

A G E N D A

REGULAR MEETING OF THE PLAN COMMISSION OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON WEDNESDAY, SEPTEMBER 7, 2016 AT 7:00 P.M. AT THE LITTLE THEATER AT HINSDALE SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS.

1. CALL TO ORDER
2. ROLL CALL
3. OMNIBUS VOTE AGENDA
 - A. Waive Reading of Minutes (APPROVE)
 - B. Minutes - Regular Meeting August 3, 2016
4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-16: (7501-7601 Quincy Street, Willowbrook, Illinois - ROC Willowbrook, LLC) Petition to amend a special use permit for a Planned Unit Development to allow the addition of a second story to storage facility Building A, and to consider alternate façade and building materials for both storage facility Building A and B, and other variations and zoning relief as may be required.
 - A. PUBLIC HEARING CONTINUED FROM AUGUST 17, 2016 MEETING
 - B. DISCUSSION/RECOMMENDATION
5. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 16-17: Administrative petition for a text amendment to amend the fence code in Section 9-12-4(D)(2)(d) of the Zoning Ordinance.
 - A. PUBLIC HEARING
 - B. DISCUSSION/RECOMMENDATION
6. VISITOR'S BUSINESS
7. COMMUNICATIONS
8. ADJOURNMENT



Village of Willowbrook
Staff Report to the Plan Commission

Public Hearing Date: September 7, 2016

Prepared By: Anna Franco, Planning Consultant

Case Title: PC 16-17: Text Amendment to amend the fence code in Section 9-12-4 (D)(2)(d) of the Zoning Ordinance.

Petitioner: Village of Willowbrook

Action Requested by Petitioner: Consideration and recommendation to add the following after the first sentence of said section:

...**"Where an exterior side yard abuts the front yard of an adjoining lot and the subject lot is located along a street listed in (f)(1) through (f)(5), a five feet (5') in height fifty percent (50%) fence may be allowed in the exterior side yard of that subject lot."**...

Document(s) Attached: *Attachment 1: Fence Height Requirements Before & After Text Amendment*
Attachment 2: Title 9, Chapter 12, Section 9-12-4 (D)(2)

Necessary Action by Plan Commission: Make a recommendation to the Mayor and Village Board regarding approval of the proposed text amendment.

A sample motion can be found on page 3.



Description of Request

The purpose of this text amendment is to allow a 5' fence in an exterior side yard of a corner lot that abuts the front yard of an adjacent lot, where the subject corner lot is along Illinois Route 83, Plainfield Road, 63rd Street, 75th Street, or Madison Street. Below is a list of properties where a corner lot abuts the front yard of an adjacent lot along one of these main roadways:

<u>Corner Lot</u>	<u>Adjacent Lot</u>
• 6239 Bentley Avenue	350 63 rd Street
• 837 Willow Lane	843 Cramer Court
• 6816 Caitlin Court	534 Plainfield Road
• 7501 Brookbank Road	233 75th Street
• 6340 Madison Street	6320 Madison Street

Currently, the Village code limits fence height to 3' in an exterior side yard, in this unique instance. The fence height limitation is illustrated in **Attachment 1**. As shown, property owners for these corner lots have a mismatch of fence height standards per each yard of their lot. For properties along these major roadways, a 6' solid fence is allowed on the exterior side or rear lot line of a residentially zoned lot per item (f) of the fence section of the code. However, due to item (b) and (d) of the fence section of the code, fence height in the exterior side yard that is not along a lot line is limited to 3'. Therefore, a property owners wishing to install a fence on this lot, would only be able to construct a continuous fence with a maximum height of 3' in their "backyard."

This poses an issue for property owners who wish to install an in-ground swimming pool on their property, since a minimum 4' fence is required for installation of a pool which pool height is less than 4' above grade, per item (j) of the same section. This code requirement was most likely adopted as a safety precaution.

This is currently an issue for property owners of 7501 Brookbank Road (illustrated in **Attachment 1**) and 837 Willow Lane.

- **7501 Brookbank Road:** This property owner would like to install an in-ground swimming pool, however, is unable to meet the 4' height requirement due to the restriction to a maximum fence height of 3' in a portion of his exterior yard.
- **837 Willow Lane:** This property owner already has an in-ground swimming pool and uses the front fence of his neighbor's property for his rear fence. Unfortunately, a recent storm event, damaged a portion of the neighbor's fence and the neighbor does not wish to repair their fence. The subject property owner wishes to install a fence in his own rear lot line, but is also unable to install a fence at a minimum height of 4' along his rear yard, due to the restriction of a maximum fence height of 3' in his exterior side yard.

The text would allow these property owners, as well as the three (3) other properties listed above, to install a 5' fence in the exterior side yard where only 3' is now allowed. Staff determine 5' as an appropriate height (instead of 4'), to allow a continuous 5' fence in the interior side, rear, and exterior side yard of the lot; essentially, the back yard. Staff reviewed each instance of where a corner lots abuts a front yard along the major roadways listed, and determined that a 5' fence would not alter visibility for vehicles pulling in and out of driveways for the adjacent property whose front yard it abuts.



