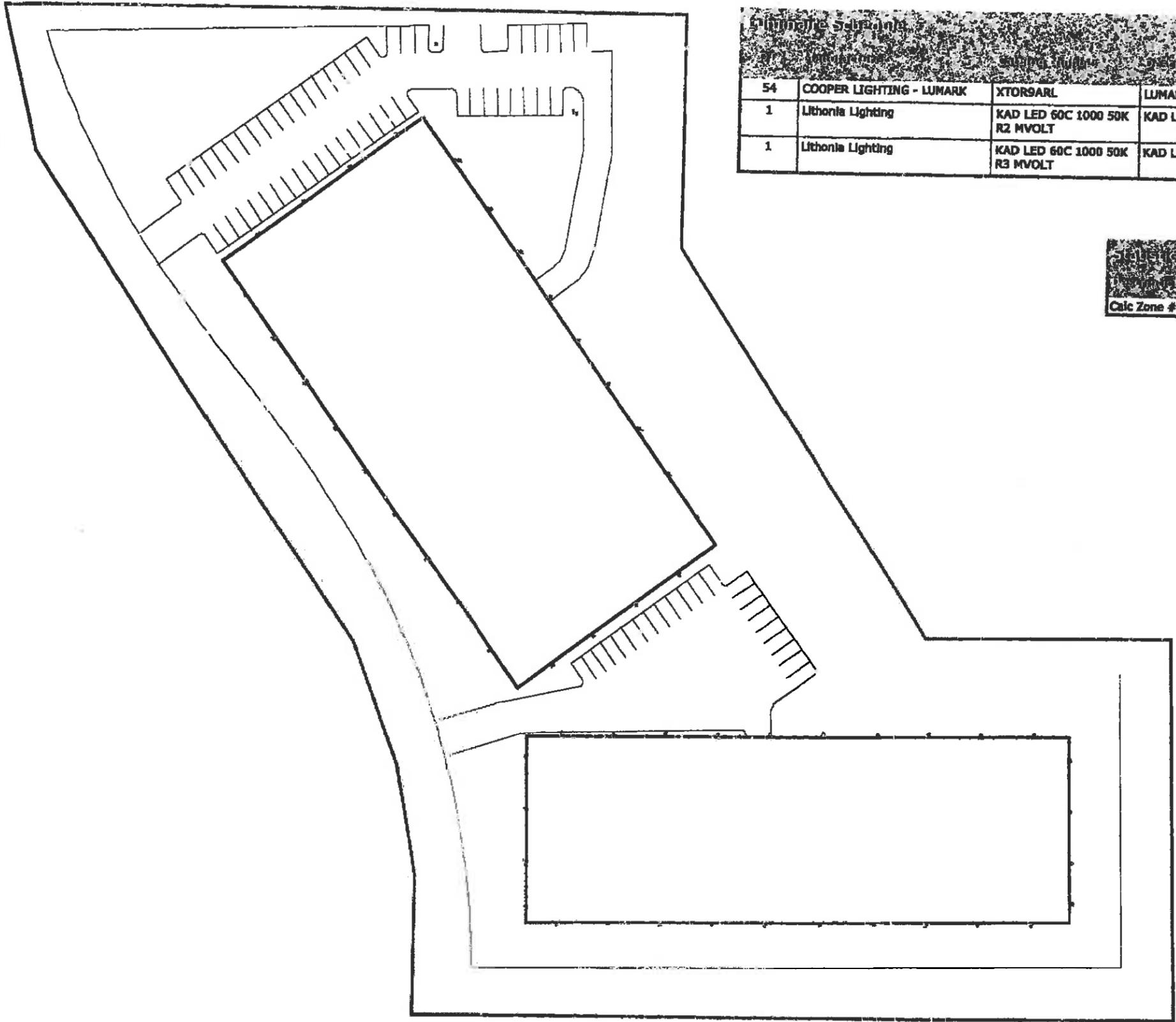
1. Color Elevations (1 Sheet) hand dated December 29, 2015.
2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
5. Building B details, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 23, 2015.
6. Final Engineering, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 28, 2015.



12-29-15







Plan View

Quantity	Manufacturer	Model Number	Description	Notes
54	COOPER LIGHTING - LUMARK	XTOR9ARL	LUMARK CROSSTOUR MAXX LED 85W - 5000K, REFRACTIVE LENS	84.6
1	Lithonia Lighting	KAD LED 60C 1000 50K R2 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 2 OPTICS.	432
1	Lithonia Lighting	KAD LED 60C 1000 50K R3 MVOLT	KAD LED, 60 LED, 1 AMP MVOLT DRIVER, 5000K, TYPE 3 OPTICS.	216

Calc Zone #1	+	1.8 ft	9.3 ft	0.0 ft	N/A	N/A	0.2:1
--------------	---	--------	--------	--------	-----	-----	-------

7601 Quincey St  
Willowbrook, IL  
LED Wall Packs

Designer  
Josh Helsel  
Date  
6/4/2015  
Scale  
Not to Scale  
Drawing No.  
Summary

# QUINCY STREET STORAGE

## 7601 QUINCY STREET, Bldg. A WILLOWBROOK, ILLINOIS

### PROJECT DIRECTORY:

#### OWNER:

#### ARCHITECT:

KOZIOL AND BROWN  
ARCHITECTS AND ENGINEERS  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8888  
DESIGN FIRM #184-003978

#### ENGINEER:

KOZIOL ENGINEERING SERVICES  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8888  
DESIGN FIRM #184-000988

#### VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT  
24401 LOCKPORT ST  
PLAINFIELD, IL 60514  
815/430-2937

### SHEET INDEX:

#### ARCHITECTURAL

A0 COVER PAGE  
A1.0 FRONT AND REAR ELEVATIONS  
A2.0 LEFT AND RIGHT ELEVATIONS  
A3.0 FLOOR PLAN  
A4.0 BUILDING SECTION  
A5.0 ROOF PLAN  
A6.0 BUILDING SECTION  
A7.0 WALL SECTION, DETAILS & SCHEDULES

#### STURCTURAL

S1.0 FOUNDATION PLAN  
S2.0 FRAMING PLAN  
S3.0 FRAMING DETAILS

### PROJECT INFORMATION

PROJECT ADDRESS: 7601 QUINCY STREET  
WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)  
ONE -STORY  
SPRINKLERED

CONSTRUCTION TYPE: I-II

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

#### LOADS:

FIRST FLOOR LOADS:  
DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)  
DEAD 10 PSF (PARTITIONS/ FINISHES)  
LIVE 100 PSF

ROOF LOADS:  
DEAD 25 PSF (10 PSF ROOF)  
(10 PSF BOTTOM CHORD-MECH)  
(5 PSF TRUSS)

LIVE:  
ROOF: 30 PSF  
SNOW (Pg): 25 PSF  
Cp= 0.90  
Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,  
EXPOSURE B

LIVE:  
WIND: 25 PSF  
Ic= 1.00

CONSTRUCTION:  
DEAD 15 PSF  
LIVE 20 PSF  
WIND 8.4 PSF 1 YEAR DURATION

SEISMIC DATA:  
IMPORTANCE FACTOR 1.0  
OCCUPANCY CATEGORY II  
Ss 0.16  
SI 0.05  
SITE CLASS D  
Sds 0.17  
SDI 0.08  
SEISMIC DESIGN CATEGORY B

### LOCATION MAP:



QUINCY STREET STORAGE  
7601 QUINCY STREET  
WILLOWBROOK, IL

#### VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

2009 EDITION OF THE INTERNATIONAL BUILDING CODE  
2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE  
2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)  
2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE  
2009 EDITION OF THE INTERNATIONAL PLUMBING CODE  
2004 ILLINOIS STATE PLUMBING CODE  
2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE  
ILLINOIS ENERGY CONSERVATION CODE  
2009 EDITION OF THE INTERNATIONAL FIRE CODE  
2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE  
1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

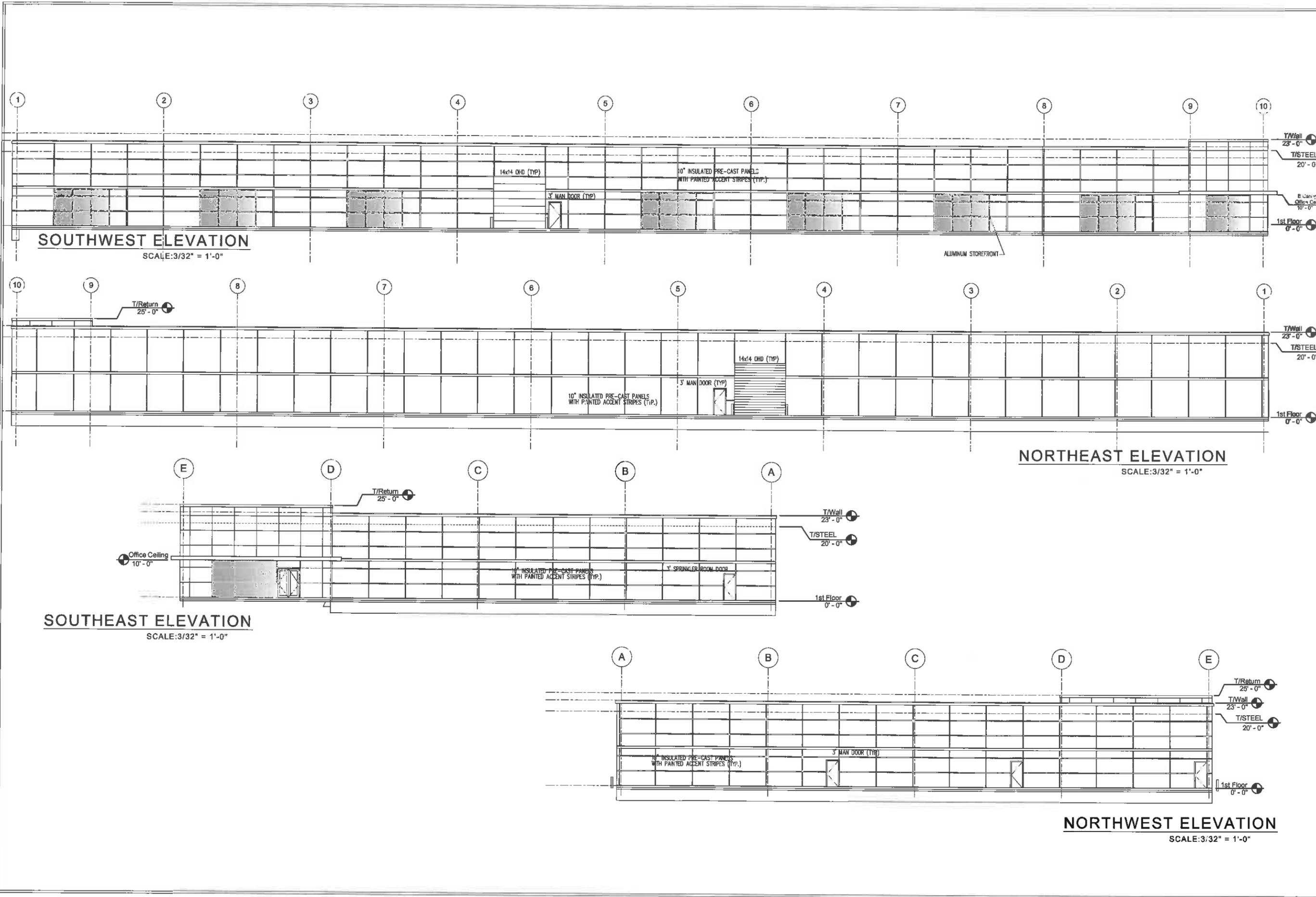
JAMES E. KOZIOL, P.E. EXP 11-30-15  
PAGES M1.0 THROUGH E2.0

I HEREBY CERTIFY THAT APPLICABLE SECTIONS  
OF THESE PLANS WERE PREPARED UNDER ME  
OR UNDER MY SUPERVISION AND TO THE BEST  
OF MY KNOWLEDGE COMPLIES WITH ALL  
APPLICABLE CODES.

PHYLLIS G. BROWN, REGISTERED ARCHITECT  
EXP 11/30/16  
PAGES A1.0 THROUGH



SCALE	AS NOTED	PROJECT NUMBER	DATE	DESCRIPTION	DRAWN BY
		14948	11/09/15	BUILDING CONCEPT PLANS FOR PERMIT	JRH
			11/20/15	REVISED PER CONCEPT REVIEW	
			12/22/15		
COVER SHEET					
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS					

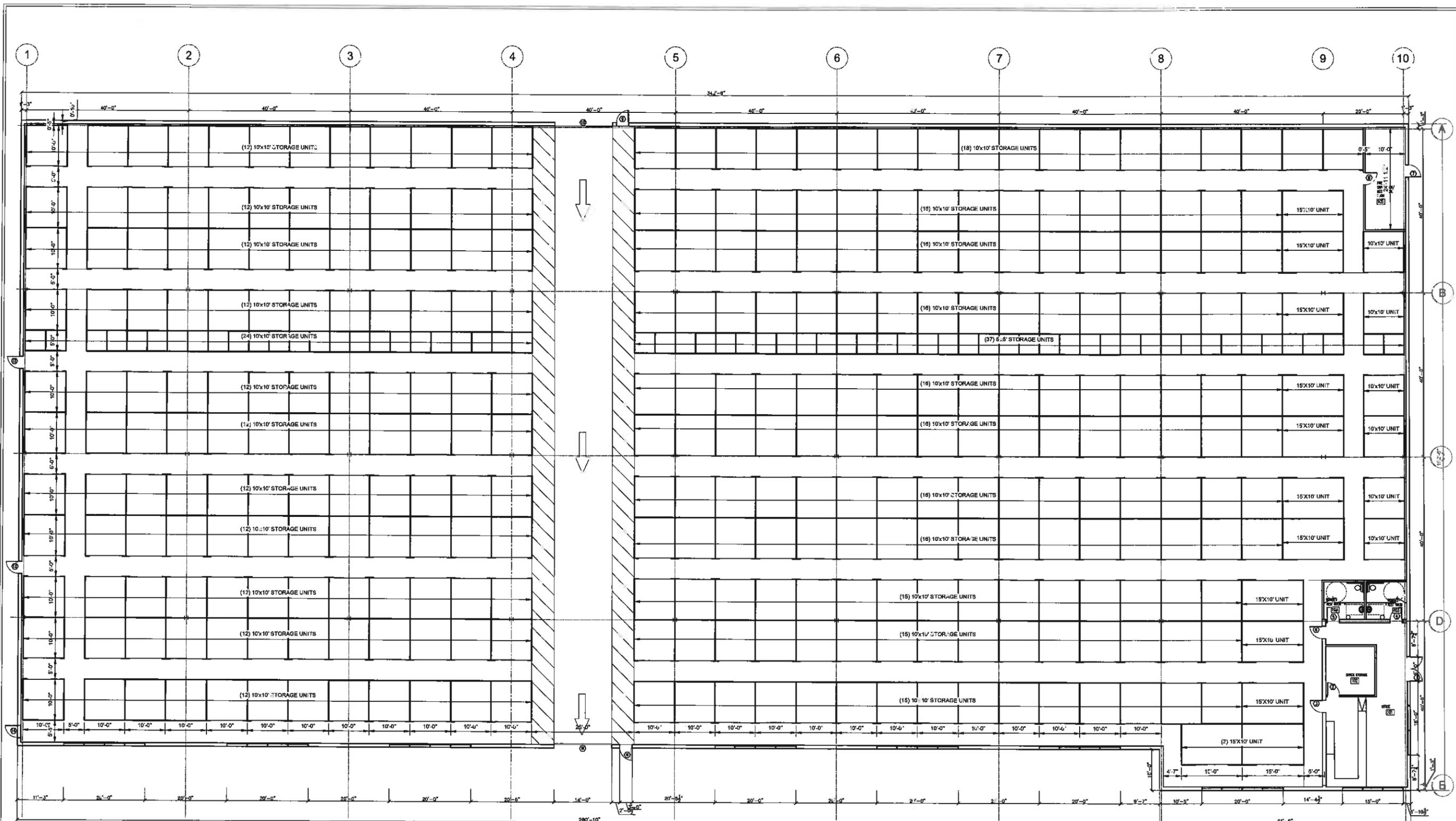


**KOSZOL ENGINEERING SERVICES**  
 11-11 Ogden Avenue  
 Willowbrook, IL 60522  
 PH: (630) 435-8668 F: (630) 435-0889  
 www.koszol-engineering.com



REV	DATE	DESCRIPTION	DRAWN BY
0	10/2/15	BUILDING CONCEPT PLANS FOR PERMIT	JRT
1	11/22/15	REVISED PER CONCEPT REVIEW	
2	11/22/15	REVISED PER CONCEPT REVIEW	

AS NOTED  
 PROJECT NUMBER: 14248  
 7601 Quincy Street, Bldg A  
 WILLOWBROOK, ILLINOIS



<b>BUILDING SQUARE FOOTAGE</b>	
OFFICE SPACE	1000 SF
MECHANICAL	264 SF
STORAGE UNIT SPACE	52,847.92 SF
<b>TOTAL BUILDING SQUARE FOOTAGE</b>	<b>55,656.25 SF</b>
<b>NUMBER OF STORAGE UNITS</b>	
10'x10'	313
5'x5'	61
10'x15'	12
<b>TOTAL NUMBER OF UNITS</b>	<b>386</b>

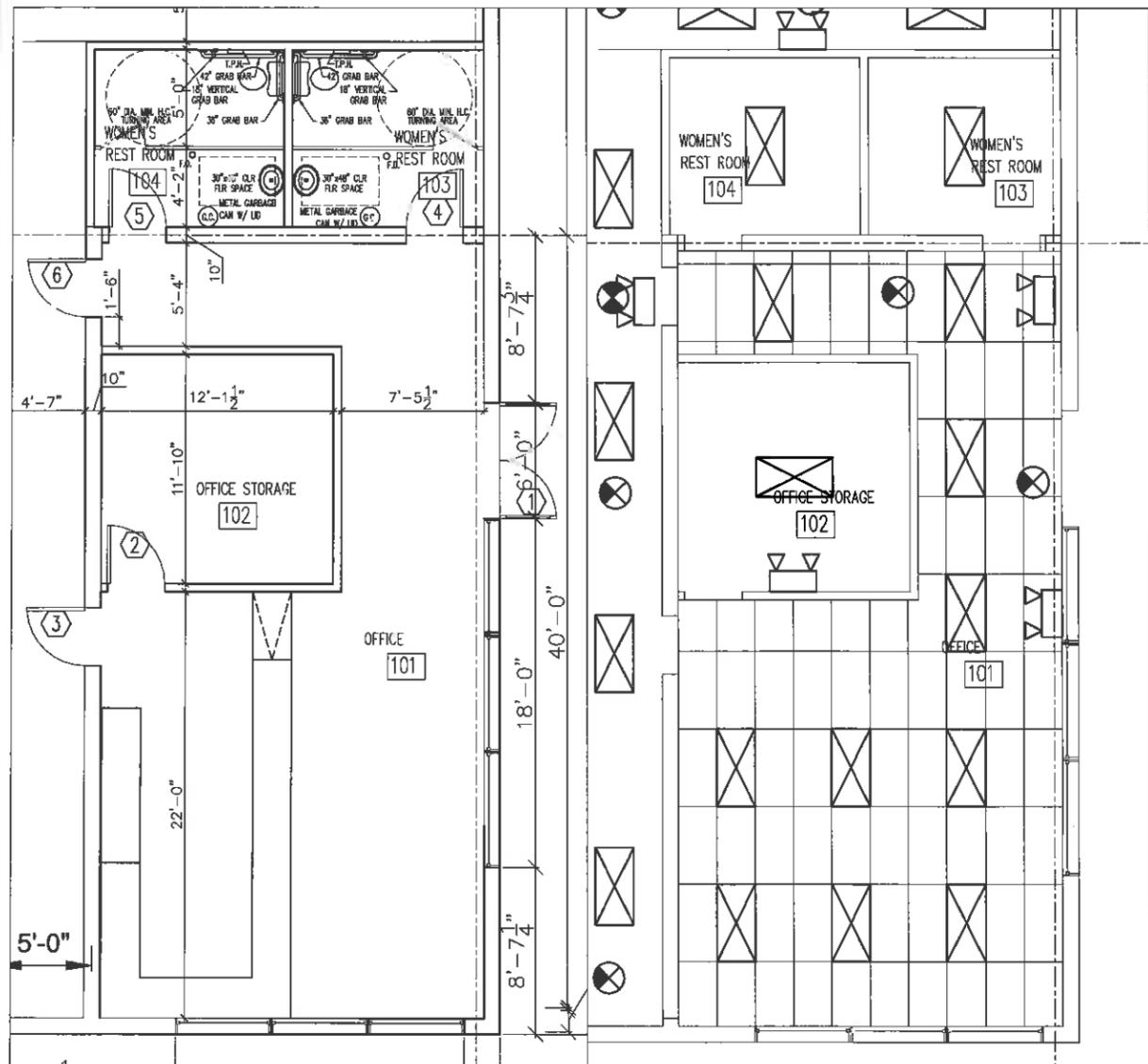
# OVERALL FLOOR PLAN

SCALE: 3/32" = 1'-0"