Staff Recommendation

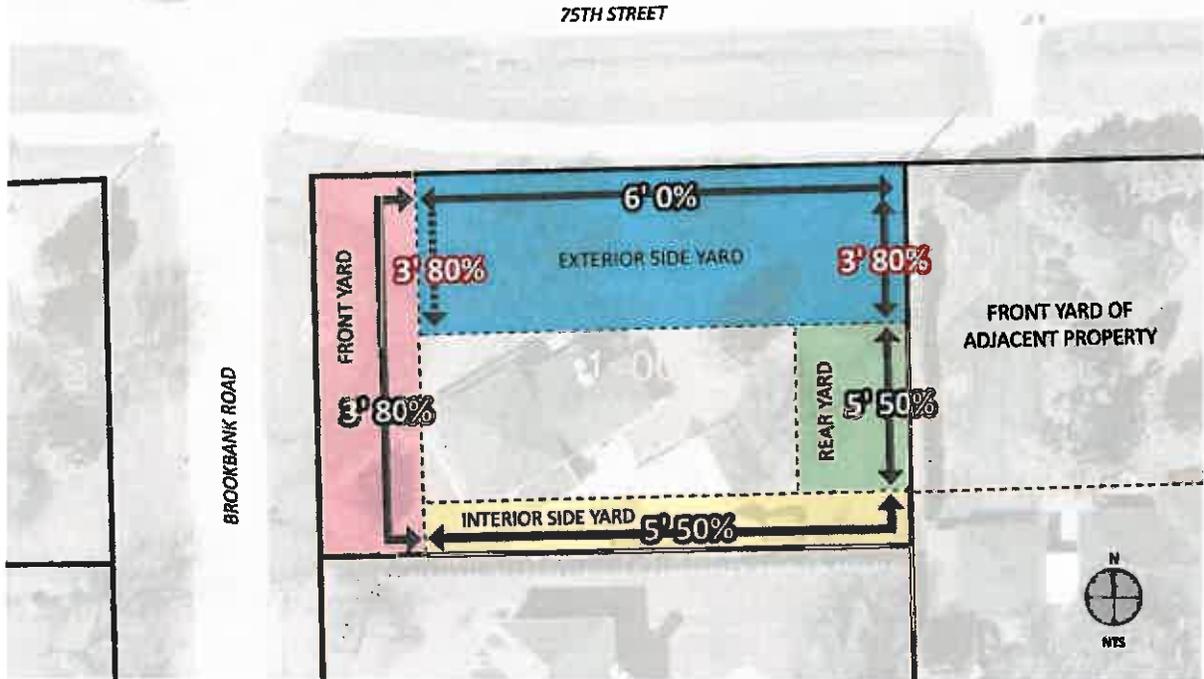
This text amendment is necessary to eliminate discrepancies in the Village's fence code that disallow residents from installing a continuous fence in their backyard and from installing a minimum 4' fence to allow construction of a swimming pool.

Staff supports the proposed text amendment. If the Plan Commission concurs, the following sample recommendation is offered for consideration.

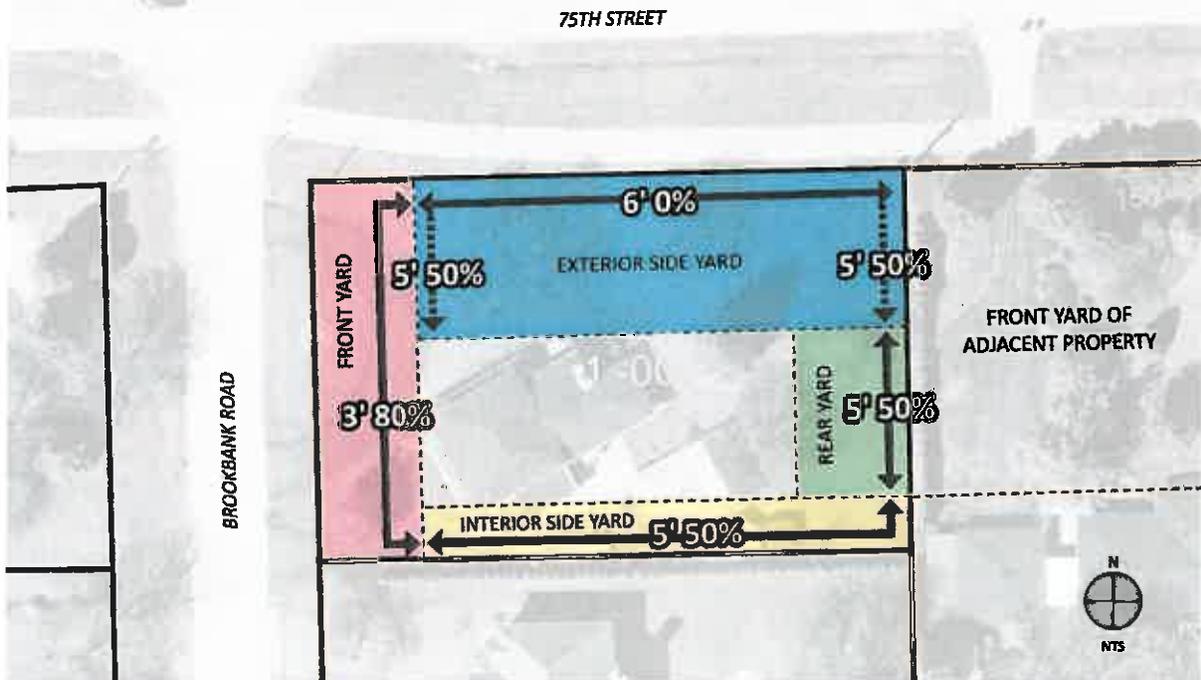
Based on the submitted petition and testimony presented, I move that the Plan Commission recommend to the Village Board approval of the text amendment presented on Page 1 of the Staff Report for PC Case Number 16-17 to amend the fence code of Section 9-12-4 (D)(2)(d) of the Zoning Ordinance.