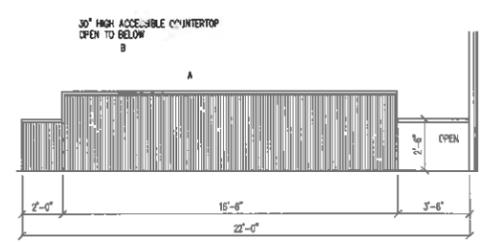
SCALE	AS NOTED	PROJECT NUMBER	142-19
REV	DATE	DESCRIPTION	
0	10/3/15	BUILDING A CONCEPT PLANS FOR PERMIT	
1	11/20/15	REVISED PER CONCEPT REVIEW	
2	12/23/15	REVISED PER CONCEPT REVIEW	
DRAWN BY: JRH			

**PROPOSED FLOOR PLAN**  
 7601 Quincy Street, Bldg A  
 WILLOWBROOK, ILLINOIS

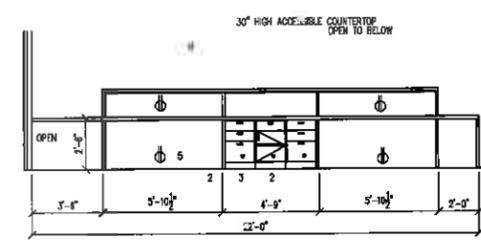


- OFFICE LEGEND**
- ① LATERAL FILE, 2 DRAWERS 28 1/4" x 17 1/2" x 24"
  - ② FILE & 2 DRAWERS 28 1/4" x 19 1/2" x 24"
  - ③ DRAWER & 1-DOOR CABINET 28 1/4" x 19 1/2" x 22"
  - ④ 2-DRAWER & 2-DOOR CABINET 28 1/4" x 23 1/2" x 22"
  - ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
  - ⑥ 4" BACKSPLASH
  - ⑦ WALL MTL. PLASMA TV, 42" HD, PANASONIC TV 42PH06BK W/ HEAVY DUTY WALL MOUNTS - PROVIDE POWER SUPPLY IN WALL BEHIND TV. REFER TO ELECTRICAL DWGS.
- Ⓢ VINYL BASE  
 Ⓣ DISPLAY AREA  
 Ⓤ EXIST. STRUCTURE

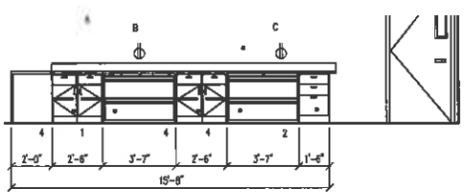
- FINISH LEGEND**
- ① PLASTIC LAMINATE
  - ② SOLID SURFACE COUNTERTOP
  - ③ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE
  - ④ TONK KICK / DETAIL - BLACK FINISH
  - ⑤ EXISTING CEILING GRID W/ NEW CEILING TILES
  - ⑥ SALVAGED CEILING GRID W/ NEW CEILING TILES
  - ⑦ SIGNAGE - BY OTHERS



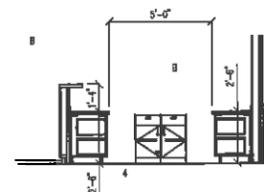
FRONT COUNTER ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



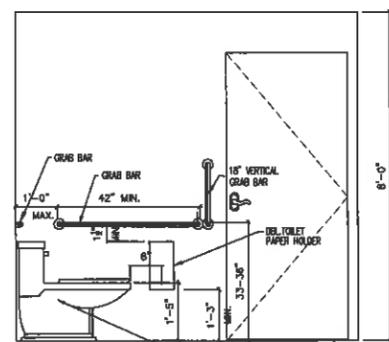
FRONT COUNTER ELEVATION (BACK)  
SCALE: 1/4" = 1'-0"



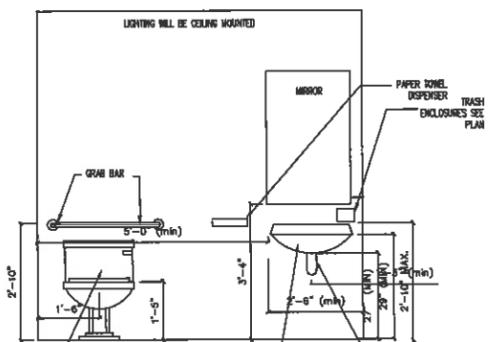
REAR COUNTER  
SCALE: 1/4" = 1'-0"



SIDE VIEW  
SCALE: 1/4" = 1'-0"



SIDE RESTROOM ELEV.



FRONT RESTROOM ELEV.

**OFFICE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**OFFICE REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



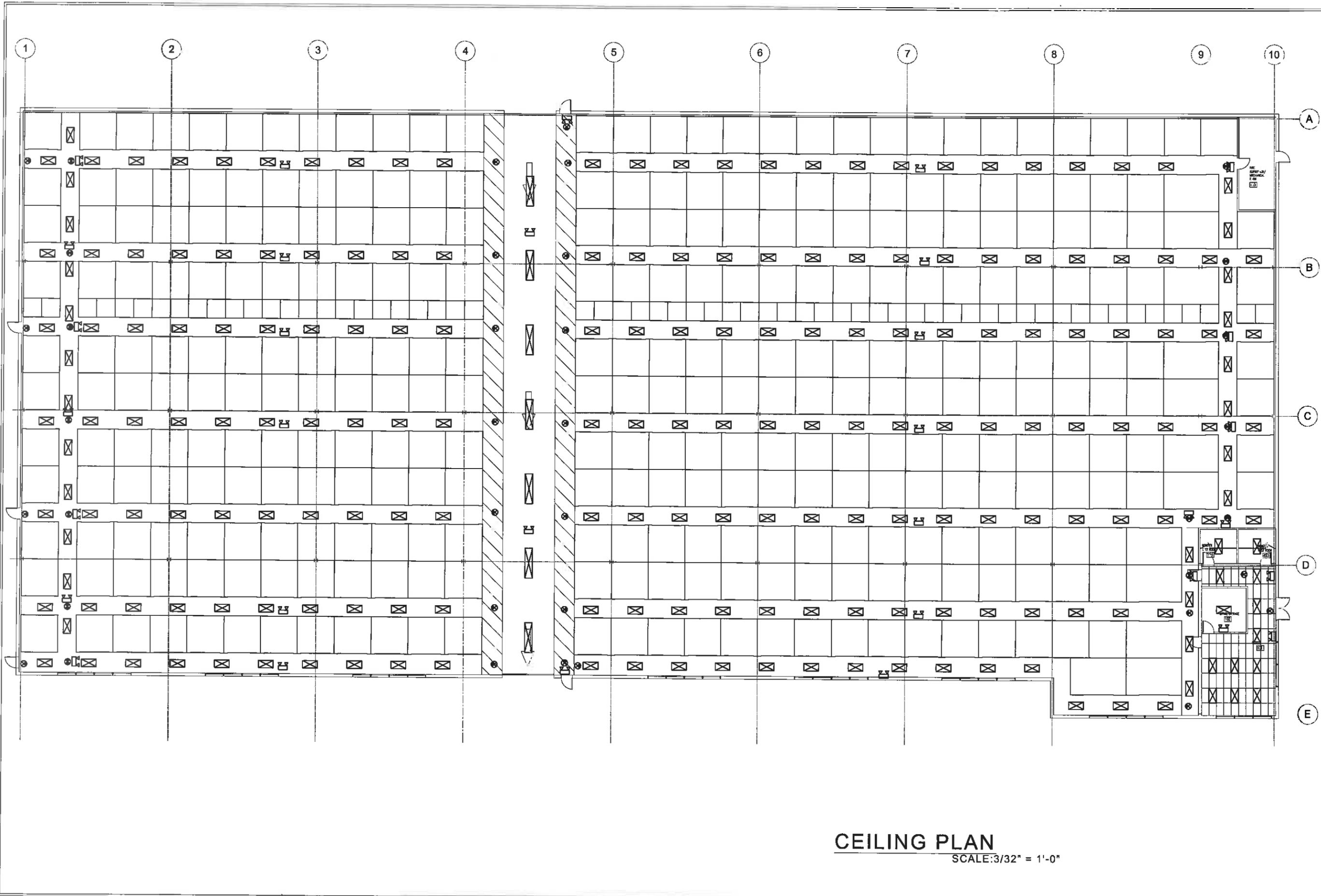
REV	DATE	DESCRIPTION	DRAWN BY
0	10/6/15	BUILDING & CONCEPT PLANS FOR PERMIT	JRH
1	11/23/16	REVISED PER CONCEPT REVIEW	
2	12/23/16	REVISED PER CONCEPT REVIEW	

SCALE AS NOTED	PROJECT NUMBER 14249
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OFFICE PLANS	7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS
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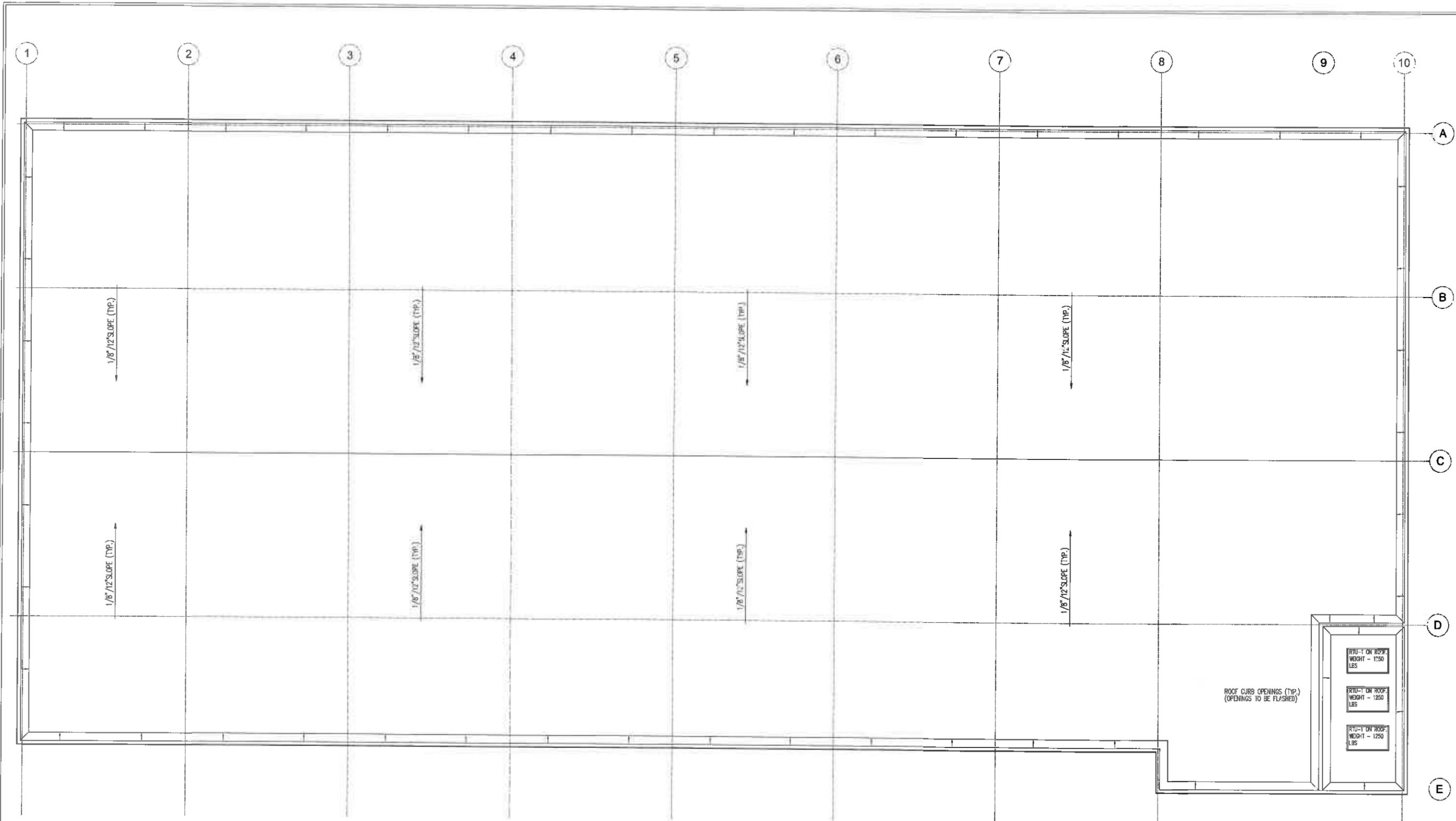
**CEILING PLAN**  
SCALE: 3/32" = 1'-0"

**KOZIOL ENGINEERING SERVICES**  
1821 Ogden Avenue  
P.O. Box 435-8685  
Lisle, Illinois 60532  
F. (815) 435-8685  
www.koziole.com



SCALE	AS NOTED	PROJECT NUMBER	14018
DATE	10/2/15	DESCRIPTION	BUILDING A CONCEPT PLANS FOR PERMIT
REV	1	DATE	11/20/15
	2	DATE	12/22/15
		DESCRIPTION	FEASIBILITY PER CONCEPT REVIEW
DRAWN BY	JRH		
CHECKED BY			
DATE			