Attachment 1: Fence Height Requirements Before & After Text Amendment
7501 Brookbank Street

Fence Height Requirements Before Text Amendment



Fence Height Requirements After Text Amendment



Attachment 2: Title 9, Chapter 12, Section 9-12-4 (D)(2)

2. Fences And Walls: Fences and walls are permitted subject to the following conditions:

- (a) Fences not greater than three feet (3') in height and at least eighty percent (80%) open may be located anywhere on a lot.
- (b) Fences with not greater than five feet (5') in height and at least fifty percent (50%) open may be located anywhere on a lot, except in a required front or exterior side yard.
- (c) Fences not greater than six feet (6') in height may be located anywhere on a lot except within a required front, exterior side, interior side or rear yard.
- (d) Fences not greater than four feet (4') in height and at least fifty percent (50%) open may be located anywhere on a lot except in a required front yard, or a required exterior side yard where such exterior side yard abuts the front yard of an adjoining lot. **INSERT PROPOSED TEXT AMENDMENT HERE** Notwithstanding any provision hereinafter to the contrary, no such fence shall be located within fifty feet (50') of the lot corner formed by the intersection of any two (2) street right of way lines.
- (e) Notwithstanding the provisions contained in subsections (D)2(a), (D)2(b), (D)2(c) and (D)2(d) of this section, an open or solid fence not greater than eight feet (8') in height may be located to within a minimum of ten feet (10') from a rear or interior side lot line where such lot line represents the boundary between a nonresidential district and a residential district.

Any such fence shall be buffered with berming and/or evergreens so that not more than fifty percent (50%) of the surface area of such fence shall be visible from the adjoining district. (Ord. 97-O-05, 1-27-1997)

- (f) Notwithstanding the provisions contained in subsections (D)2(a) through (D)2(d) of this section, an open or solid fence not greater than six feet (6') in height may be located on an exterior side or rear lot line of a residentially zoned lot where such lot line(s) are conterminous with the right of way lines of the following streets:

(1) Illinois Route 83 (Robert Kingery Highway).

(2) Plainfield Road.

(3) 63rd Street.

(4) 75th Street.

(5) Madison Street. (Ord. 13-O-26, 7-8-2013)

- (g) Notwithstanding the provisions contained in subsections (D)2(a) through (D)2(d) of this section, a fence not greater than eight feet (8') in height may be located anywhere on a lot in the M-1 light manufacturing district, the B-4 highway and service business district, or the L-O-R limited office and research district, except that no fence greater than three feet (3') in height may be located in a required front or exterior side yard without site plan approval by the plan commission.

Any such fence greater than four and one-half feet (4¹/₂') in height located within forty feet (40') of any residential district boundary (exclusive of ROW) shall be buffered with berming and/or evergreens so that no more than fifty percent (50%) of the surface area of such fence shall be visible from said adjoining residential district.

- (h) An additional one foot (1') high extension of barbed wire fencing may be affixed to the top of any fence located within the M-1 light manufacturing district, B-4 highway and service business district or L-O-R limited office and research district which is not less than seven feet (7') in height, provided, that in no event shall the total height of such fence, including any barbed wire exceed eight feet (8') in height, and further provided, that barbed wire fencing is prohibited in any yard adjoining a residential district. Except as otherwise provided herein, barbed wire fencing shall be prohibited in any district within the village. (Ord. 97-O-05, 1-27-1997)
- (i) Notwithstanding the provisions contained in subsections (D)2(a) through (D)2(d) of this section, a fence not greater than six feet (6') in height and at least eighty percent (80%) open may be located anywhere on a lot whereupon the principal use is institutional, provided that such fence shall utilize a decorative design, such as wrought iron. (Ord. 99-O-10, 5-24-1999)
- (j) All pools having side walls less than four feet (4') above grade, including all pools constructed below grade, shall be required to be completely enclosed by a fence. All fence openings or points of entry into pool area enclosures shall be equipped with gates. The fence and gates shall be no less than four feet (4') in height above the grade level and shall be constructed of a minimum 9-gauge, woven mesh, corrosion resistant material or solid vertical or nonsolid decay resistant material, so constructed that it will protect persons, children or animals from danger or harm by entering the swimming pool area. All gates shall be equipped with self-closing and self-latching devices placed at the top of the gate. Fence posts shall be decay or corrosion resistant and shall be set in concrete bases. All such fences required pursuant to this chapter shall further comply with all other provisions of this subsection (D).
- (k) Heights of all fences shall be measured from the grade immediately adjoining such fence at all points along said fence.
- (l) All fence posts and support framework shall face the interior of the property upon which such fence is located. All fence materials shall be erected such that the finished side faces adjoining properties.
- (m) All fences totally enclosing a yard shall have a minimum of one gate allowing ingress/egress.
- (n) Walls not greater than six feet (6') in height may be located anywhere on a lot, except within a required front, exterior side, interior side, or rear yard. Walls shall be intermittently landscaped with appropriately sized plant material to provide an aesthetically pleasing effect and interrupt long monotonous expanses.
- (o) The owner of every fence constructed within the village shall cause said fence(s) to be maintained in a safe, presentable, neat, attractive and sound structural condition at all times, including the replacement of defective parts or pickets, repainting, cleaning and other acts required for the maintenance of said fence. (Ord. 97-O-05, 1-27-1997)
- (p) In no case shall any fence or wall be located on public right of way. (Ord. 99-O-10, 5-24-1999)