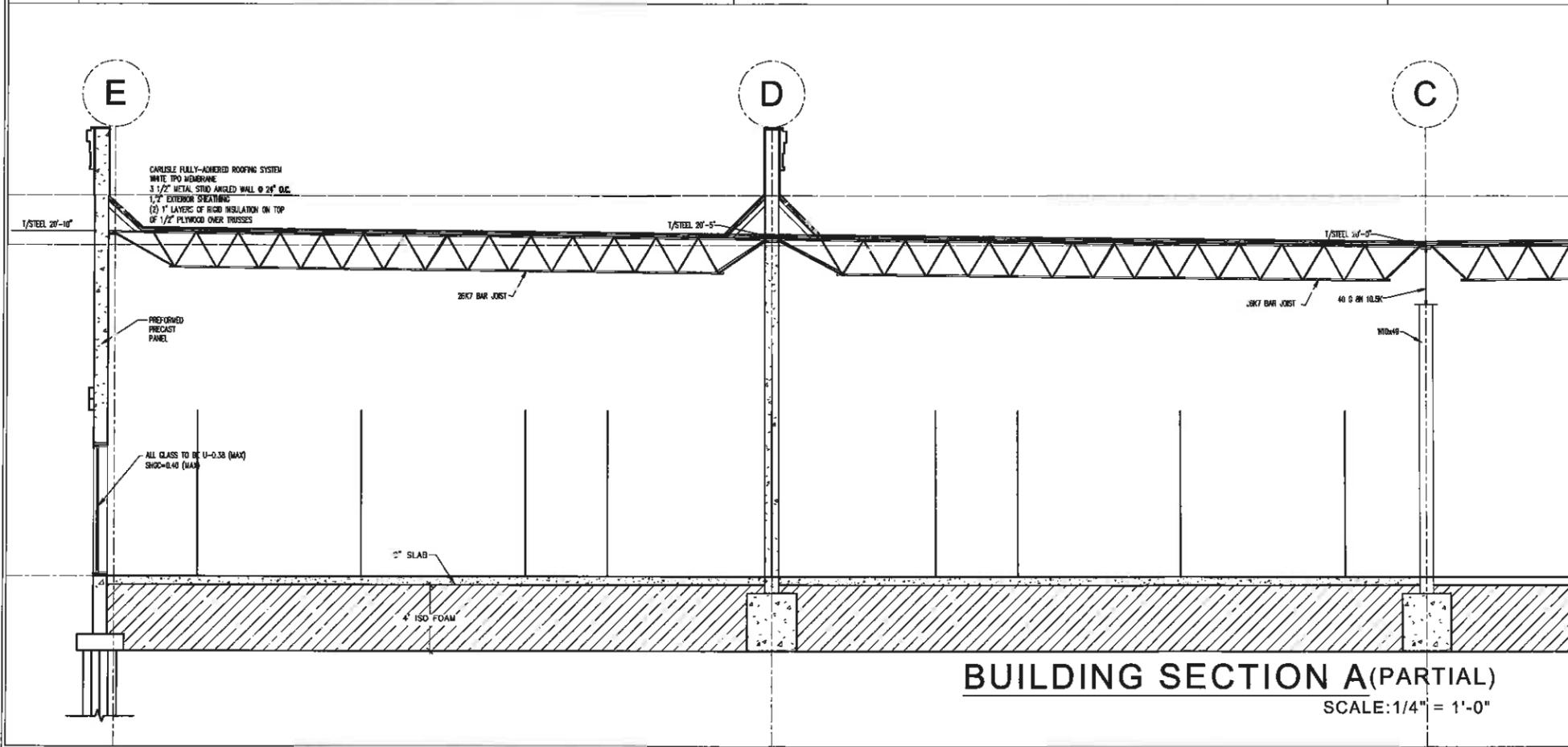
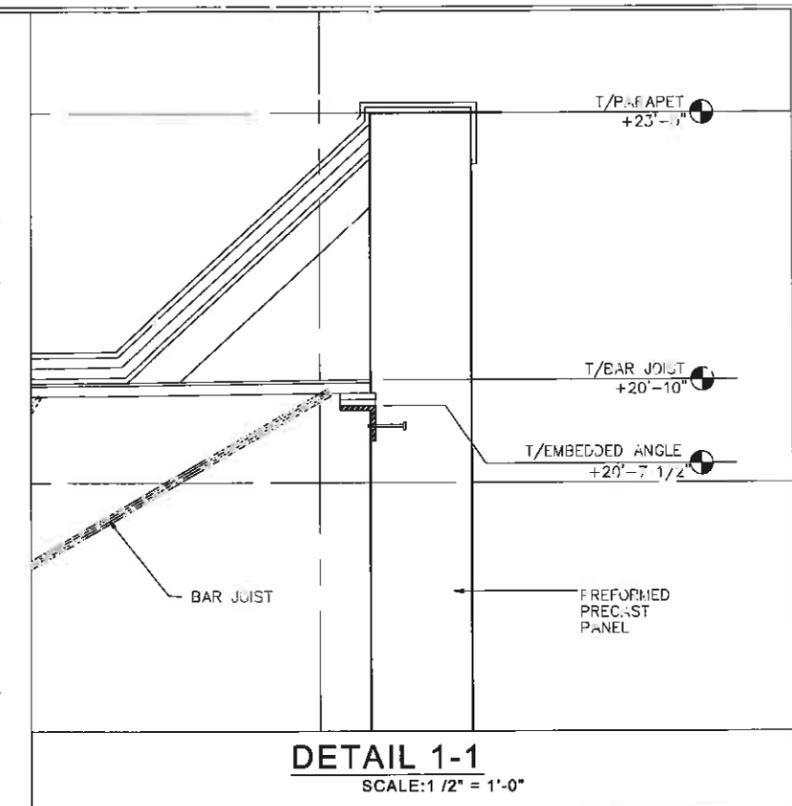
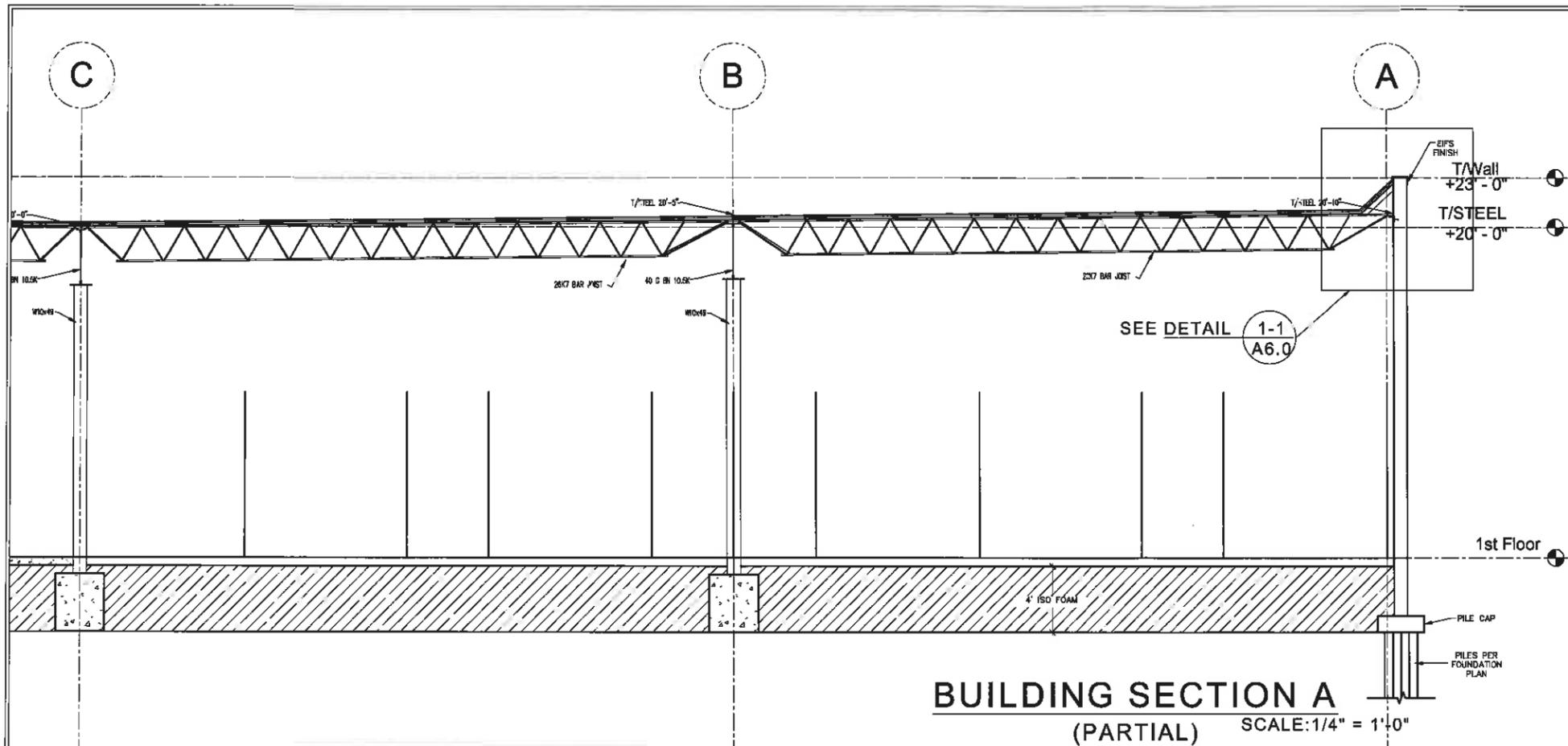
7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS



**ROOF PLAN**  
SCALE: 3/32" = 1'-0"

REV	DATE	DESCRIPTION	DRAWN BY:
0	10/15/15	BUILDING A CONCEPT PLANS FOR PERMIT	JRH
1	11/24/15	FOR PERMIT	
2	12/21/15	REVISED PER CONCEPT REVIEW	

SCALE	AS NOTED
PROJECT NUMBER	14249
ROOF PLAN	
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



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1621 Ogden Avenue, Lake, Illinois 60032  
PH: (800) 434-6113 F: (630) 435-0663

**KES**

REV	DATE	DESCRIPTION	DRAWN BY
0	10/31/16	BUILDING A CONCEPT PLANS FOR PERMIT	JRH
1	1/12/16		
2	1/12/16	REVISED PER CONCEPT REVIEW	

SCALE	AS NOTED	PROJECT NUMBER
		14C19

**BUILDING CROSS SECTION**  
7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS

Page 4 of 16



NOTE: ALL FINISH COLORS, TILE AND CARPET GRADES BY OWNER.

FLOORS		BASES		WALLS		CEILING	
KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION	KEY	FINISH DESCRIPTION
F-1	CONCRETE-SEALED AND PAINTED	B-1	CERAMIC CODED BASE	W-1	CONCRETE BLOCK - PAINTED	C-1	EXPOSED CONSTRUCTION
F-2	VINYL COMPOSITION TILE	B-2	4" VINYL LAKE	W-2	GYPSON BOARD - PAINTED	C-2	GYPSON BOARD - PAINTED
F-3	CERAMIC TILE, NON-SLIPPERY	B-3	WELDER STRAIGHT	W-3	WALL COVERING - STAINLESS STEEL	C-3	2" x 4" ACUSTIC TILE
F-4	HARDWOOD	B-4	WOOD (3 1/2")	W-4	WOOD PANELING	C-4	2" x 4" ACUSTIC TILE AND GRID SYSTEM
F-5	CARPET			W-5	CERAMIC TILE - FULL HEIGHT	C-5	STAINLESS STEEL
				W-6	GLASS AND GYPSON BOARD	C-6	VINYL GLASS WASHABLE 24" CEILING TILE
				W-7	GYPSON BOARD - POP COVERED		

DOOR SCHEDULE															
DOOR NO.	QTY.	DOORS				FRAMES				H.W. SET NO.	REMARKS				
		NO. 1	NO. 2	NO. 3	NO. 4	NO. 1	NO. 2	NO. 3	NO. 4						
FIRST FLOOR															
01	1	3'-0"	7'-0"	1'-7"	METAL	H.C.	A	---	METAL	---	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET & CLOSER
02	2	3'-0"	7'-0"	1'-7"	METAL	H.C.	A	---	METAL	---	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
03	1	3'-0"	7'-0"	1'-7"	METAL	H.C.	A	---	METAL	---	---	---	---	---	INSULATED METAL DOOR W/ PRIVATE LOCK SET & CLOSER
04	1	3'-0"	7'-0"	1'-7"	METAL	H.C.	A	---	METAL	---	---	---	---	---	INSULATED METAL DOOR W/ COMMERCIAL LOCK SET
05	2	3'-0"	7'-0"	1'-7"	STEEL	GLASS	B	---	STEEL	---	---	---	---	---	A.D.A. APPROVED PANELED HARDWARE W/ CLOSURES COMMERCIAL LOCK SET 1/4" TINTED GLASS

NOTE: OWNER OR CONTRACTOR SHALL SUBMIT MANUFACTURER'S SPECIFICATIONS FOR DOOR HARDWARE. THE OPERATING DEVICES SHALL BE CAPABLE OF OPERATION WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PUNCHING, OR TWISTING OF THE WRIST TO OPERATE. EXCESS DOORS SHALL OPEN READILY FROM THE EXCESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

**GENERAL NOTES**

- THESE NOTES SHALL APPLY WHERE NOT OTHERWISE INDICATED ON DRAWINGS OR IN SPECIFICATIONS. A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS OTHERWISE SPECIFICALLY INDICATED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO ENSURE COMPLIANCE WITH ALL GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS AND EACH TYPE OF WORK REQUIRED.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PREPARATION OF THESE DRAWINGS, THE PROPRIETOR CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR AND HIS SUBCONTRACTORS ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS, AND BE RESPONSIBLE FOR THE SAME.
- APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF HVAC, PLUMBING, AND ELECTRICAL SYSTEMS. SUBCONTRACTORS SHALL VERIFY AND ENSURE COMPLIANCE WITH OWNER'S REQUIREMENTS, BUT IN NO CASE SHALL SYSTEMS BE SUBSTANTIAL TO REQUIREMENTS OF GOVERNING RULES, REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- INTERIOR AND EXTERIOR WALL DIMENSIONS ARE NORMAL, UNLESS NOTED OTHERWISE.
- CERTIFICATE OF OCCUPANCY IS REQUIRED PRIOR TO OCCUPANCY.
- ALL CONTRACTORS SHALL HAVE A CERTIFICATE OF INSURANCE AND A \$10,000 SURETY BOND. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LICENSE THAT HAS A COMMISSION AND ONES A TEST. THE ROOF CONTRACTOR SHALL HAVE A STATE LICENSE. THE PLUMBING CONTRACTOR SHALL HAVE A STATE LICENSE. ALL OTHER CONTRACTORS SHALL SECURE A CONTRACTOR'S LICENSE FROM THE VILLAGE OF AUSTIN, BEFORE THE PERMIT WILL BE ISSUED.

**GENERAL EQUIPMENT NOTES:**

- WREST BLADE TYPE HANDLES ARE REQUIRED ON ALL SINKS.
- 8" STAINLESS STEEL SPLASH GUARDS ARE REQUIRED AT ALL HANDSINKS.
- ANY EXISTING AND/OR USED EQUIPMENT INCLUDING SHALLWARE WILL BE NSF APPROVED, CLEAN, OPERABLE, AND SUBJECT TO FINAL APPROVAL BY THE COOK COUNTY HEALTH DEPARTMENT.
- COUNTER TOPS TO BE STAINLESS STEEL OR SOLID SURFACE (NO PLASTIC LAMINATE).
- CABINET SHELVES TO BE STAINLESS STEEL OR WIRE (NO PLASTIC LAMINATE OR WOOD) NSF APPROVED RESTROOM COUNTER TOPS, IF APPLICABLE, TO REFLECT SOLID SURFACE (NO PLASTIC LAMINATE OR CABINETRY).

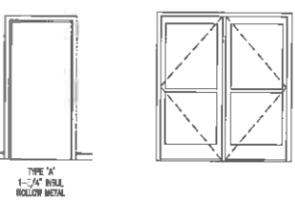
**GENERAL PUBLIC HEALTH NOTES:**

- COVERED WASTE CANS ARE REQUIRED IN ALL RESTROOMS.
- TOILETS, URINALS, HAND SINKS, THREE COMPARTMENT SINKS, HOT SINKS, PREP SINKS, AND PERMANENT COUNTERS/CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH SILICONE CAULK SEAL.
- ANTI-SIPHON DEVICES ARE REQ. ON ALL TOILET TANKS, URINALS, AND FACETS WITH HOSE CONNECTIONS.
- SOAP AND PAPER TOWELS ARE REQ. AT ALL HAND SINKS.

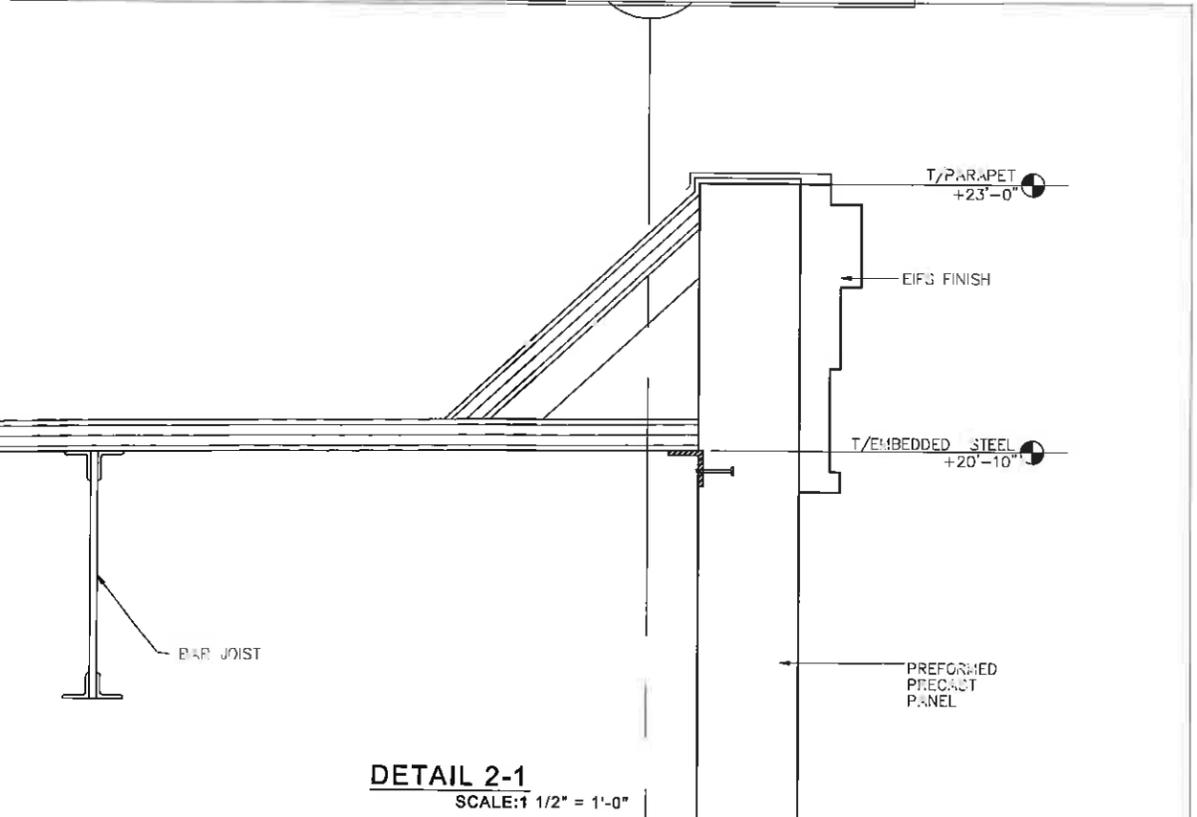
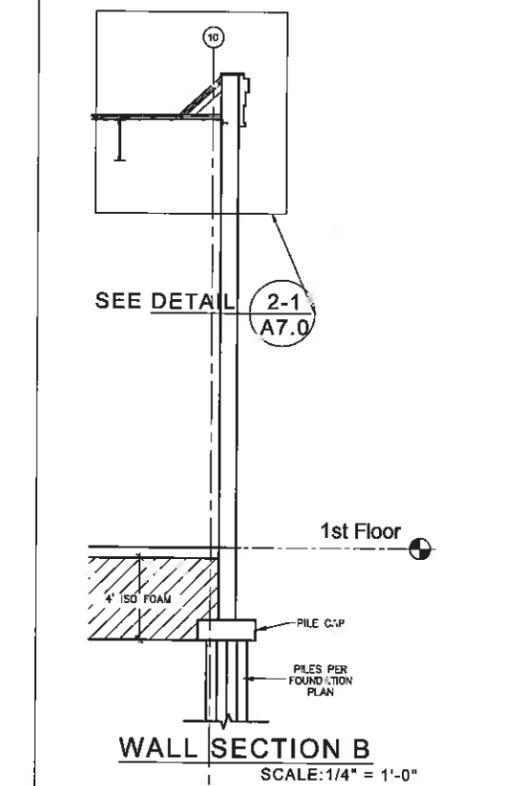
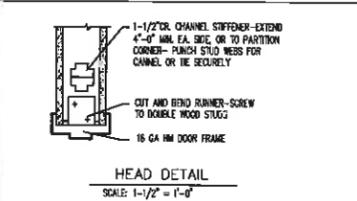
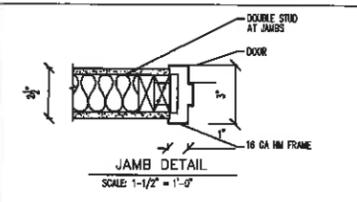
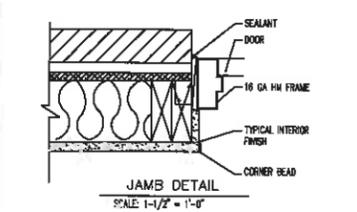
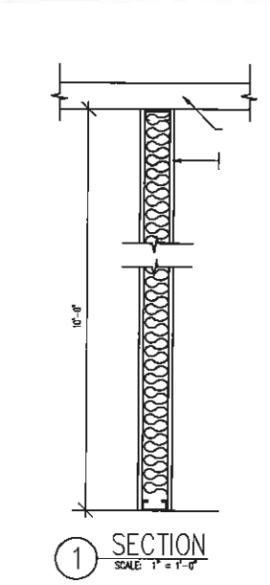
**FIRE PROTECTION NOTES**

- THE FLAME SPREAD & SMOKE DEVELOPED RATINGS OF ALL INSULATION MATERIALS & INTERIOR FINISHES SHALL CONFORM TO ASTM E84.
- PORTABLE FIRE EXTINGUISHERS FOR THIS BUILDING SHALL BE IN COMPLIANCE WITH SECTION 908 OF THE 2008 INTERNATIONAL FIRE CODE (IFC) AND NFPA 10. PER TABLE 908.3(1) OF THE 2008 IFC, THE MAXIMUM TRAVEL DISTANCE TO A FIRE EXTINGUISHER SHALL NOT EXCEED 75 FEET. IN ADDITION, THE PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE EASILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE AND SHALL NOT BE OBSTRUCTED OR DISGUISED FROM VIEW. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL.
- FIRE SUPPRESSION SYSTEM (SPRINKLER SYSTEM) TO BE DESIGNED BY OTHERS.
- FIRE ALARM AND DETECTION SYSTEM TO BE DESIGNED BY OTHERS.

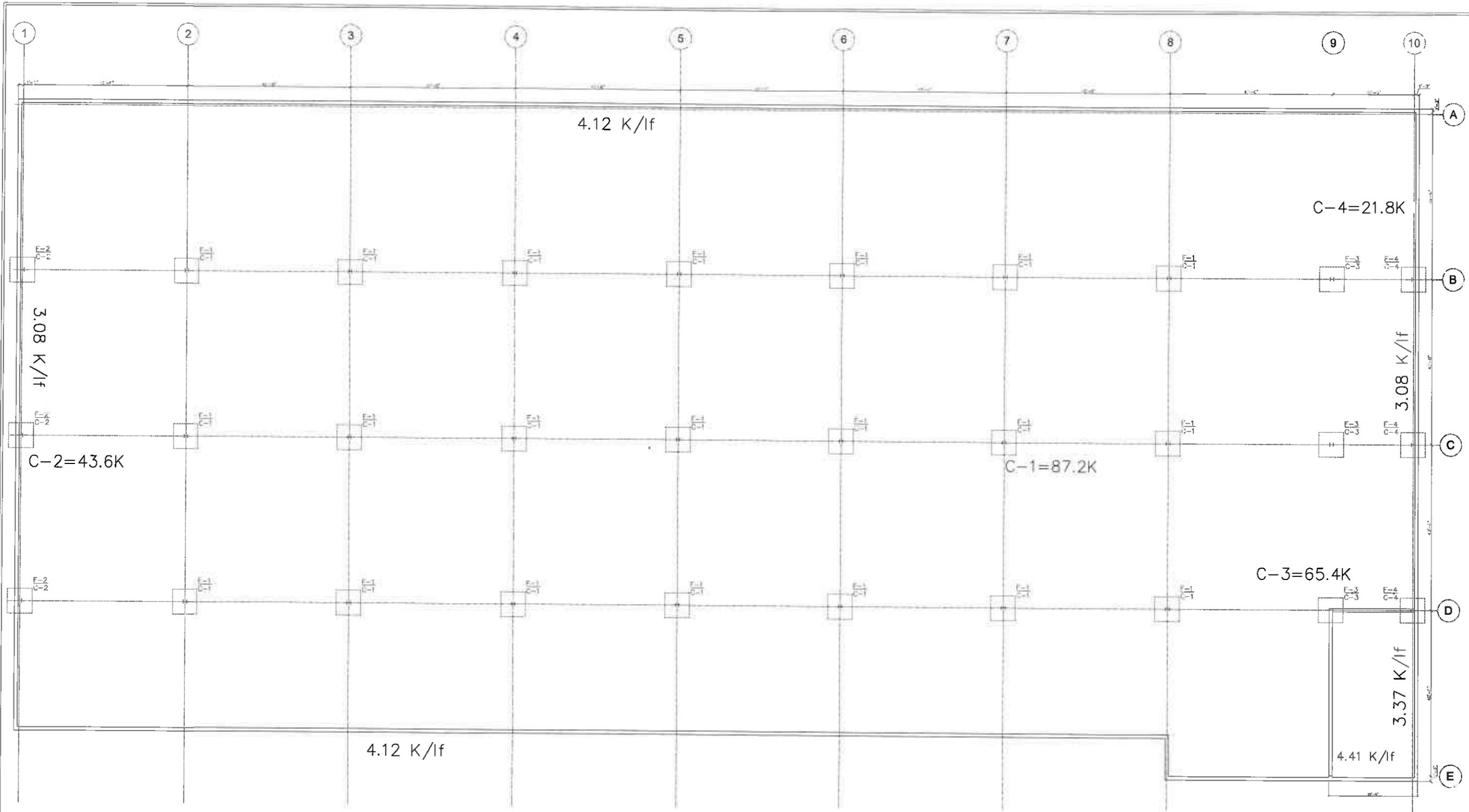
**DOOR TYPES:**



- ALL EXTERIOR DOORS TO HAVE APPROVED PANELED HARDWARE.
- ALL FIRE RATED DOORS TO RECEIVE PANELED HARDWARE, MIN. 3 FINISHES, THRESHOLD, AUTOMATIC DOOR CLOSER.
- ALL DOORS SWING TO BE FIELD INDICATED PRIOR TO ORDERING.
- ALL DOOR HARDWARE TO BE A.D.A. APPROVED.
- THE PROPOSED DOOR OPENING HARDWARE SHALL BE OPERATED BY SINGLE HAND WITH OUT REAS OF TIGHT GRASPING, LIGHT PUNCHING OR TWISTING OF THE WRIST.



DRAWN BY:	JRH
DESCRIPTION:	BUILDING CONCEPT PLANS FOR PERMIT
DATE:	10/20/15
REV:	0
DATE:	11/20/15
REV:	1
DATE:	12/2/15
REV:	2
SCALE:	AS NOTED
PROJECT NUMBER:	14219
<b>SCHEDULES &amp; DETAILS</b> 7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



**FOUNDATION PLAN**  
SCALE: 3/32" = 1'-0"

FOOTING SCHEDULE						
MARK	SIZE	REINFORCING	PIERS	SIZE	BASE PLATE	REMARKS
F-1	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS 1:1
F-2	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS 1:1
F-3	-	-	-	-	-	VERTICAL PATTERNS AT ALL COLUMN LOCATIONS 1:1

COLUMN SCHEDULE				
CALL OUT	LENGTH	BASE PLATE	TOP PLATE	TYPE
C-1				
C-2				
C-3				

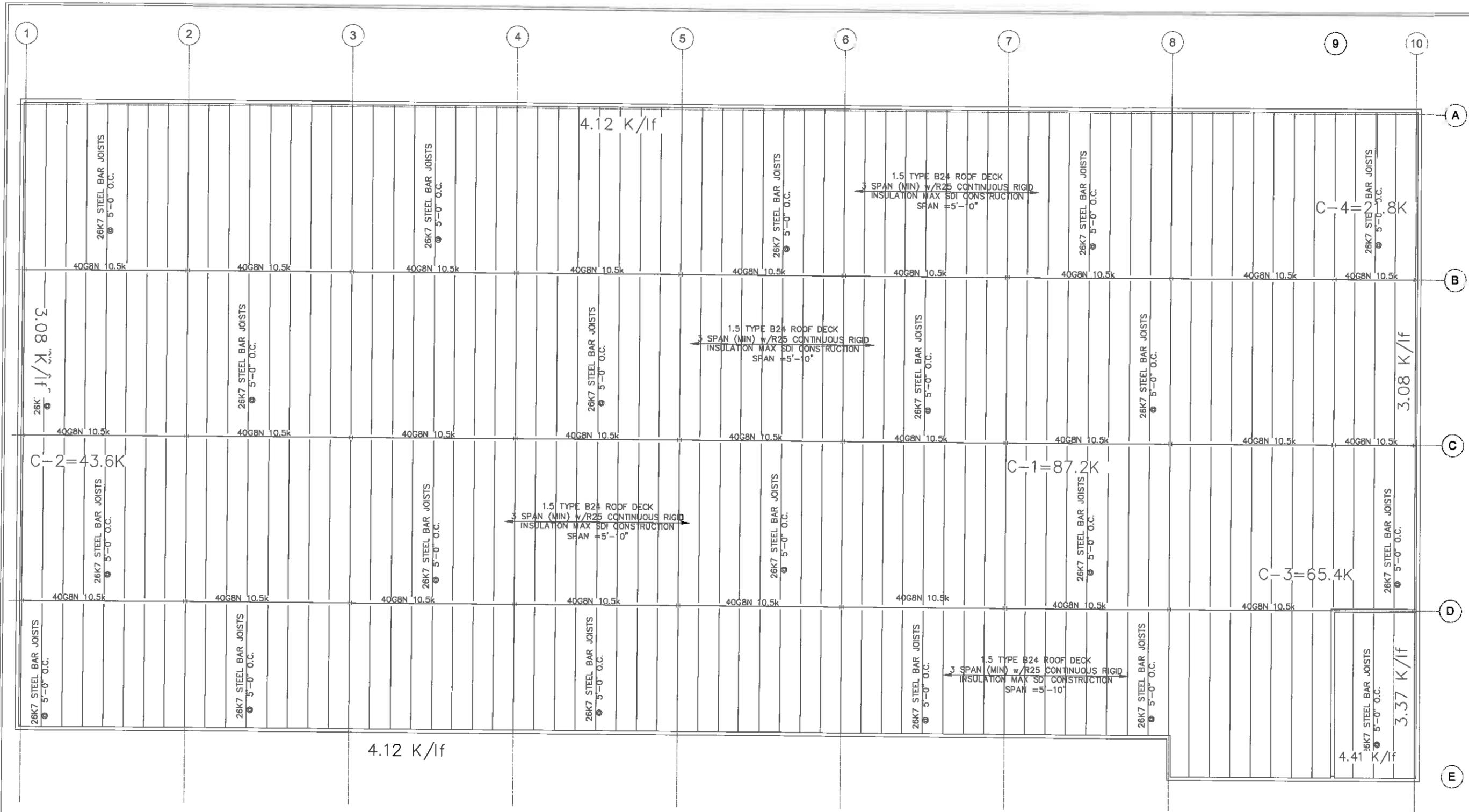
**KOZIOL ENGINEERING SERVICES**  
1621 Ogden Avenue  
PH. (309) 435-8606 F. (309) 435-8688  
www.KoziolEng.com

SCALE	REV	DATE	DESCRIPTION
AS NOTED	0	10/21/15	BUILDING A CONCEPT PLANS FOR PERMIT
PROJECT NUMBER	1	11/22/15	REvised PER CONCEPT RE-REV
PROJECT NUMBER	2	12/2/15	REvised PER CONCEPT RE-REV

SCALE	REV	DATE	DESCRIPTION
AS NOTED	0	10/21/15	BUILDING A CONCEPT PLANS FOR PERMIT
PROJECT NUMBER	1	11/22/15	REvised PER CONCEPT RE-REV
PROJECT NUMBER	2	12/2/15	REvised PER CONCEPT RE-REV

FOUNDATION PLAN

7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS



**FRAMING PLAN**  
SCALE: 3/32" = 1'-0"

**KOZIOL ENGINEERING SERVICES**  
 1821 O. 4th Avenue  
 Willard, MO 65752  
 PH: (660) 452-6865  
 F: (660) 452-6868  
 V: info@kozioleng.com

SCALE	AS NOTED	PROJECT NUMBER	1409	DATE	10/15	DESCRIPTION	BUILDING A CONCEPT PLANS FOR PERMIT
REV	0	1		11/15		REVISED PER CONCEPT RE #7/	
REV	1	2		12/15			
DRAWN BY:				JRH			

FRAMING PLAN

7601 Quincy Street, Bldg A  
WILLOWBROOK, ILLINOIS

Page

# QUINCY STREET STORAGE BUILDING B

## 7601 QUINCY STREET WILLOWBROOK, ILLINOIS



### LOCATION MAP:



QUINCY STREET STORAGE  
7601 QUINCY STREET  
WILLOWBROOK, IL

### PROJECT DIRECTORY:

#### OWNER:

#### ARCHITECT:

KOZIOL AND BROWN  
ARCHITECTS AND ENGINEERS  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8888  
DESIGN FIRM #184-003978

#### ENGINEER:

KOZIOL ENGINEERING SERVICES  
1621 OGDEN AVENUE  
LISLE, IL 60532  
630/435-8888  
DESIGN FIRM #184-000988

#### VILLAGE OF PLAINFIELD:

BUILDING DEPARTMENT  
24401 LOCKPORT ST  
PLAINFIELD, IL 60544  
815/439-2937

### SHEET INDEX:

#### ARCHITECTURAL

A0 COVER PAGE  
A1.0 FRONT AND REAR ELEVATIONS  
A2.0 LEFT AND RIGHT ELEVATIONS  
A3.0 FLOOR PLAN  
A4.0 BUILDING SECTION

#### STRUCTURAL

S1.0 FOUNDATION PLAN  
S2.0 FRAMING PLAN  
S3.0 FRAMING DETAILS

### PROJECT INFORMATION

PROJECT ADDRESS: 7601 QUINCY STREET  
WILLOWBROOK, ILLINOIS

USE GROUP: S-1 (MODERATE HAZARD)  
ONE -STORY  
SPRINKLERED

CONSTRUCTION TYPE: II-B

PROJECT DESCRIPTION: EXTERIOR ALTERATION

SITE ZONING: I-1 INDUSTRIAL DISTRICT

#### LOADS:

FIRST FLOOR LOADS:  
DEAD 56 PSF (INCLUDES 5" CONC. S.O.G.)  
DEAD 10 PSF (PARTITIONS/ FINISHES)  
LIVE 100 PSF

ROOF LOADS:  
DEAD 25 PSF (10 PSF ROOF)  
(10 PSF BOTTOM CHORD-MECH)  
(5 PSF TRUSS)

LIVE:  
ROOF: 30 PSF  
SNOW (Pg): 25 PSF  
Ce= 0.90  
Ct= 1.00

WIND LOADS: BASED ON A BASIC WIND SPEED OF 90MPH,  
EXPOSURE B

LIVE:  
WIND: 25 PSF  
Iw: 1.00

CONSTRUCTION:  
DEAD 15 PSF  
LIVE 20 PSF  
WIND 8.4 PSF 1 YEAR DURATION

SEISMIC DATA:  
IMPORTANCE FACTOR 1.0  
OCCUPANCY CATEGORY II  
Ss 0.16  
S1 0.05  
SITE CLASS D  
Sds 0.17  
Sd1 0.08  
SEISMIC DESIGN CATEGORY B

#### VILLAGE OF WILLOWBROOK ADOPTED BUILDING CODES

- 2009 EDITION OF THE INTERNATIONAL BUILDING CODE
- 2009 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE
- 2008 EDITION OF THE NATIONAL ELECTRICAL CODE (NEC)
- 2009 EDITION OF THE INTERNATIONAL MECHANICAL CODE
- 2008 EDITION OF THE INTERNATIONAL PLUMBING CODE
- 2004 ILLINOIS STATE PLUMBING CODE
- 2012 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE
- ILLINOIS ENERGY CONSERVATION CODE
- 2009 EDITION OF THE INTERNATIONAL FIRE CODE
- 2009 EDITION OF THE INTERNATIONAL PROPERTY MAINTENANCE CODE
- 1997 ILLINOIS STATE HANDICAP ACCESSIBILITY CODE

I HEREBY CERTIFY THAT APPLICABLE SECTIONS OF THESE PLANS WERE PREPARED UNDER ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL APPLICABLE CODES.

JAMES E. KOZIOL, P.E. EXP 11-30-15  
PAGES M1.0 THROUGH E2.0

I HEREBY CERTIFY THAT APPLICABLE SECTIONS OF THESE PLANS WERE PREPARED UNDER ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH ALL APPLICABLE CODES.

PHYLIS G. BROWN, REGISTERED ARCHITECT  
EXP 11/30/16  
PAGES A1.0 THROUGH

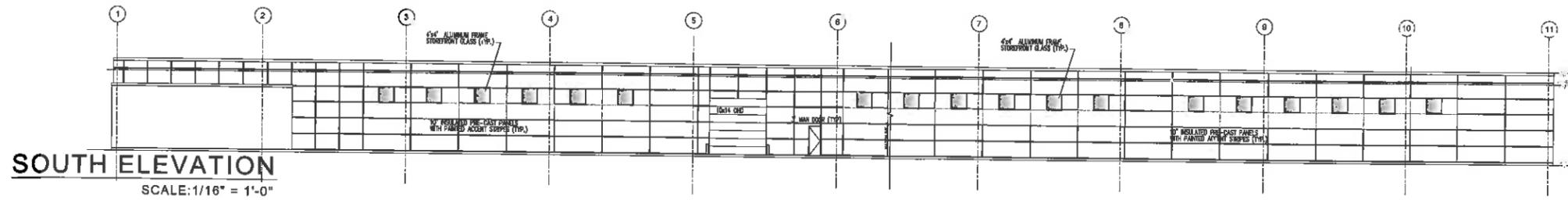
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0	10/01/15	BUILDING B CONCEPT PLANS FOR PERMIT	JRH	JRH
1	11/20/15	FOR PERMIT	JRH	JRH
2	12/22/15	PER REVIEW	JRH	JRH

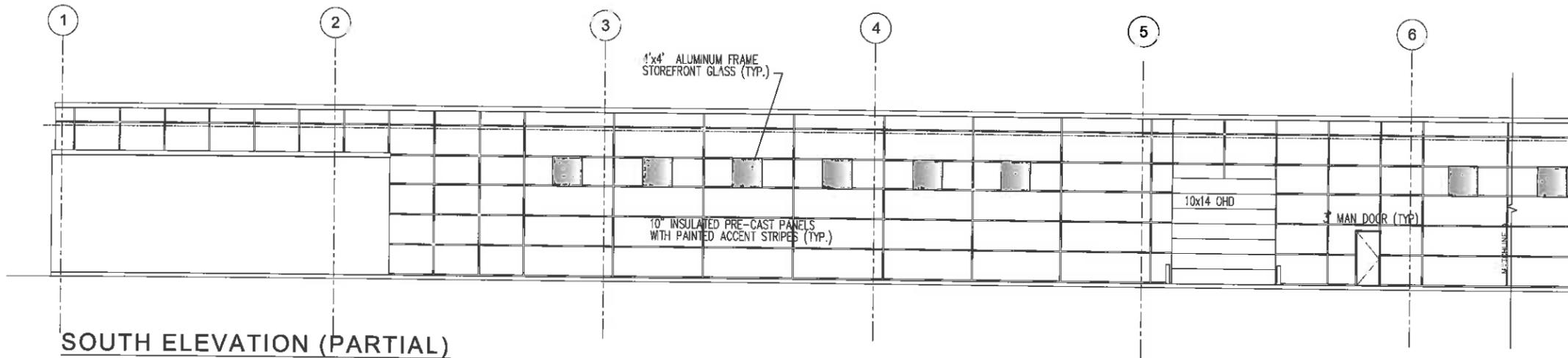
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		1629

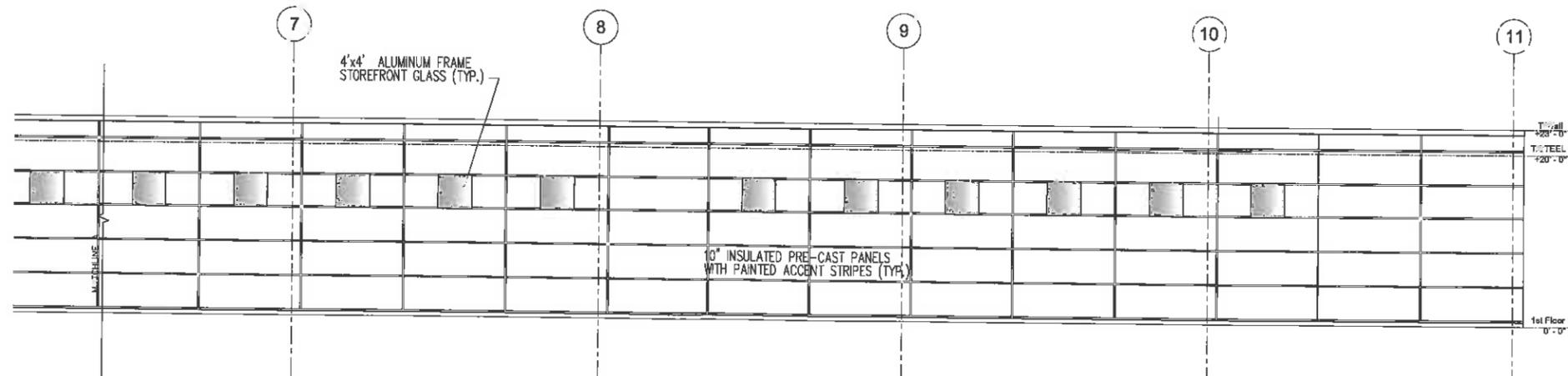
COVER SHEET	7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS
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**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