Village of Willowbrook

Staff Report to the Plan Commission

Plan Commission:																
Hearing Date	September 7, 2016															
Hearing Date	August 17, 2016 (Continued to next meeting)															
Prepared By:	Anna Franco, Planning Consultant															
Case Title:	PC 16-16: 7501-7601 Quincy, ROC PUD Amendment															
Petitioner:	ROC Willowbrook LLC															
Action Requested by Applicant:	Consideration of a petition to amend a special use permit for a Planned Unit Development (PUD) to allow the addition of a second story to storage facility Building A, and to consider alternate façade and building materials for both storage facility Building A and B, in the M-1 Zoning District.															
Location:	East side of Quincy between Willowbrook Center Parkway (75th Street extended) on the north and Executive Drive on the south.															
PINs:	09-28-403-028 and 09-28-403-027															
Existing Zoning:	M-1															
Existing Land Use:	The north property is currently improved with a multi-use industrial building. The south property is vacant.															
Property Size:	15.434 acres															
Surrounding Land Use:	<table><thead><tr><th></th><th>Use</th><th>Zoning</th></tr></thead><tbody><tr><td>North</td><td>Vacant property north of 75th</td><td>M-1</td></tr><tr><td>South</td><td>Stone Wheel</td><td>M-1</td></tr><tr><td>East</td><td>Multi-Tenant Industrial</td><td>M-1 & OR</td></tr><tr><td>West</td><td>5 Lots/Buildings</td><td>M-1 & OR</td></tr></tbody></table>		Use	Zoning	North	Vacant property north of 75 th	M-1	South	Stone Wheel	M-1	East	Multi-Tenant Industrial	M-1 & OR	West	5 Lots/Buildings	M-1 & OR
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South	Stone Wheel	M-1														
East	Multi-Tenant Industrial	M-1 & OR														
West	5 Lots/Buildings	M-1 & OR														
Documents Attached:	<ol style="list-style-type: none">1. Revised Building "A" Elevations, dated 10/08/15 (8 Sheets)2. Revised Building "B" Elevations, dated 09/1/16 (4 Sheets)3. InsulTech Cut Sheet, no date (4 Sheets)4. Construction Schedule, no date (1 Sheet)5. Approved PUD Ordinance 16-O-03, dated 01/11/16 (64 Sheets)															
Necessary Action by Plan Commission:	Open Public Hearing, accept testimony, and approve a recommendation to the Village Board. A sample motion can be found on page 10.															



Section 1: Site Description

The subject property is located on the east side of Quincy Street between 75th Street/Willowbrook Centre Parkway on the north and Executive Drive on the south. The site is currently improved with one (1) 94,976 square foot multi-tenant building at the north end of the site with site access from Quincy. Located south of the existing building is a large undeveloped grassed and treed area and about two thirds of a large pond, which provides detention volume for these properties, as well as properties in the Plaza Court subdivision to the east.

Exhibit 1 Site Location



Aerial Source: DuPage County, 2014 Imagery.

Section 2: Development Request

The applicant is requesting an amendment to their existing PUD approval (approved December 14, 2015) to allow the addition of a second story to storage facility Building "A", increasing the height from twenty-five (25) feet to thirty-three (33) feet and to consider alternate façade and building materials for both storage facility Building "A" and "B", in the M-1 Zoning District. As the building footprint is unchanged from the previously approved PUD & Re-Subdivision, all site engineering previously approved remains unchanged.

The applicant has submitted this petition because a greater than five percent (5%) gross floor area and building height is created by the requested change and therefore constitutes a "Major" change to a PUD per Section 9-13-4(C)6. While minor changes to a PUD only require administrative approval, major changes require a new application for a PUD.

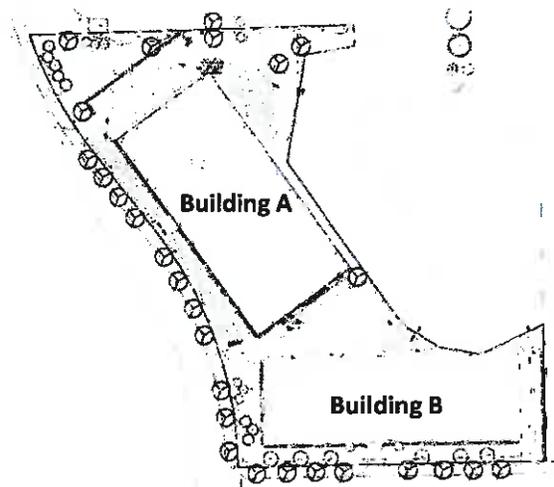


PUD History

Approval - On December 14, 2015, the Village Board approved a special use for a Planned Unit Development (PUD) and approval of a Preliminary and Final Plat of Subdivision and Preliminary and Final Plat of PUD for two (2) storage buildings along Quincy Street and Executive Drive. One of the new buildings will parallel and front Quincy, while the southern building will parallel Executive and have frontage on both Quincy and Executive Drive.

- *November 4, 2015* - Plan Commission Discussion
- *December 2, 2015* - Plan Commission Recommendation for Approval
- *December 14, 2015* - Village Board Approval

About the Approved PUD - The new northern building, Building "A", will be for "drive-in" general goods storage and was originally approved to contain 55,656, square feet. Access to this building will be possible via a shared access point through the existing parking lot of the building to the north and full access drives on both the north and south sides of the building. Patrons wishing to purchase a storage space will enter the parking lot on the south side of the building to access the offices area, which will be in the southwest corner of the north building. Patrons wishing to store their goods within this building will enter the building in their cars from the north side of the building which provides access to a garage door located on the east side of the building. Once they are finished, they will exit the building through an exit-only garage door to Quincy Street located midpoint in the building.



The second building, Building "B" will be used for the storage of automobiles and will contain 44,410 square feet. Access to the building will be via Quincy Street, located between the two (2) buildings. Patrons will be able to drive into the building on the north, and out of the building on the south side to Executive Drive, where the driveway aligns with the access drive to the business across the street. The east side of this building also has a "fire lane" emergency only access drive on the east side of the building.

Section 3: Staff Analysis

Building "A" Second Story

The petitioner is seeking an amendment to their PUD for the addition of a second story to Building "A" that will increase the total height of the building from 25' to 33'. The second story will consist of 386 additional storage units of varying sizes and will almost a mirror the layout of the approved first floor plan of the building. There will therefore be a total of 764 storage units in Building "A". As stated later in "Bulk Requirements", the height of the building is allowed per the M-1 Zoning district regulations.



Elevation & Façade Improvements

In addition to building height, the petitioner is seeking an amendment to their PUD to allow alternate masonry material to be allowed in place of pre-cast concrete. Due to the extreme lead-time for precast panels, the petitioner is asking that InsulTech – insulated concrete masonry system be allowed as an alternate material for both Building A and Building B. The petitioner has presented these material choices and colors to Village Staff prior to the public hearing and has received preliminary approval for their use.

New colored elevation drawings have been provided for Building “A” and Building “B” as illustrated in *Attachments (1) and (2)*. As shown, the masonry materials will display in an alternating patterns of two (2) colors to symbolize the two (2) different stories of the building.

Parking Analysis

The proposed second story for the north Building “A” will double the square footage of the building. Due to the increase in square footage, the parking requirement has been recalculated. The Zoning Ordinance does not provide a specific parking requirement for a "self-storage" use, so Staff has applied the closest use defined in the ordinance, which is "Warehouse, Storage, Wholesale and Mail Order Establishments", which requires the greater of 1 space for every 1.5 Employees, or 4 spaces plus 1 additional space for every 1,500 square feet over 4,500 square feet. Please reference *Table 1* below for a comparison for the parking requirement calculated for the previously approved PUD and the parking requirement with the proposed changes.

Table 1

Phase	Building	Square Footage	Required	Proposed
Approved PUD	Building “A”	55,656 sf	38 spaces	71 spaces
	Building “B”	44,410 sf	31 spaces	
	Total	100,066 sf	69 spaces	
Proposed PUD Amendment	Building “A”	92,315 sf	63 spaces	94 spaces
	Building “B”	44,410 sf	31 spaces	
	Total	136,725 sf	94 spaces	

Approximately 46,803 square feet of storage space would be added to Building “A”, increasing the required parking for the Building “A” from 38 spaces to 63 spaces, and increasing the required parking for the entire site from 69 spaces to 94 spaces. The relief that would need to be granted would be substantial, but because patrons use this site primarily to either store a car in the south building or to arrive in their car, drive into the building and unload items into a storage locker in the north building, there is no real need to provide code compliant parking space for this use.

However, if the property were used for a future use, this parking may not be adequate. Conditions in the ordinance approved in December 2015, restrict any other use other than a self-storage facility without amending the PUD, given the unique characteristics of this use. A major changes to the PUD would therefore be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.

If this petition is approved, a waiver would need to be added to the ordinance approving this PUD amendment from Section 9-10-5(K) of the Village code.



Note: According to information provided by Staff in the November 4, 2015 Staff Report to the Plan Commission for the original PUD approval, the existing building north of the subject property (also owned by ROC) is deficient thirty-two (32) parking spaces. To account for the deficiency, a parking easement was created to allow use of the north fifty-three (53) parking spaces on the subject property. This item should be considered when analyzing parking on the subject property.

Changed Bulk Regulations

All previously approved bulk regulations (building setbacks, pavement setbacks, lot coverage, foundation landscaping, etc) will remain unchanged with the exception of building height and maximum floor area ratio, which remain in conformance with the code.

1. **Building Height.** The applicant is proposing to increase the building height of Building "A" from 25' (approved in December 2015) to 33'. The maximum building height in the M-1 Zoning District is 40', so no relief is necessary.
2. **Maximum Floor Area Ratio.** The maximum floor area ratio (FAR) for the approved PUD was approximately 0.33. With the proposed addition of the second floor for Building "A", the new FAR would be approximate 0.52. The maximum FAR in the M-1 Zoning District is 0.6, so no relief is necessary.

Tri-State Comments

The Tri-State Fire Protection District Fire Marshall/Inspector does not have any issues with the addition of a second story for Building "A."

Construction Schedule

Following the issuance of building permits, the projected timeline for the construction of the buildings is seven (7) to eight (8) months based on the construction schedule submitted by the applicant in *Attachment (4)*.

Section 5: Special Use and Planned Development Standards

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the standards is provided below, along with a "finding" that can be referenced in the Plan Commission's motion. Please note that the "findings" assume acceptance of the required changes and proposed conditions in this report. Modifying a required change or proposed condition may require changing a listed finding.

Special Use Standards

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Finding: *Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.*



- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

Finding: *The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.*

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

Finding: *This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.*

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

Finding: *The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.*

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: *Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Give the unique characteristics of this use, a major changes to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.*

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Finding: *Except as modified in the Ordinance granting the amendment and Ordinance 16-O-03, the project will comply with the applicable regulations of the M-1 Zoning District.*

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997).