REV	DATE	DESCRIPTION	DRAWN BY
0	10/8/15	BUILDING B CONCEPT PLANS	JRH
1	11/20/15	FOR PERMIT	JRH
2	12/22/15	PER REVIEW	JRH

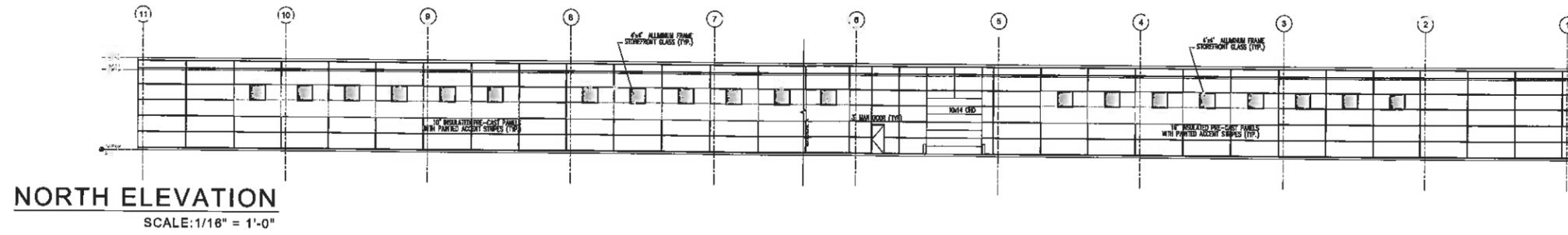
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PROJECT NUMBER	1426

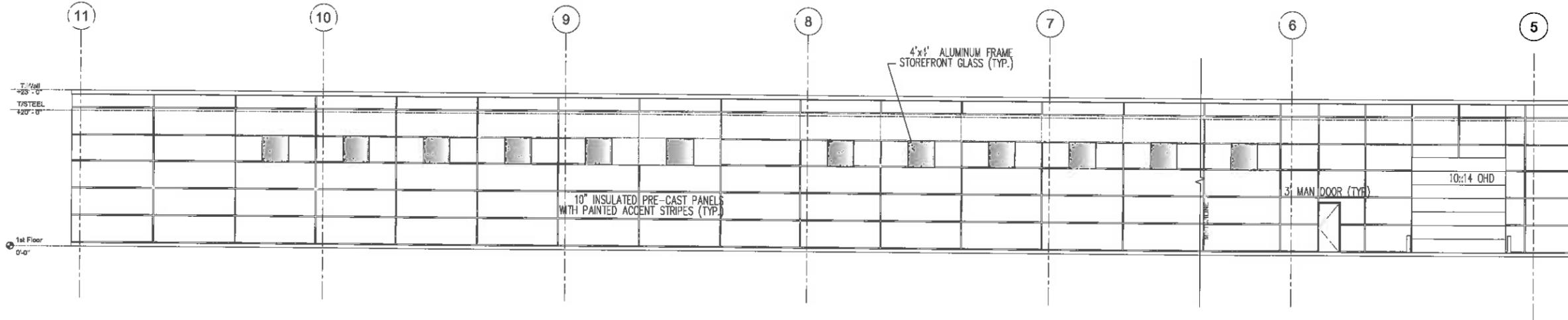
<b>SOUTH ELEVATION</b>
7601 Quincy Street, BLDG B
WILLOWBROOK, ILLINOIS

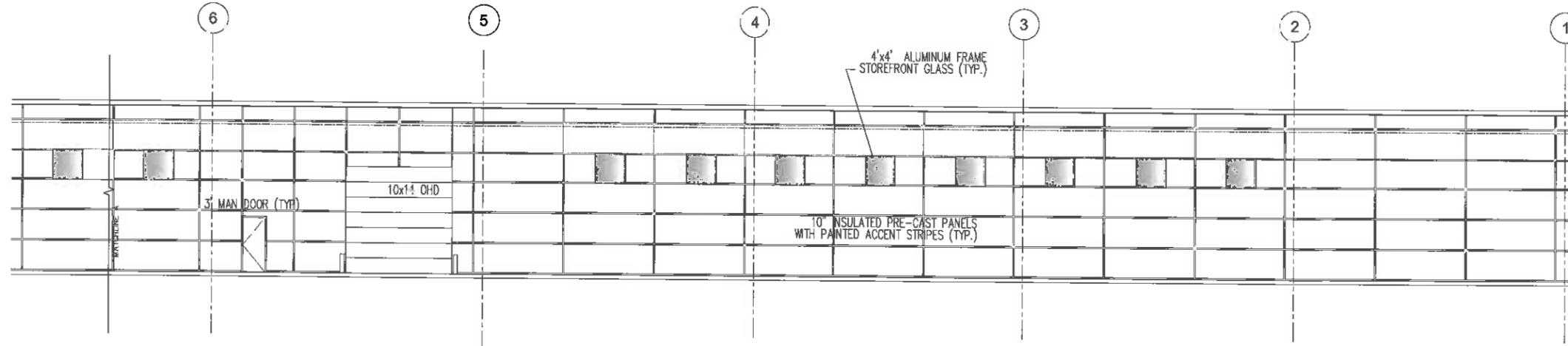
Page	10
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**NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



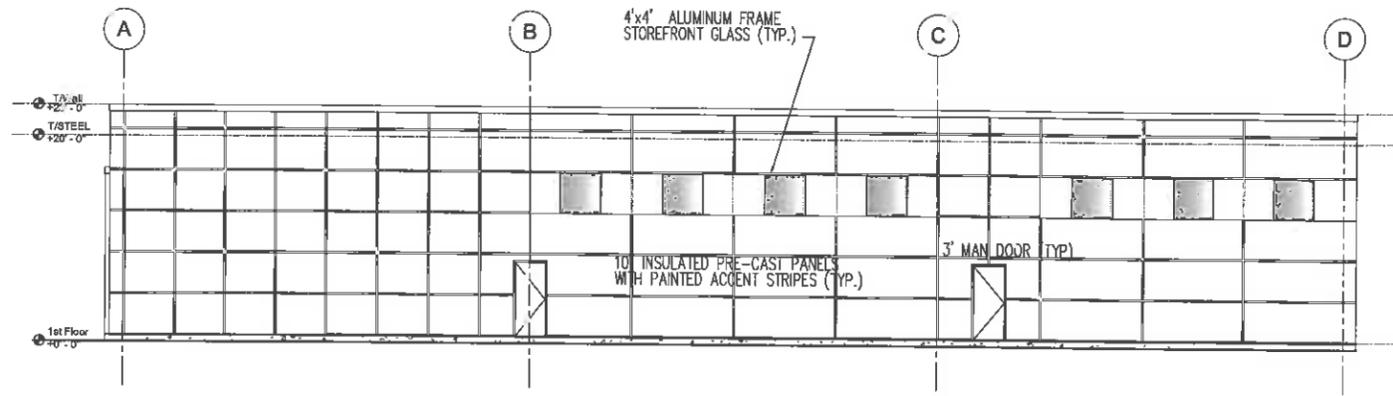
**NORTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



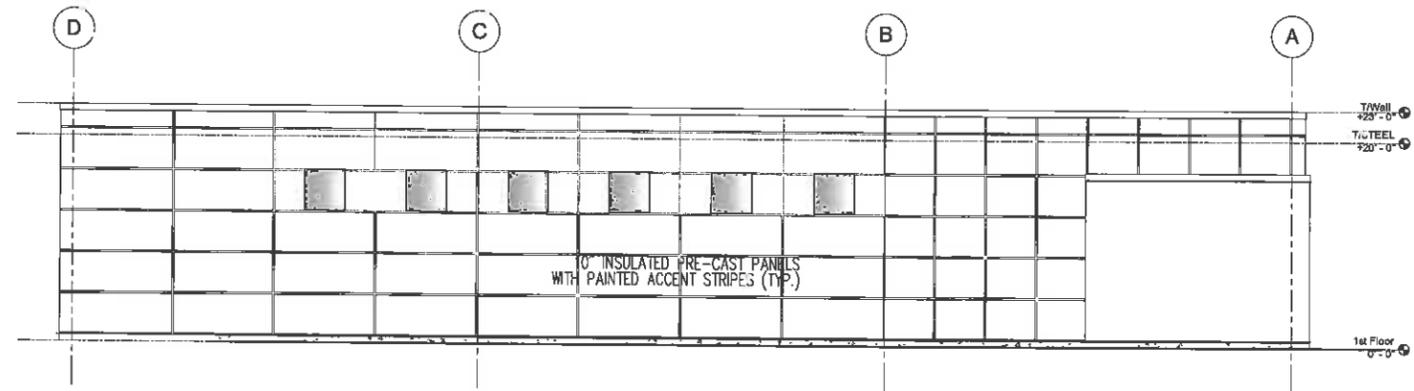
**NORTH ELEVATION (PARTIAL)**  
SCALE: 1/8" = 1'-0"



ELEVATION	DESCRIPTION	DATE	DRAWN BY:	
			DATE	BY
NORTH	BUILDING B CONCEPT PLANS FOR PERMIT	10/7/15	JRH	JRH
	PER REVIEW	11/20/15	JRH	JRH
		12/23/15		
SCALE	PROJECT NUMBER			
A: NOTED	14249			
7601 Quincy Street, BLDG B				
WILLOWBROOK, ILLINOIS				
Page				
A1	1			



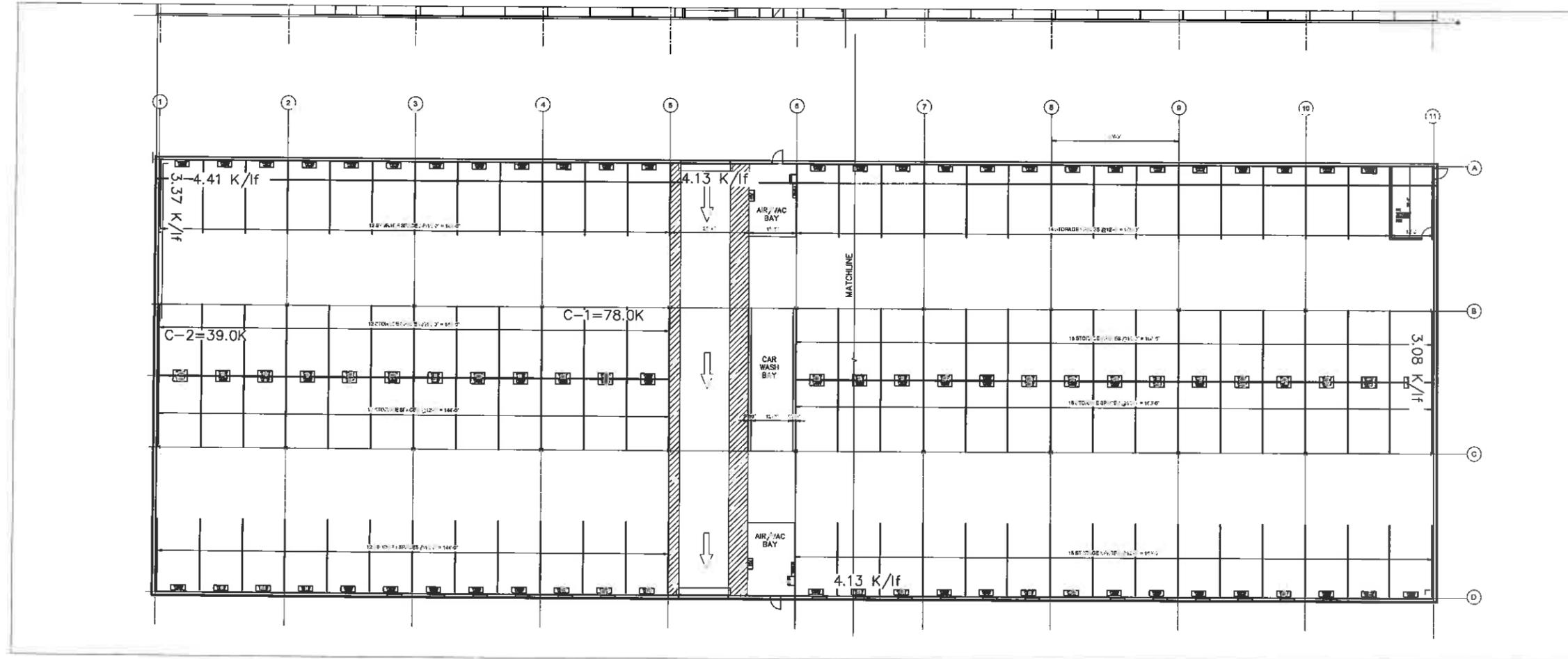
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



ELEVATIONS EAST & WEST	SCALE	AS NOTED	PROJECT NUMBER	14249
	DATE	10/31/15	DATE	12/26/15
DESCRIPTION	REF	0	1	11/03/15
	REF	2	2	12/26/15
DRAWN BY:	DESCRIPTION	BUILDING CONCEPT PLANS FOR PERMIT PER REVIEW		
	JRH	JRH	JRH	JRH
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS				
Page	1 of 4			



<b>BUILDING SQUARE FOOTAGE</b>	
TOTAL BUILDING SQUARE FOOTAGE	44,406.25 SF
NUMBER OF STORAGE UNITS	108
12'x18'	108
TOTAL NUMBER OF UNITS	108

## OVERALL FLOOR PLAN

SCALE: 3/32" = 1'-0"



PROPOSED FLOOR PLAN	SCALE	AS NOTED	PROJECT NUMBER	1479
	DATE	10/9/15	11/20/15	12/2/15
DESCRIPTION	BUILDING CONCEPT PLANS FOR PERMIT	PER REVIEW	PER REVIEW	
DRAWN BY:	JRH	JRH	JRH	
7601 Quincy Street, BLDG B WILLOWBROOK, ILLINOIS				

# FINAL ENGINEERING

for  
7601 S. QUINCY ST.

WILLOWBROOK, IL

## LEGAL DESCRIPTION

OF PART OF LOT 4 IN PLAZA COURT RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 22, 1978 AS DOCUMENT 1793-11722, IN DUPAGE COUNTY, ILLINOIS.



### GENERAL NOTES

(J.U.L.L.E. (800) 892-0123)

- Definition of terms:
  - The CONTRACTOR is the individual, firm, partnership or corporation contracting with the OWNER for performance of the prescribed work.
  - The OWNER is the individual, firm, partnership or corporation having the authority to award the contract for the prescribed work.
  - The ENGINEER shall be the OWNER'S representative, and/or the designated representative from the local jurisdictional agency having authority over the prosecution of the prescribed work.
- All CONTRACTORS shall be responsible for the following, which shall also be incidental to the cost of construction:
  - Examination of the Engineering Plans and Specifications prior to submitting a bid, and notifying the ENGINEER of any discrepancies.
  - The obtaining of any necessary permits not previously applied for by the OWNER, and posting of the necessary bonds.
  - The notification of the start of construction to all jurisdictional agencies, utility companies, and the ENGINEER, shall be at least two (2) working days prior to start. All existing utilities must be staked by J.U.L.L.E. prior to construction.
  - Calling attention to the OWNER of any errors or discrepancies which may be suspected on lines and grades which are established by the owner. The CONTRACTOR shall not proceed with the work until the lines and grades which are believed to be in error have been verified or corrected by the OWNER. Additional staking that may be required due to CONTRACTORS negligence, shall be paid for by the CONTRACTOR.
  - The contractor is responsible for providing safe and healthful work conditions throughout the construction work. This shall include, but not be limited to; the removal of debris, the protection of construction hazards with barricades, and the keeping of public street pavement clean of construction dirt and debris.
  - The restoration to the original condition or better of any off-site areas that are damaged by CONTRACTOR during construction.
  - The testing of materials, if required by the jurisdictional agencies.
  - The guarantee of all materials and workmanship for a period of one (1) year upon final acceptance by the OWNER and the jurisdictional agencies.
- The OWNER shall be responsible for the following:
  - Scheduling the necessary pre-construction meetings with the jurisdictional agencies with all SUB-CONTRACTORS present.
  - Providing the CONTRACTOR with one (1) set of control the job and stakes (at offsets mutually agreed upon) for the proper prosecution and control of the work.

### GENERAL SPECIFICATION

- The General Specifications which apply to the construction work as shown on the Engineering Plans, are contained in the following documents:
  - Standard Specifications for Road and Bridge Construction latest edition as adopted by the State of Illinois, Department of Transportation.
  - Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition as adopted by the Illinois Society of Professional Engineers, et al.
  - Standards and Specifications of the Village of Willowbrook, IL.

### 1. EARTHWORK IMPROVEMENTS

- Topsoil Excavation—All topsoil is to be stripped and stockpiled in the location shown on the Engineering Plans. All excess is to be removed from the site by the contractor.
- Earth Excavation

- Excavation of earth and other materials which are suitable for use as structural fill. The excavation shall be to within the tolerance of 0.3 feet (plus or minus) of the plan sub-grade elevations. The (plus or minus) tolerance within pavement areas shall be such that the earth material shall "balance" as part of the fine grading operation.
- Placement of the earth and other suitable materials shall be within those areas requiring structural fill in order to achieve the plan sub-grade elevations to within a tolerance of 0.3 feet (plus or minus). The fill material shall be placed in loose lifts that shall not exceed eight (8) inches in thickness, and the water content shall be adjusted in order to achieve the required compaction. Earth material may be placed within those portions of the building site not requiring structural fill, to within six (6) inches of the plan finished grade elevation. In areas requiring structural fill, however, the earth material shall not be placed over topsoil or other unsuitable materials unless specifically directed by the SOLE ENGINEER with the concurrence of the OWNER.
- Compaction of the earth and other suitable materials, shall be to at least 95% of the Standard Proctor Dry density, ASTM 698 with proposed pavement and building areas. Moderate compaction is required elsewhere.
- Excess materials, if not utilized as fill, shall be completely removed from the construction site and disposed of by the CONTRACTOR.

### c. Unsuitable Material

- Unsuitable material shall be considered as material which is not suitable for the support of pavement and building construction, and is to be removed from the site by the contractor.

### d. Construction Entrance

- A stabilized construction entrance shall be constructed in accordance with NRCS Detail IL-630 as shown on the Detail Sheet.

### e. General

#### The Grading CONTRACTOR shall:

- Maintain proper site drainage at all times during the course of construction, and prevent storm water from running into or standing in excavated areas.
- Spread and compact uniformly to the degree specified all excess trench spoil after completion of the underground improvements. (Earthwork CONTRACTOR to make appropriate adjustments in his rough grading to accommodate trench spoil).
- Scourily and compact to the degree specified the upper bridle (12) inches of the suitable sub-grade material, in all areas that may be soft due to excess moisture content. This applies to cut areas as well as fill areas.
- Provide water to add to the material in order to adjust the moisture content for the purpose of achieving the specified compaction.
- Backfill the curb and gutter after its construction and prior to the placement of the base course material.

### 1. Testing and Final Acceptance

- The CONTRACTOR shall provide as a minimum, a fully loaded six-wheel truck for proof rolling the pavement sub-grade prior to the placement of the curb and gutter and the base material.
- Specific compaction testing may be required by the OWNER in selected fill areas. The CONTRACTOR shall bear the cost of compaction testing as well as the responsibility for the necessary correction(s).
- Approval of the pavement sub-grade by the jurisdictional agency shall be required prior to the placement of the pavement materials.

### 2. PAVING IMPROVEMENTS

#### a. Final Grading

- Prior to the construction of the barrier curb and the placement of the base material, the street shall be fine graded to within 0.1 feet plus or minus of final sub-grade elevation, to a point two (2) feet beyond the back of curb.

#### b. Curb and Gutter

- The curb and gutter shall be the type as detailed on the Engineering Plans.
- The curbs shall be backfilled after their construction and prior to the placement of the base course.
- All water services shall be stamped on the curb with a "W" and a "S" for sewer.