Finding: *The Village Board has not denied a special use permit on this property in the last year.*



Planned Unit Development Standards

- (A) Comprehensive Plan: A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

Finding: *If designed with the conditions included in the approving Ordinance granting the amendment and in Section 8 of Ordinance 16-O-03, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy.*

- (B) Size And Ownership: The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

Finding: *The proposed development contains 15.434 acres.*

- (C) Compatibility: The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Finding: *Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive Drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overlay commercialized appearance, which may have a negative influence on surrounding industrial properties.*

The proposed increase in building height of Building "A" from 25' to 33' will not have detrimental influence upon surrounding properties.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

Finding: *Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since changed to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.*

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

Finding: *The Building "A" is two stories and Building "B" is one story. There is a 32.74' separation between the buildings.*



- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

Finding: *The proposed project and amendment meets this requirement.*

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Finding: *Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allow access and parking to 53 parking spaces on Lot 1.*

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Finding: *Traffic is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.*

- (I) Preservation Standards: Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

Finding: *While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.*

- (J) Design Standards: The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

Finding: *No variations to the Willowbrook Subdivision regulations are required.*

- (K) Uses For PUDs Greater Than Five Acres: Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

Finding: *The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the conditions outlined in the ordinance granting the PUD amendment and Section 8 of Ordinance 16-O-03.*

- (L) Other Standards: The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or



endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Finding: *Minor exceptions are incorporated into the PUD as identified in the staff report prepared for the September 7, 2016 Plan Commission meeting, however, the development does comply with standards A, B, C, D, H, I and K as required.*

Planned Unit Development Findings

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

Finding: *The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 53 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.*

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

Finding: *The PUD meets the standards as identified above.*

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

Finding: *The PUD includes exceptions as identified in the Staff Report for the September 7, 2016 Plan Commission meeting.*

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

Finding: *The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.*

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

Finding: *The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenant" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.*



- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well being of the village.

***Finding:** Zoning Ordinance requirements and will bring new people to the area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.*

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

***Finding:** The plan and amendment to the PUD conforms to the spirit and intent of the Village's current planning objective if developed as recommended by the Plan Commission.*

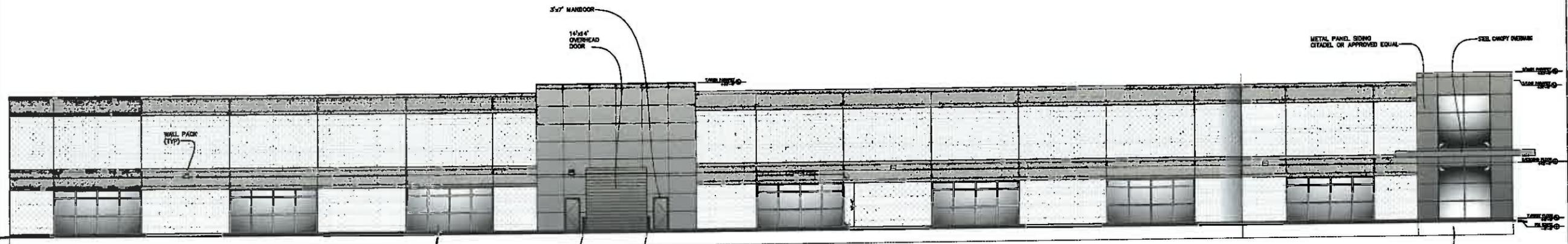
Section 6: Sample Motion

The proposed changes to the existing PUD meet all bulk requirements for the M-1 District, though the addition of a second story to Building "A" requires substantial relief from the parking requirement for the subject property. However, because patrons use this site primarily to either store a car or unload items into a storage locker, the need to provide code compliant parking space for this use may not be necessary. The proposed building façade materials have already been presented to Staff prior to the public hearing, and have received preliminary approval, but should also be considered by the Plan Commission

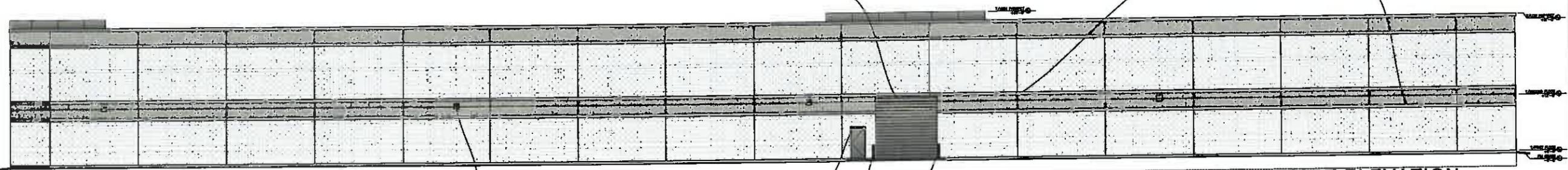
If the Plan Commission wishes to forward a positive recommendation to the Village Board, the following sample motion is provided:

Based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings for a Special Use and Planned Unit Development referenced in the Staff Report for PC 16-16 prepared for the September 7, 2016 meeting and recommend approval of an amendment to the existing special use for a Planned Unit Development to allow the addition of a second story to storage facility Building "A", and alternate façade and building materials for both storage facility Building "A" and "B", subject to the following conditions:

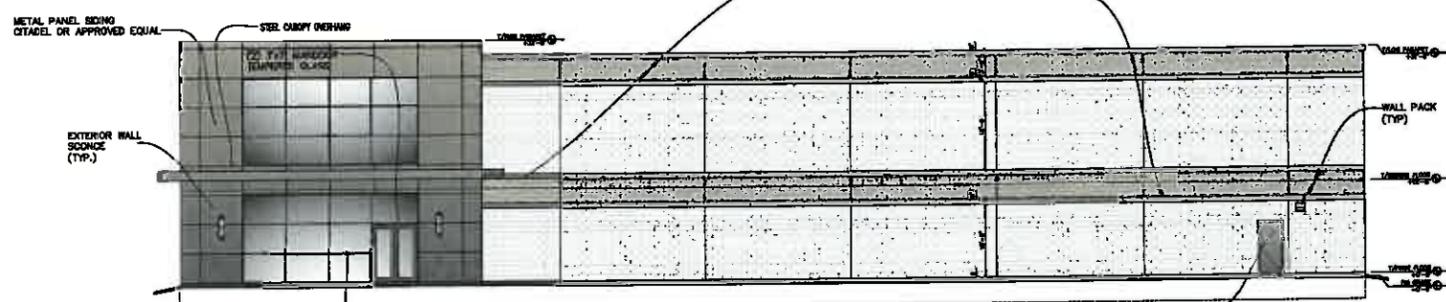
- 1. That the approval be in substantial compliance with the list of "Documents Attached" for PC 16-16 included in the September 7, 2016 Staff Report for PC 16-16, except as may be required for compliance with the requirements of the Village Engineer or Building Inspector as part of the Building Permit review process.**
- 2. Approved uses on Lot 1 (subject property) are restricted to self-storage uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.**
- 3. No building permits shall be issued unless final plan documents provide details that show building material colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator.**



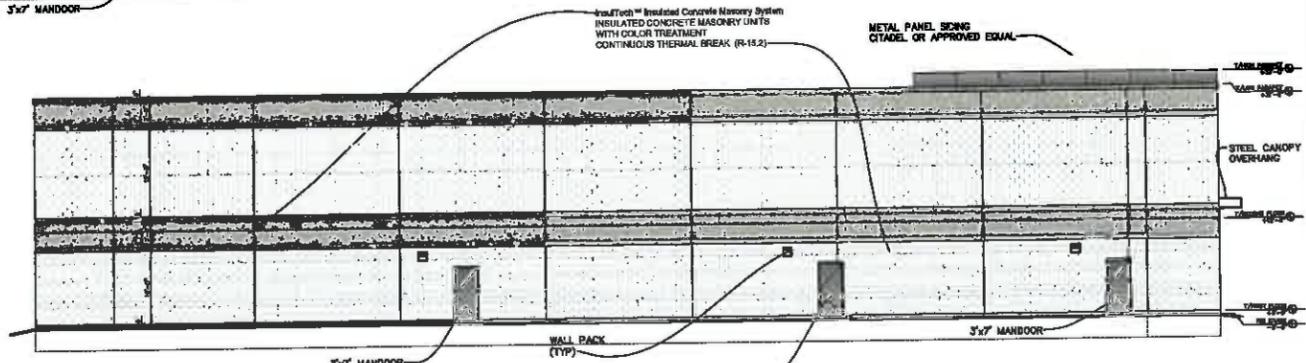
SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



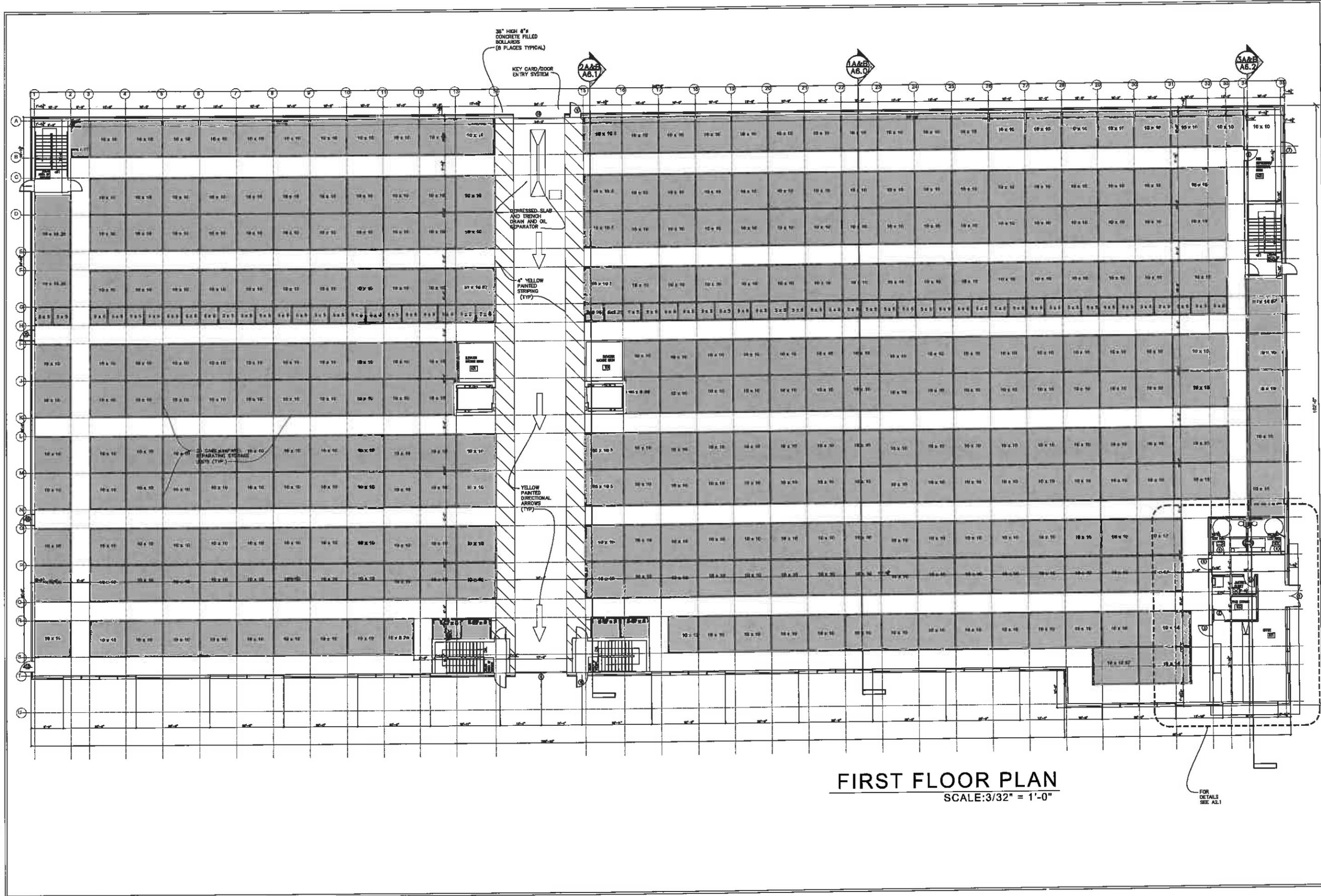
NORTHWEST ELEVATION
SCALE: 3/32" = 1'-0"