#### c. Pavement

- The pavement material shall be as detailed on the Engineering Plans.

#### Striping/Signage

- All parking areas shall be striped as shown using 4" white painted striping.
- Handicapped parking signs #350 fine to be provided.
- Other signage to be provided as noted on plans.

#### d. General

- The Paving CONTRACTOR shall:
  - Repair any base course and binder course failures prior to the installation of the final hot-mix asphalt surface course.
  - Sweep clean the binder course prior to the installation of the final bituminous concrete surface course. Excessive cleaning of the binder course that may be required, and is not the fault of the Paving Contractor, shall be paid for on a time and material basis by prior agreement with the OWNER.
  - Permit the hot-mix asphalt binder course to weather one (1) winter season prior to the installation of the hot-mix asphalt surface course.

### e. Testing and Final Acceptance

- Prior to placement of the base course, the sub-grade must be approved by the local jurisdictional authority. (See "Testing and Final Acceptance for Earthwork")
- Prior to placement of the hot-mix asphalt surface course, the CONTRACTOR, when required, shall obtain specimens of the binder course with a core drill where directed, for the purpose of thickness verification, in accordance with the General Specification entitled, "Standard Specification for Road and Bridge Construction", ART.406.16.
- Final acceptance of the total pavement installation shall be subject to the testing and checking requirements cited above.

### 3. UNDERGROUND IMPROVEMENTS

#### a. Water Main and Sanitary

- Material for the water service shall be ductile iron pipe, which shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement-lined. The domestic water service material shall be type "K" copper.
- Joint for the ductile iron pipe shall be the push-on (bell-tite) type. All valve and fittings shall be mechanical joint with rubber glands.
- Cover over the pipe shall be a minimum of 5.5 feet.
- Painted Encasement conforming to ANWA C105A21.5-99 shall be provided for all ductile iron pipe not in steel casing pipe.
- Sanitary shall extend to within five (5) feet of the face of the proposed building and be clearly located with a blue-topped 4 inch x 4 inch stake.
- Size shall be as indicated on the Engineering Plans.

- New water main valves, including pressure tap valves, adjacent to an existing water main, and existing water main valves shall only be operated by the Village of Willowbrook, Department of Public Utilities O&M Division personnel with 48-hour notice (Monday-Friday), (630) 422-4122.
- The contractor shall rotate and/or adjust any existing and/or new hydrant to the satisfaction of the Department of Public Utilities.
- All rubber glands when required to restrain valves, fittings, hydrants and pipe joints shall be mechanical joint wedge O-ring type METALUG 1100 Series as manufactured by ESEA, Inc. or UNI-FLANGE BLOCKBUSTER 1400 SERIES as manufactured by Ford Meter Box Co. and shall be for use on ductile iron pipe conforming to ANSI/ANWA C151/A21.51, for nominal pipe sizes 3-inches through 48-inches.
- Stainless steel nuts, bolts/T-bolts, and washers, Type 304 or better, will be required on all water main installations. This would apply to hydrants, tapping, sleeves, valves, fittings, restraint and other appurtenances buried or in valve vaults. Mechanical joints and restraint glands require 304 stainless steel T-bolts. An anti-seize compound shall be factory applied to nuts or bolts - any damage to this coating shall be repaired with field applied approved anti-seize compound that is molybdenum-base lubricant, Doall's Never-Seize or approved equal.

- Fire hydrants shall be bugged "NOT IN SERVICE" until all testing and disinfection has been completed and new water main section is serviced.
- Water main shall be pressure tested at a pressure of 150 psi for 4 hours. Disinfection of water main shall be performed in accordance with Village of Willowbrook Specifications.
- All valve boxes, vaults, hydrants, and manholes shall not be covered with construction debris and shall remain accessible to the respective utility company.
- Water service lines smaller than 3" shall be type K copper. If joints are required due to length of service, then only compression type coupling shall be permitted. No soldered or flared type joints are allowed.

### b. Storm Sewer

- Material shall be as indicated on the Engineering Plan. Reinforced Concrete Pipe where indicated shall meet or exceed the performance requirements of ASTM C-76, Class II; Ductile Iron Pipe where indicated shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement lined PVC Pipe where indicated shall meet or exceed the performance requirements of ASTM D-2241, SDR-26.
- Joint for Reinforced Concrete Pipe shall be bell and spigot type with bituminous mastic; for Ductile Iron Pipe shall be the push-on (bell-tite) type; and for PVC Pipe shall be ring-tite type.
- Bedding shall be constructed with 1/4 inch to 3/4 inch size stone, with a minimum thickness of four (4) inches.
- Size shall be as indicated on the Engineering Plans.

### c. Sanitary Sewer

- Material PVC (Polyvinyl Chloride) plastic pipe. All pipe and fittings shall conform with ASTM D-2241 for sizes six (6) through fifteen (15) inches. The Standard Dimension Ratio (SDR) for pipe shall be 26 or a minimum and shall be dependent upon the depth of cover. For pipe diameters eighteen (18) to twenty-seven (27) inches, pipe and fittings shall have a cell classification of 12454-BL-76, Class M Ductile Iron Pipe where indicated shall meet or exceed the performance requirements of ASA A21.51, Class 52 cement lined.
- Fittings/Joints Pipe fittings shall conform to ASTM D-2241 and shall meet the requirements of ASTM Standard D-3159. Joints are to be Ring-Tite type.
- Bedding shall be constructed with CA-7 or CA-11, with a minimum thickness of four (4) inches.
- Sanitary sewer and water shall be constructed, tested, and placed into service in accordance with Dupage County Public Works Standard Specification and Specifications for Water and Sewer Main Construction in Illinois, Latest Edition.
- All sanitary manholes shall be tested for leakage by vacuum testing. The manhole frame and adjusting rings shall be in place when testing. Any leaks shall be repaired from exterior of manhole-patching inside of manhole shall not be acceptable. A vacuum of 10" (254mm) Hg shall be placed on the manhole on other time shall be measured for the vacuum to drop to 4" (254mm) Hg. The vacuum shall not drop below 4" (254mm) Hg for the following time periods for each size of manhole: a) 48 inch dia. - 80 seconds, b) 60 inch dia. - 75 seconds, c) 72 inch dia. - 80 seconds, d) 84 inch dia. - 105 seconds. Any manholes that fall the test shall be sealed and retested until acceptable. Contractor work hours are only allowed from 7 a.m. to 7 p.m., Monday thru Saturday. No work shall be permitted on Sundays.

### d. Incidental to Construction

#### The Underground CONTRACTOR shall:

- Adhere to the criteria for the separation between water mains and the storm and sanitary sewer lines as described in the "Technical Policy Statement", Division of Public Works Supplies, Illinois Environmental Protection Agency.
- Be responsible to place on grade, and coordinate with other CONTRACTORS, all underground utility structure frames such as manholes, catch basins, and inlets.
- Be aware of potential conflicts with existing utilities. The CONTRACTOR shall excavate ground the existing utilities to determine their exact location and elevation prior to the construction of the proposed utility improvements.
- Provide poured concrete fittings conforming to the shape of the pipe in all sanitary and storm manholes.
- Be responsible for maintaining the top of any utility trench at least two (2) feet above from any existing or proposed curb or pavement, in those instances where the trench runs parallel to said curb or pavement.
- Be responsible for the de-watering of utility trenches during construction and providing the necessary trench bracing that may be required in order to adhere to the current OSHA safety standards.
- Remove soft materials that may be encountered at the pipe invert elevation to a depth of at least (1) foot below the bottom of the pipe, and backfill with compacted bedding material.
- Any public sidewalk damaged during construction shall be replaced per the Village of Willowbrook standard.
- Do not damage the road sub-grade with excessive water saturation from hydrant flushing, or from leaks in the water distribution system. The cost of repair for such damage shall be borne by the CONTRACTOR. Hazards should be used to direct the water from hydrant flushing into the storm sewer system (if available).
- Repair any existing drainage lines damaged during construction and properly re-route and/or connect said line to the nearest storm sewer outlet. All locations of encroached drainage line shall be properly indicated on the CONTRACTOR'S "As-Built" drawing.
- Maintain proper site drainage as established by the earthwork CONTRACTOR to ensure the integrity of the roadway sub-grade.

### 4. SUPPLEMENTAL SPECIFICATIONS

#### a. Street Lighting

- Street/Parking Lot lighting shall be moved/constructed in accordance with the current service rules and policies of the Electric Utility Company, and accepted local ordinances.
    - All electric under impervious surfaces will be installed in rigid galvanized steel conduit of size required by the Electric Utility Company to accommodate conductor.
    - Conduit shall extend a minimum of four (4) feet beyond the back of curb on each side of surface.
    - Conduit shall be laid at an absolute minimum of 30 inches below the bottom of the curb.
    - Conduit shall be capped at both ends.
    - Expense to locate inadequately marked crossings and to extend crossings that end up under the street, will be the responsibility of the CONTRACTOR.
  - Yellow standard warning tape shall be installed one (1) foot above the street light conductor wire for the full length of all trenches.
  - Electrical contractor will submit specifications, drawings and catalog cuts for all materials to the OWNER for approval before ordering.
- The electrical CONTRACTOR shall furnish one set of record drawings to the OWNER upon completion of the street lighting. The drawings shall show the location of the lights along the street relative to property corners and also the location of all underground wiring.

#### 5. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

- All work shall be done in general accordance with the "Illinois Urban Manual"
- Sediment and erosion control devices shall be functional before land is otherwise disturbed on the site.
- Vehicle access to the site shall be restricted to a gravel drive after the foundation is backfilled. Solid gravel drive shall be installed within 7 days of the backfilling of the foundation and before any construction begins above the top of foundation.
- Any soil, mud or debris that is washed, tracked or deposited on to the street shall be removed immediately.
- The surface of stripped area shall be permanently or temporarily protected from soil erosion within 15 days after the final grade is reached. Stripped areas not at final grade that will remain undisturbed for more than 15 days after initial disturbance shall be protected from erosion.
- If a stockpile is to remain in place for more than 3 days, then sediment and erosion control shall be provided for such stockpile.
- Storm sewer inlets shall be protected with sediment trapping or filter control devices during construction.
- Water pumped or otherwise discharged from the site during construction dewatering shall be filtered.

#### 6. TRAFFIC CONTROL AND PROTECTION

- All work conducted within public right-of-ways shall be governed by the following specifications for traffic control. Traffic Control shall be in accordance with the applicable articles of section 107 and 901 of the "Standard Specifications for Road and Bridge Construction", the latest edition of the Illinois Manual on Uniform Traffic Control Devices for Streets and Highways and special details of Illinois Highway Standards listed herein.
  - All traffic control devices used on this project shall conform to the plans, special provisions, traffic control standards, "Standard Specifications for Traffic Control Devices" and the "Illinois Manual on Uniform Traffic Control Devices for Streets and Highways". No modification of these requirements will be allowed without prior written approval of the ENGINEER.
  - Traffic control devices include signs and their supports, signals, pavement markings, barricades with sand bags, channelizing devices, warning lights, arrow boards, flaggers, or any other device used for the purpose of regulating, warning or guiding traffic through the construction zone.
  - The CONTRACTOR shall be responsible for the proper location, installation, and arrangement of all traffic control devices. Special attention shall be given to advance warning signs during construction operations in order to keep lane assignment consistent with barricade placement at all times. The CONTRACTOR shall cover all traffic control devices which are inconsistent with detour or lane assignment patterns during the transition from one construction device to another.
  - Construction signs referring to daytime lane closures during working hours shall be removed or covered during non-working hours.
  - The CONTRACTOR shall ensure that all traffic control devices installed by him are operational 24 hours a day, including Sundays and Holidays.

### DRAWING INDEX

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### LEGEND

---	EXISTING GRADE
---	PROPOSED GRADE
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN
---	EXISTING SPOT GRADE
---	PROPOSED SPOT GRADE
---	SECT. ADJUSTMENT GRADE
---	COMPOUND
---	STORM SEWER MANHOLE
---	WATER MAIN MANHOLE
---	ELECTRIC METER
---	AND METER
---	FIRE HYDRANT
---	UTILITY POLE
---	CONCRETE TREE
---	DECIDUOUS TREE
---	WATER VALVE
---	COMPOUNDED METAL PIPE
---	UTILITY POLE
---	8-FOOT
---	LEAK OR GROUND OR WALL
---	WOOD PILE

### BENCHMARKS

BENCH MARK NO.1  
DUPAGE COUNTY GEODETIC SURVEY  
MONUMENT DGN28002, DISK LOCATED IN THE PIER ON THE SOUTHEASTLY SIDE OF THE BRIDGE FOR INTERSTATE 55 OVER MADISON STREET.  
ELEV. = 714.55 (NAVD 88)

BENCH MARK NO.2  
DUPAGE COUNTY GEODETIC SURVEY  
MONUMENT DGN35002, DISK LOCATED AT THE NORTHWEST CORNER OF MADISON STREET AND 83RD STREET.  
ELEV. = 732.93 (NAVD 88)



JAMES E. KOZIOL, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS SITE AND GRADING PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND THE DEVELOPMENT OF THIS SITE MEETS THE MINIMUM CRITERIA FOR STORM WATER MANAGEMENT IN ACCORDANCE WITH THE DUPAGE COUNTY ORDINANCE AND WAIVER COMMUNITY ORDINANCE AND AS SHOWN WILL NOT INCREASE RUN-OFF SO AS TO ADVERSELY AFFECT THE QUALITY OF RUN-OFF OR DAMAGE ADJACENT PROPERTIES.

NO FLOODPLAIN, WETLANDS OR BUFFERS EXIST ON THIS PARCEL.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_A.D.

JAMES E. KOZIOL, P.E.  
EXP. 11/30/15

**KOZIOL ENGINEERING SERVICES**  
PROFESSIONAL ENGINEERS  
www.KozioLEngineering.com

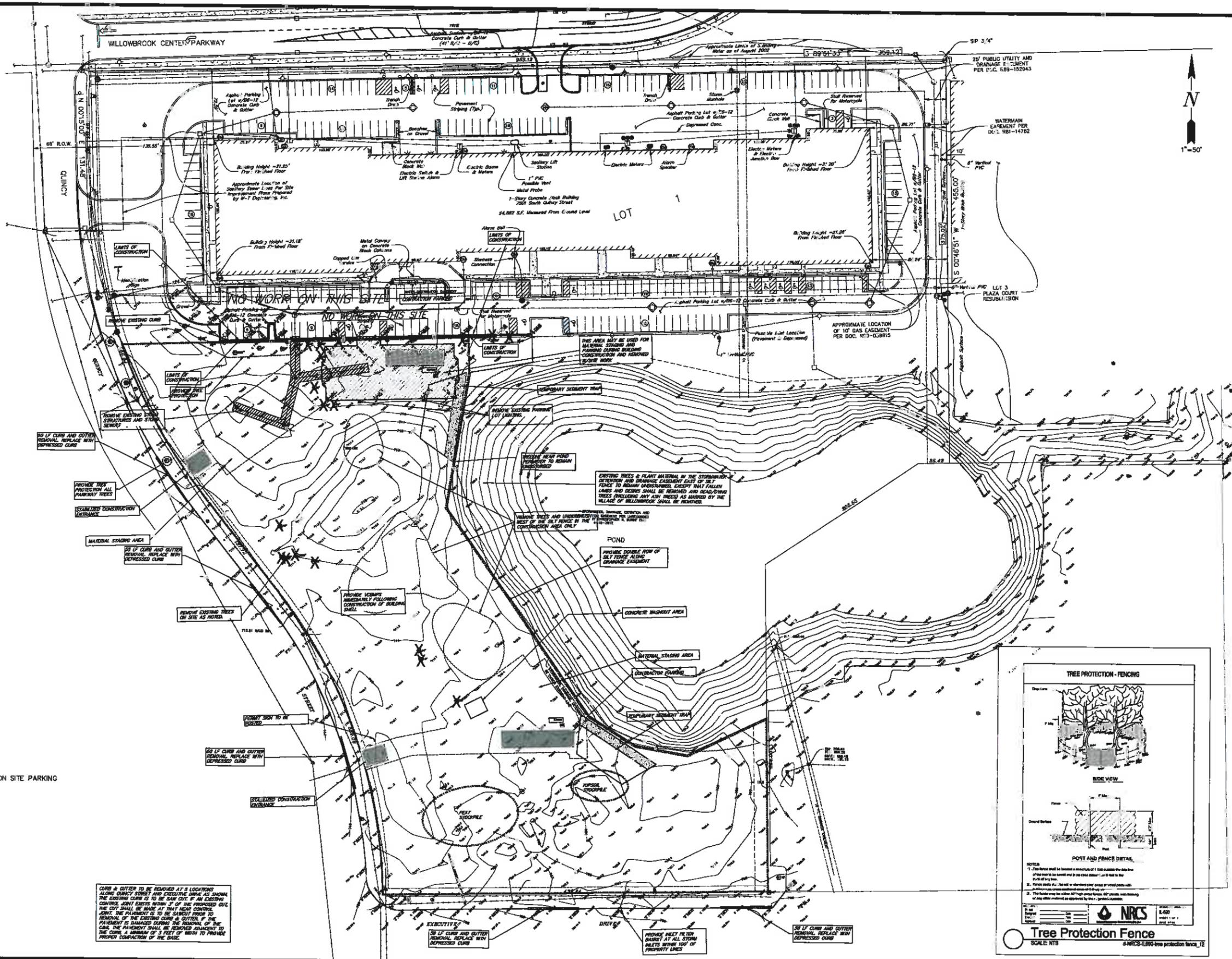
1821 Ogden Avenue  
Lisle, Illinois 60532  
PH: (630) 435-0686 F: (630) 435-0688

**COVER SHEET**

REV	DATE	DESCRIPTION
0	03/04/15	CONCRETE PLAN
1	03/26/15	FINAL ENGINEERING
2	06/19/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

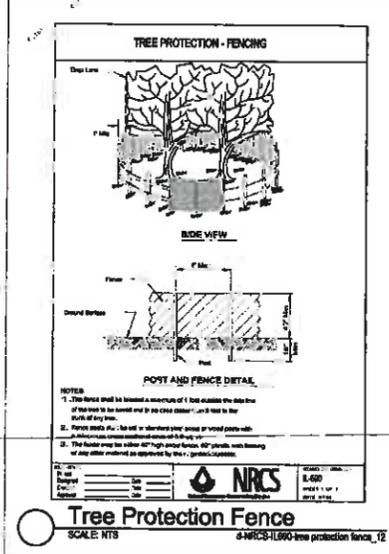
7601 S. QUINCY ST.  
WILLOWBROOK, IL

SHEET NUMBER



**X** TREES TO BE REMOVED  
 PROPOSED CONTRACTOR ON SITE PARKING

CURB & GUTTER TO BE REPAIRED AT 8 LOCATIONS ALONG QUINCT STREET AND EXECUTIVE DRIVE AS SHOWN. THE EXISTING CURB IS TO BE DEMO OUT BY AN EXISTING CONTROL JOINT EXISTS WITHIN 3' OF THE PROPOSED CURB. THE CURB SHALL BE REPAIRED AT THAT NEAR CONTROL JOINT. THE REPAIRMENT IS TO BE CARVED DOWN TO REMOVAL OF THE EXISTING CURB & GUTTER. IF THE PAVEMENT IS DAMAGED DURING THE REMOVAL OF THE CURB, THE PAVEMENT SHALL BE REMOVED ADJACENT TO THE CURB, A MINIMUM OF 3 FEET OF WIDTH TO PROVIDE PROPER COMPACTION OF THE BASE.



REV	DATE	DESCRIPTION
0	08/14/15	CONCEPT PLAN
1	02/26/15	FINAL ENGINEERING
2	08/18/15	FINAL ENGINEERING
3	07/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING
5	12/29/15	FINAL ENGINEERING

EXIST COND / DEMO / SWPP PLAN  
 7801 S. QUINCT ST.  
 WILLOWBROOK, IL

**KOZIOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
 1651 Ogden Avenue  
 Ft. Lauderdale, FL 33305  
 Phone: (954) 455-8888  
 Fax: (954) 455-8888  
 www.kozeengineering.com





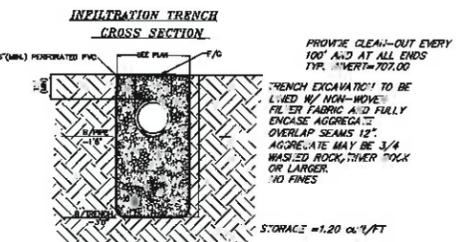
**Zoning**  
 A - 52,874.28 SF  
 B - 44,410.17 SF  
 TOTAL SF - 97,284.45

**PARC.**  
 69 TOTAL SPACES  
 (INCLUDING 3 H.C. SPACES)

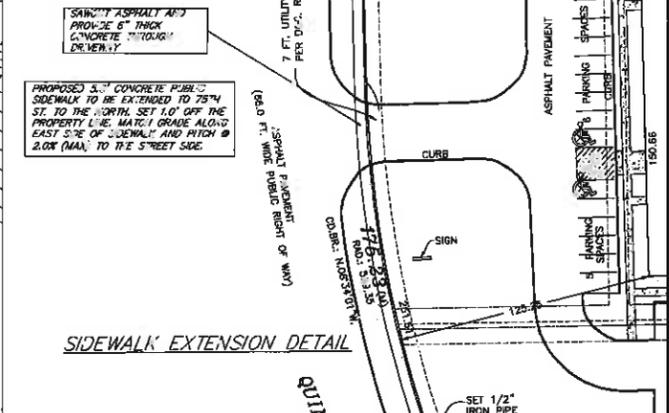
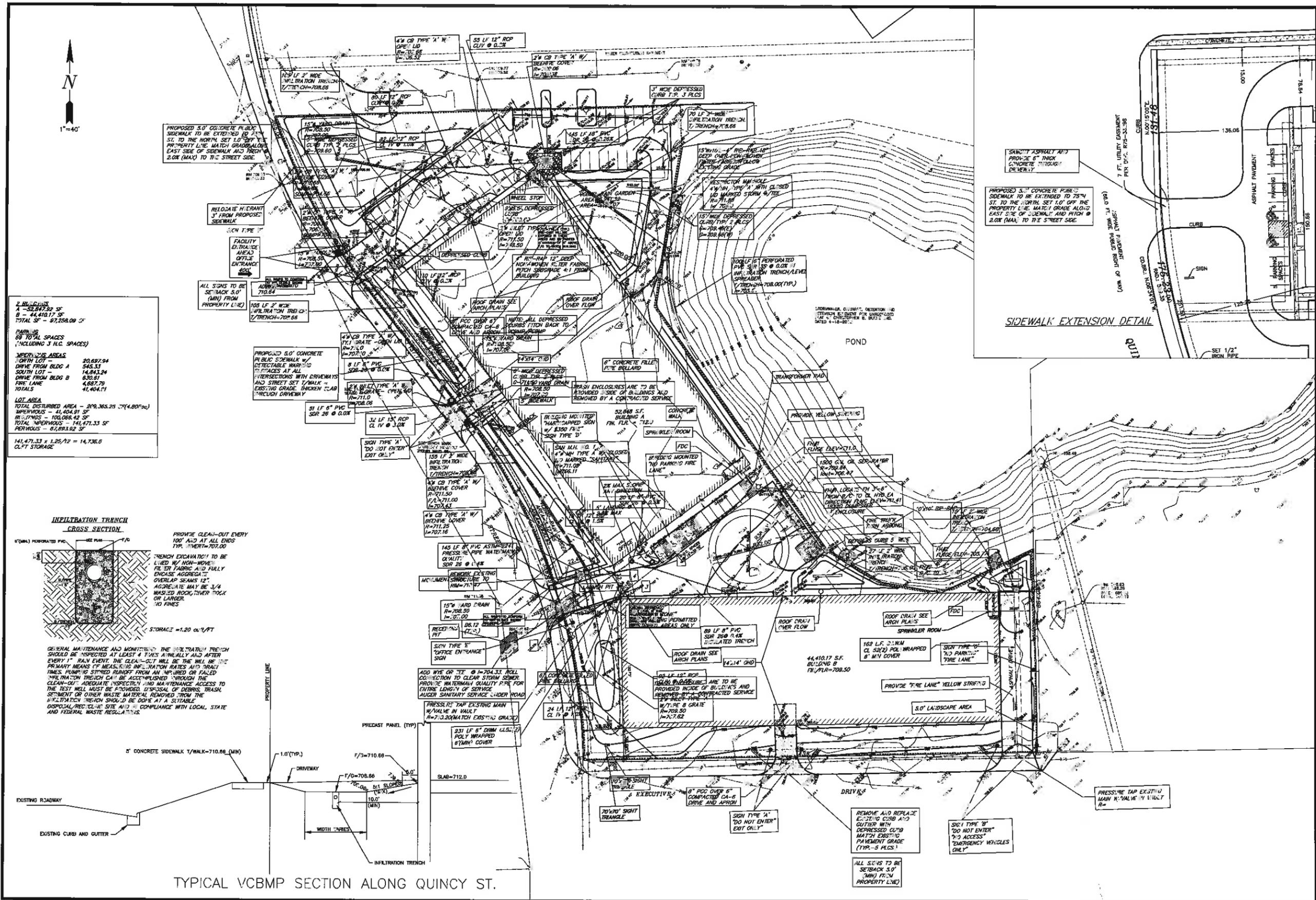
**IMPERVIOUS AREAS**  
 NORTH LOT - 20,697.94  
 DRIVE FROM BLDG A - 545.33  
 SOUTH LOT - 14,843.24  
 DRIVE FROM BLDG B - 630.61  
 FIRE LANE - 4,687.79  
 TOTALS - 41,404.91

**LOT AREA**  
 TOTAL DISTURBED AREA - 219,365.25 (74,809%)  
 IMPERVIOUS - 41,404.91 SF  
 PERVIOUS - 100,068.48 SF  
 TOTAL IMPERVIOUS - 141,473.33 SF  
 PERVIOUS - 67,893.92 SF

141,473.33 x 1.25/12 = 14,736.6  
 CL.FT STORAGE



TYPICAL VCBMP SECTION ALONG QUINCY ST.



SIDEWALK EXTENSION DETAIL

**KOZIOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS

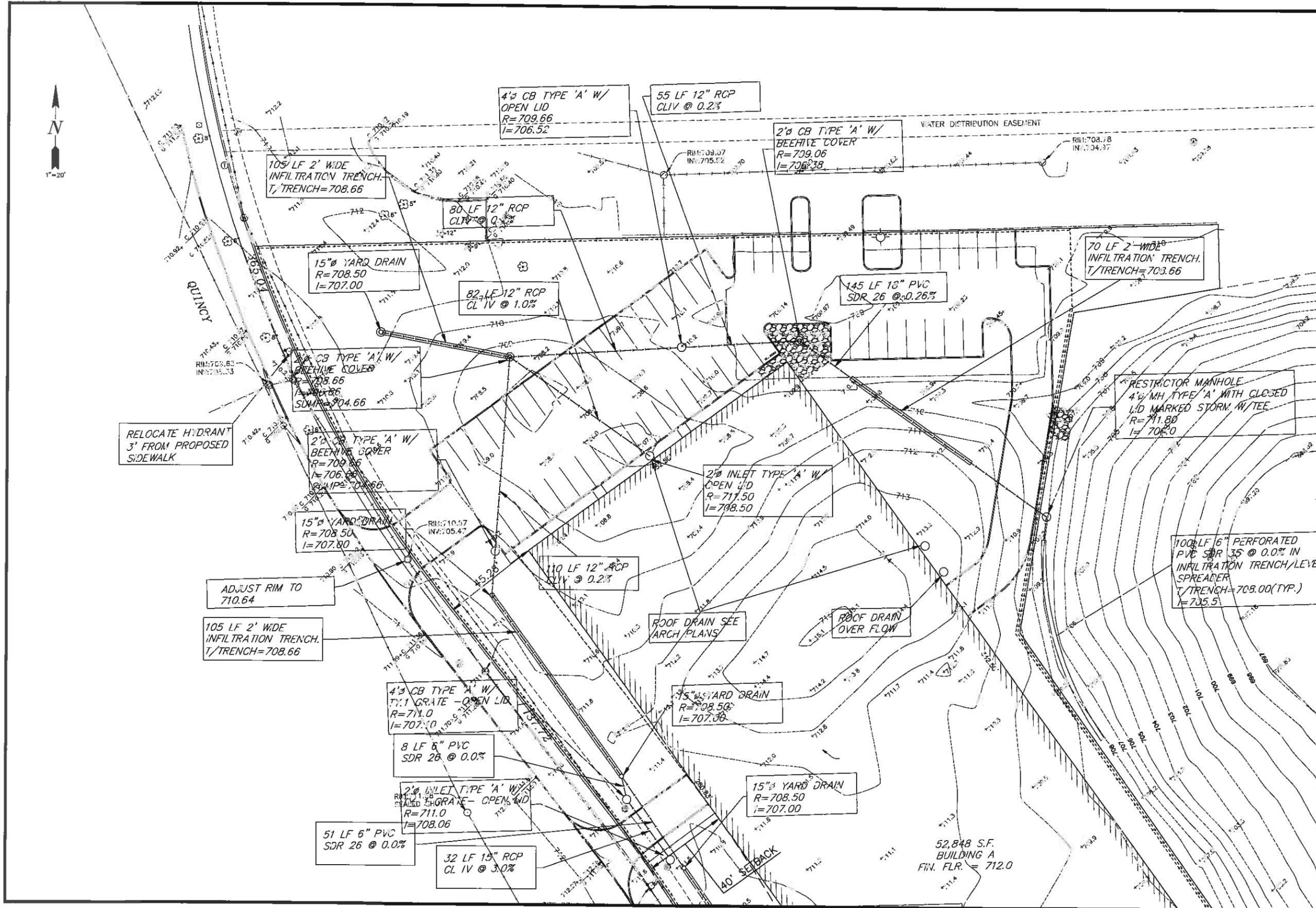
161 Ogden Avenue  
 Peoria, IL 61602  
 Tel: (309) 696-0002  
 Fax: (309) 696-0009



REF.	DATE	DESCRIPTION
0	06/04/15	CONCRETE PLAN
1	02/20/15	FINAL ENGINEERING
2	02/16/15	FINAL ENGINEERING
3	06/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

**OVERALL PLAN**  
 7601 S. QUINCY ST.  
 WILLOWBROOK, IL

DESIGNED BY: JEK DRAIN BY: JEK SCALE: 1/40 FILE NAME: 14199  
 DRAWINGS ARE NOT AUTHORIZED FOR SUBMITTAL UNLESS SIGNED AND SEALED

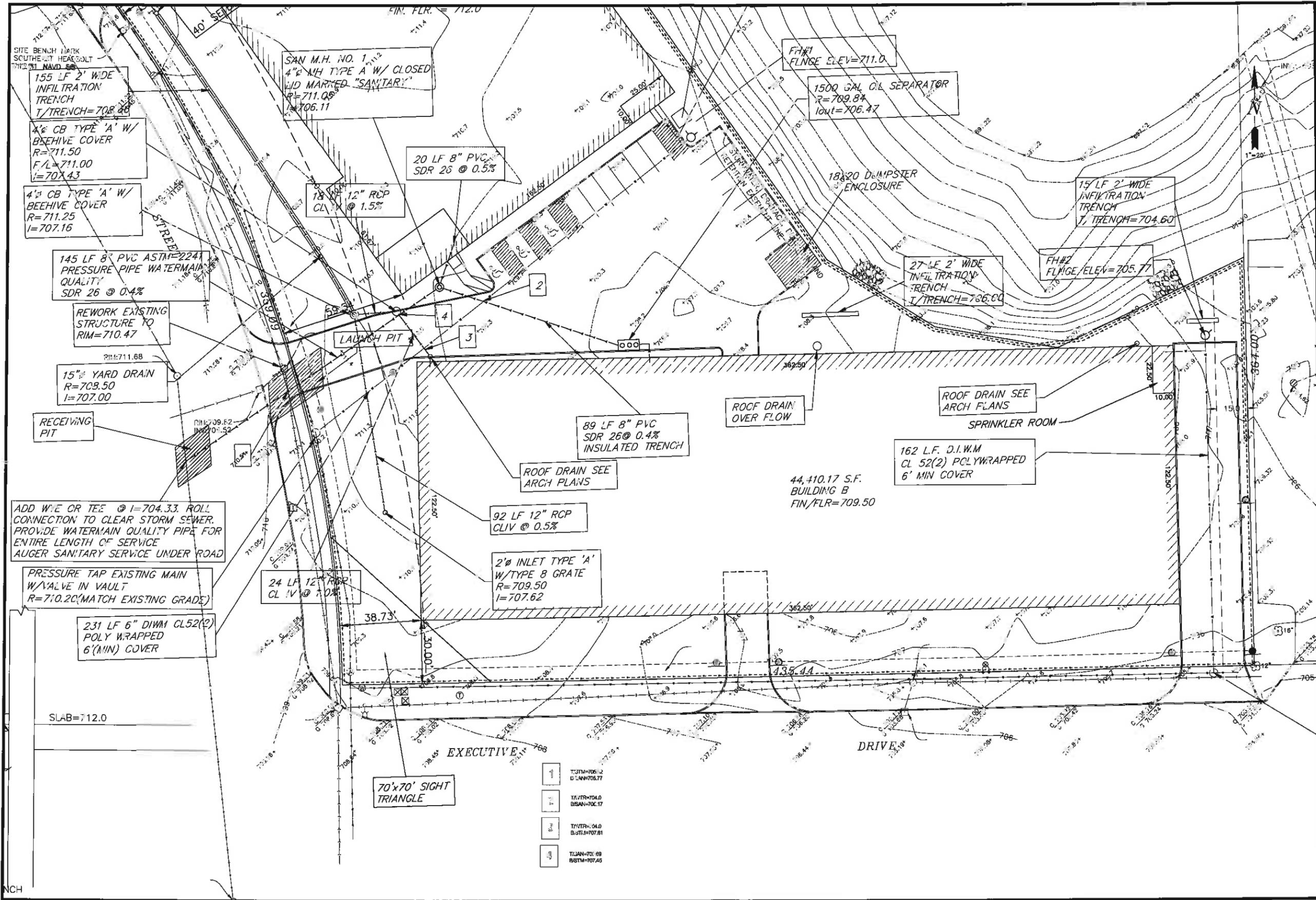


**KOZIOL ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
INCORPORATED  
 REG. OFFICE: 1100 S. QUINCY ST., WILLOWBROOK, IL 60120  
 PHONE: (630) 437-9625 FAX: (630) 437-9626



REF.	DATE	DESCRIPTION
0	02/20/15	CONCEPT PLAN
1	03/27/15	FINAL ENGINEERING
2	06/16/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

UTILITY PLAN-NORTH  
 7601 S. QUINCY ST.  
 WILLOWBROOK, IL



**KOZIO ENGINEERING SERVICES**  
 PROFESSIONAL ENGINEERS  
 182 Ogden Avenue  
 Peoria, IL 61603  
 Phone: 309.696.4444  
 Fax: 309.696.4444  
 www.kozioengineering.com



REV.	DATE	DESCRIPTION
1	02/27/15	CONCEPT PLAN
2	02/27/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING

REV.	DATE	DESCRIPTION
5	02/27/15	FINAL ENGINEERING

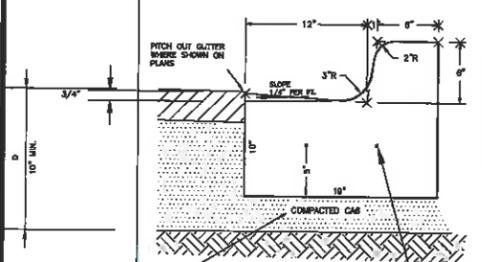
**UTILITY PLAN-SOUTH**  
 7601 S. QUINCT ST.  
 WILLOWBROOK, IL

REV.	DATE	DESCRIPTION
1	02/27/15	CONCEPT PLAN
2	02/27/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/20/15	FINAL ENGINEERING



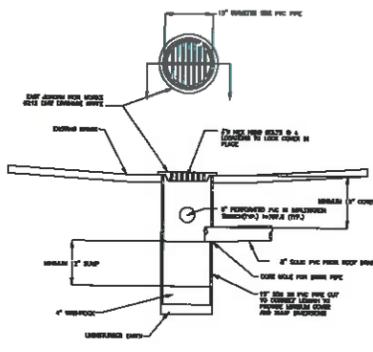
# DETAILS

## B6.12 CURB & GUTTER

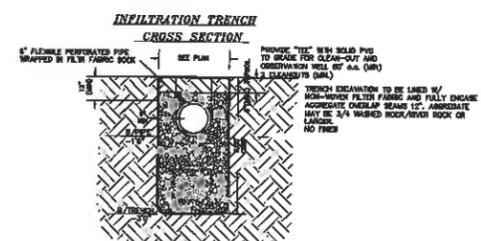


EXTEND PAVEMENT BASE COURSE TO PROVIDE A MINIMUM OF LAYER OF COMPACTED GAB UNDER THE CURB.

NO. 5 REBAR, 10' LONG CENTERED OVER UTILITY TRENCHES AND 3 NO. 3 BOWL BARS AT EXPANSION JOINTS EVERY 10'. 3\"/>

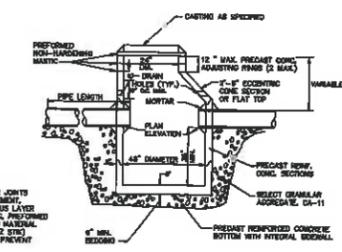


PVC YARD DRAIN DETAIL IN VCBMP/PCBMP



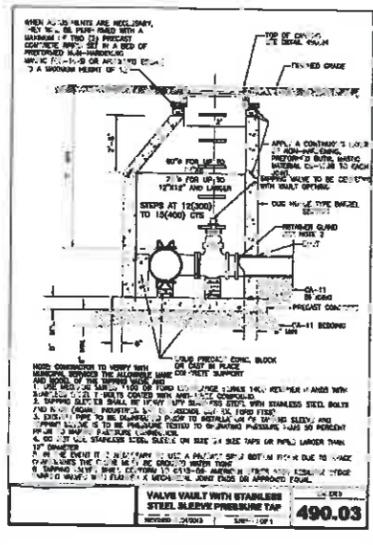
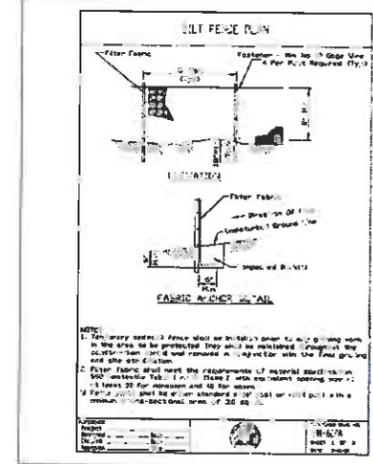
GENERAL MAINTENANCE AND INSPECTION OF THE INFILTRATION TRENCH SHOULD BE PERFORMED AT LEAST 4 TIMES ANNUALLY AND AFTER EVERY 1\"/>

## CATCH BASIN TYPE A

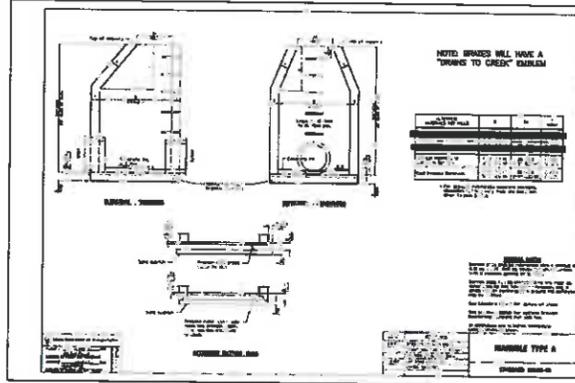


### NOTES

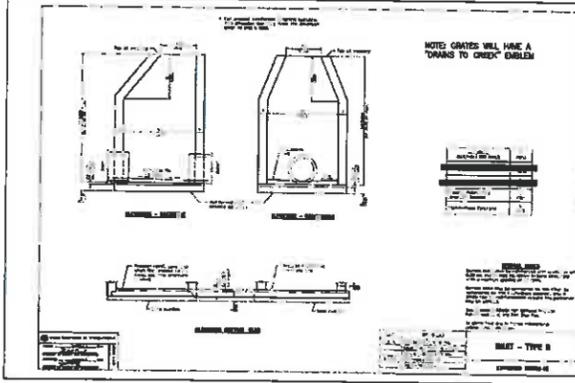
1. PROVIDE SELECT GRANULAR BACKFILL, CA-11 AROUND CATCH BASIN TO SUBGRADE EXISTING OR PAVED AREAS.
2. ALTERNATE CATCH BASIN BOTTOM - PRECAST REINFORCED CONCRETE BASE. CONCRETE FILTER SHALL BE MADE WITH HIGH-DENSITY POLYMER TO PROVIDE A SMOOTH TRANSITION BETWEEN THE CASING AND ADJACENT ROAD (SEE TOP OF STRUCTURE). SEE STORY 8.7.
3. WHEN ADJUSTMENTS ARE NECESSARY, THEY WILL BE PERFORMED WITH A MAXIMUM OF TWO PRECAST CONCRETE FRAMES SET IN A BED OF PRECAST NON-ADHESIVE MASTIC (MS-2) OR APPROVED EQUAL TO A MINIMUM HEIGHT OF THREE INCHES. TWO MORE FRAMES SHALL ONLY BE USED WHEN ADJUSTMENT IS LESS THAN THREE INCHES.
4. NO MORTAR SHALL BE USED TO CRACK UP INSIDE ADJACENT PAVEMENT.
5. CATCH BASIN ADE TO BE USED IN PAVED AREAS ONLY.
6. A MINIMUM OF FOUR (4) TWO (2) INCH DIAMETER HOLES SHALL BE PROVIDED WITHIN ONE (1) FOOT OF THE LOWEST PIPE INLET. THE HOLES SHALL BE DEFINED CONSISTENTLY AROUND THE PERIMETER OF THE STRUCTURE. A ONE (1) FOOT BY ONE (1) FOOT SECTION OF UNDERDRAIN FILTER CLOTH MATERIAL SHALL BE SUFFICIENTLY FIXED TO THE OUTSIDE OF THE HANDLE WITH MASTIC MATERIAL TO PREVENT SLIPPAGE DURING MAINTENANCE. THE HOLES SHALL BE EITHER PRE-CAST OR DRILLED. DRAIN HOLES ARE PROVIDED FOR ALL CATCH BASINS IN PAVED AREAS.
7. SEE STORY 19 FOR STEP DETAIL.



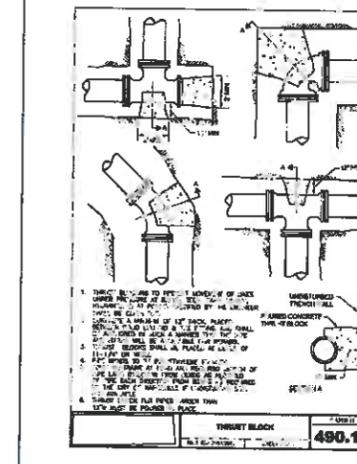
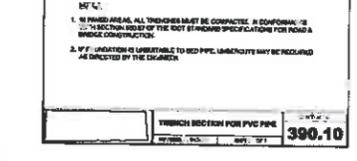
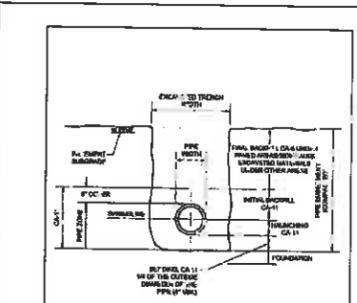
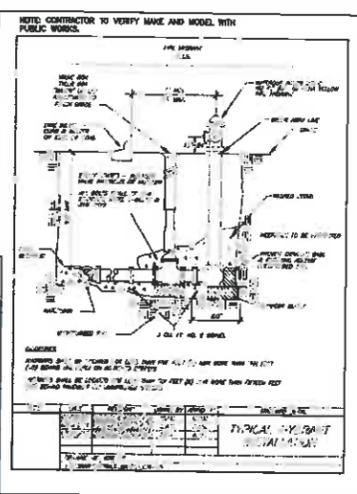
490.03



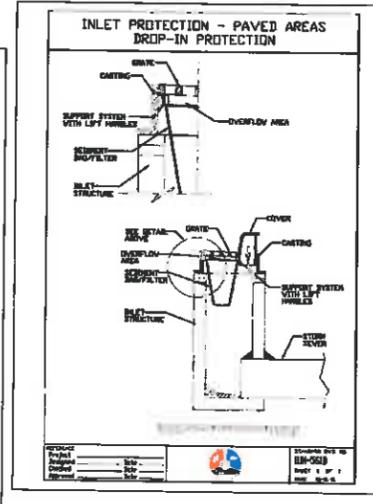
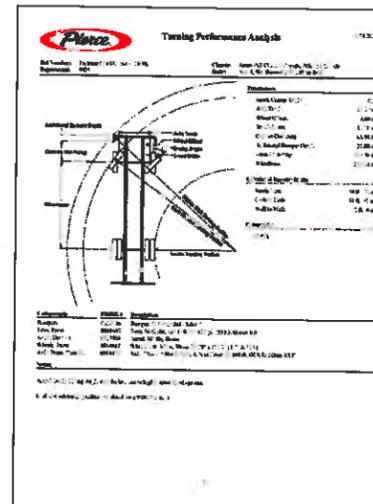
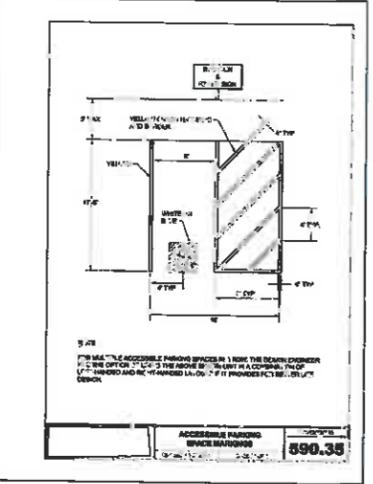
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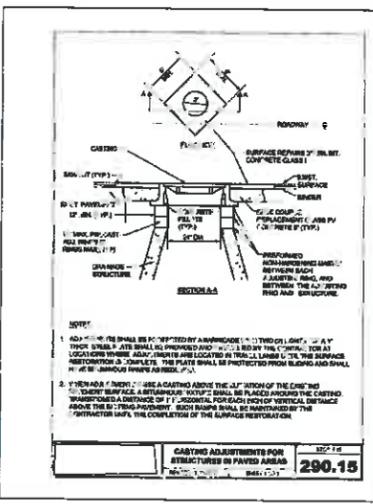
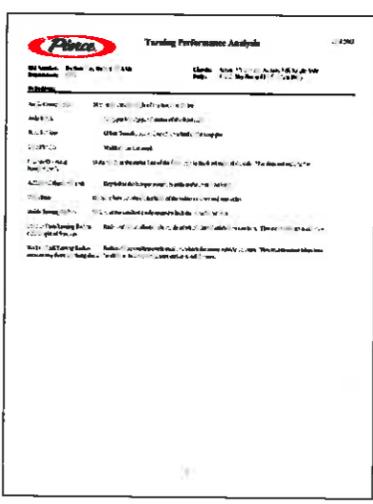
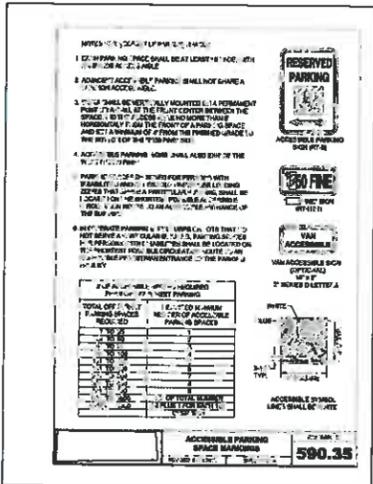
490.11



490.11



290.15



290.15

**KOTZOL ENGINEERING SERVICES**  
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Lincoln, MA 01865  
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REV	DATE	DESCRIPTION
0	08/24/15	CONCEPT PLAN
1	09/25/15	FINAL ENGINEERING
2	09/25/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/23/15	FINAL ENGINEERING

**Detail: Monument Sign**

UL Listed Double Face Monument Sign - Internally Illuminated with PL Lenses

Decorated Plexiglas

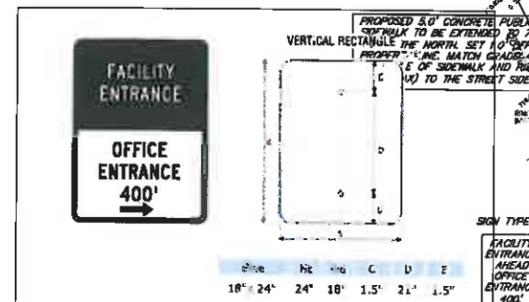
12" Deep



Aluminum Pole Cove  
7601  
27.4 sq. ft. Sign Area per Side - Total 54 sq. ft.  
Rigid Conduit 120v / 20 amp circuit  
3000 psi concrete / 24" X 48" hole in undisturbed soil

**Detail for Sign Types A, B & C**

Detail for Sign Types A, B & C



**2. BUILDINGS**

A - 52,947.92 SF  
B - 44,410.17 SF  
TOTAL SF - 97,358.09 SF

**CARSPACES**

39 TOTAL SPACES  
(INCLUDING 3 H.C. SPACES)

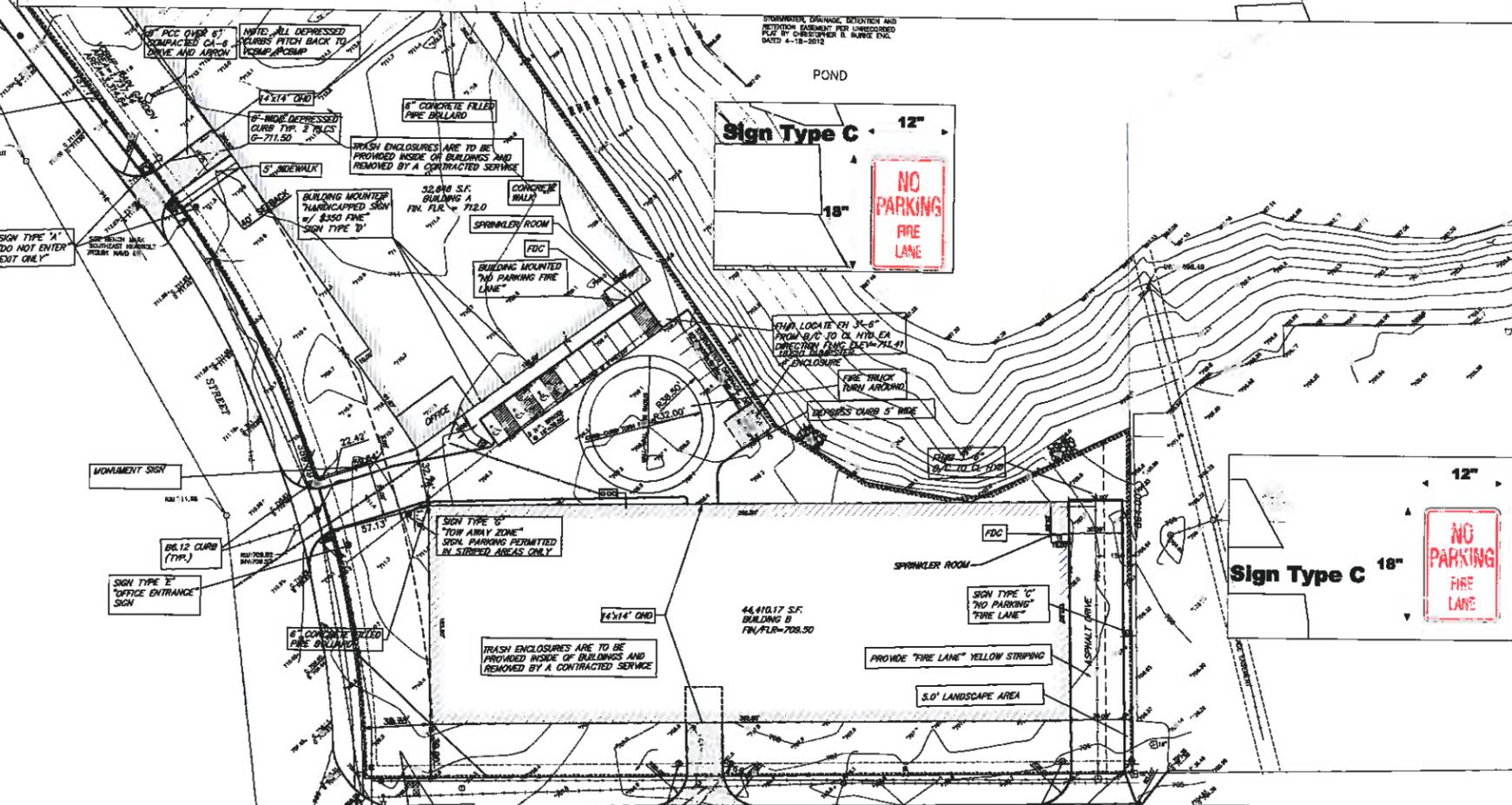
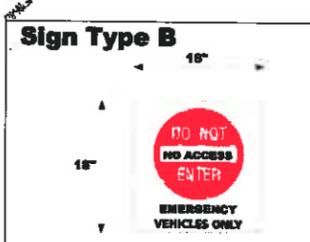
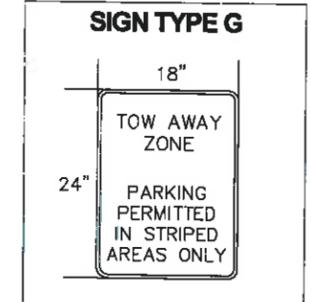
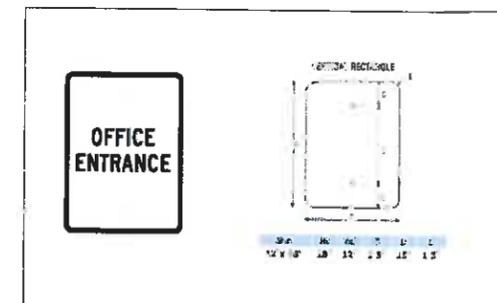
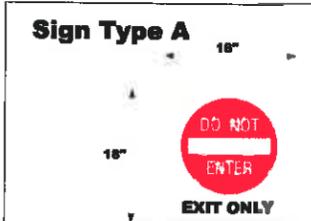
**IMPERVIOUS AREAS**

NORTH LOT - 20,687.94  
DRIVE FROM BLDG A - 545.33  
SOUTH LOT - 14,843.24  
DRIVE FROM BLDG B - 633.81  
FIRE LANE - 4,687.79  
TOTALS - 41,404.81

**LOT AREA**

TOTAL DISTURBED AREA - 208,365.25 SF (4,806 ac)  
IMPERVIOUS - 41,404.81 SF  
BUILDINGS - 100,068.42 SF  
TOTAL IMPERVIOUS - 141,473.23 SF  
PERVIOUS - 67,891.92 SF

141,473.23 x 1.25/12 = 14,738.6 CUBIT STORAGE

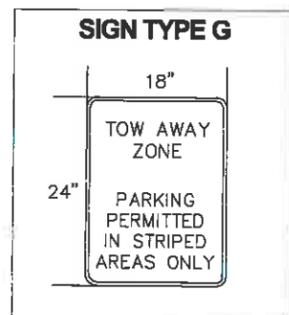
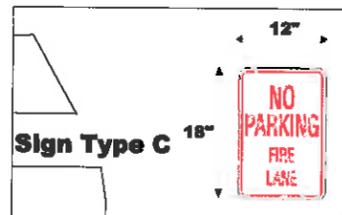
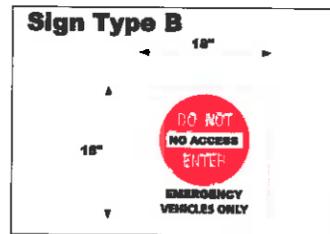
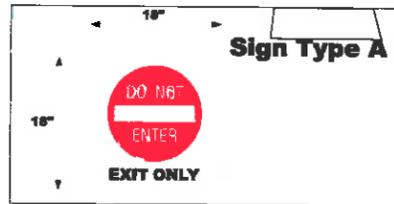


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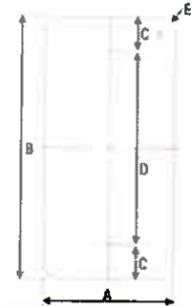


REV	DATE	DESCRIPTION
0	05/04/15	CONCEPT PLAN
1	05/29/15	FINAL ENGINEERING
2	07/01/15	FINAL ENGINEERING
3	07/07/15	FINAL ENGINEERING
4	11/02/15	FINAL ENGINEERING

**SIGN LOCATION PLAN**  
7601 S. QUINCT ST.  
WILLOWBROOK, IL



**TYPE D**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
12"x 24"	24"	12"	1.5"	21"	1.5"



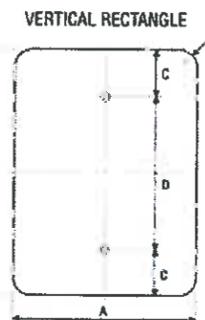
**TYPE E**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
12" x 18"	18"	12"	1.5"	15"	1.5"



**TYPE F**  
VERTICAL RECTANGLE



Size	Ht	Wd	C	D	E
18"x 24"	24"	18"	1.5"	21"	1.5"



REV	DATE	DESCRIPTION
0	03/04/15	CONCEPT PLAN
1	03/25/15	FINAL ENGINEERING
2	04/16/15	FINAL ENGINEERING
3	10/07/15	FINAL ENGINEERING
4	11/09/15	FINAL ENGINEERING
5	12/02/16	FINAL ENGINEERING

**SIGNAGE DETAILS**  
7601 S. QUINCT ST.  
WILLOWBROOK, IL