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1821 Ogden Avenue
Mesa, Illinois 60052
PH: (815) 434-8888 F: (815) 434-8888



REV	DATE	DESCRIPTION	DRAWN BY
0	10/15/15	CONCEPT	JMH

SCALE AS NOTED	PROJECT NUMBER 1408
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

FOR DETAILS SEE A2.1

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KES

PROPOSED FLOOR PLAN	SCALE: AS NOTED	PROJECT NUMBER: 14639
7601 Quincy Street, Bldg A	DATE: 10/6/15	DESCRIPTION: CONCEPT
WILLOWBROOK, ILLINOIS	REV: 0	DRAWN BY: JPH

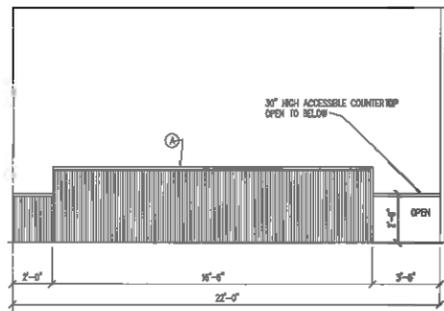
A2.0

OFFICE LEGEND

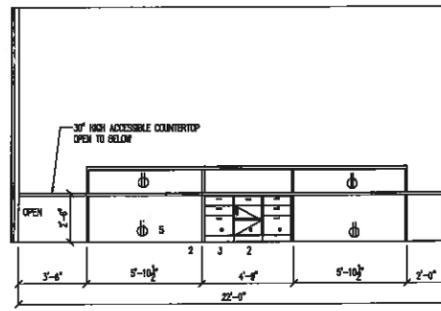
- ① LATERAL FILE, 2 DRAWERS 28 1/2" W x 16 1/2" D
- ② FILE & 2 DRAWERS 28 1/2" W x 1 1/2" W x 22" D
- ③ DRAWER & 1-DOOR CABINET 28 1/2" W x 18" W x 22" D
- ④ 2-DRAWER & 2-DOOR CABINET 28 1/2" W x 22" D
- ⑤ PROVIDE SUPPORT BEAMS AS REQUIRED
- ⑥ 4" BACKPLASH
- ⑦ SUSPENDED ACOUSTIC CEILING TILE

FINISH LEGEND

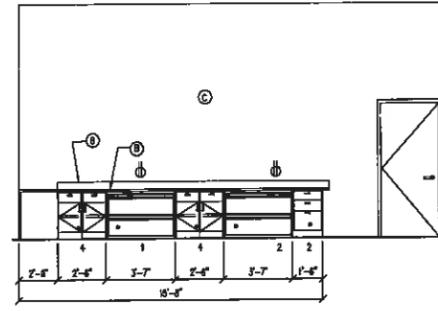
- ① PLASTIC LAMINATE
- ② SOLID SURFACE COUNTERTOP
- ③ PAINTED GYP. BD. - FOR COLOR, REFER TO ROOM FINISH SCHEDULE
- ④ TON ROCK / METAL - BLACK FINISH
- ⑤ EXISTING CEILING GRID W/ NEW CEILING TILES
- ⑥ SALVAGED CEILING GRID W/ NEW CEILING TILES
- ⑦ SIGNAGE - BY OTHERS



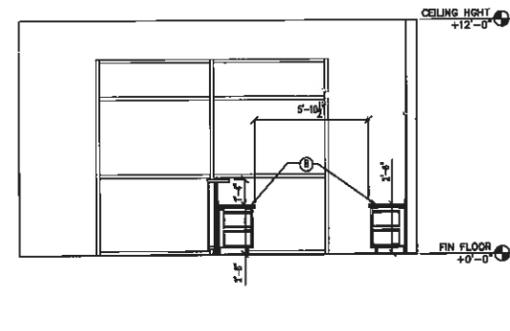
① FRONT COUNTER ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



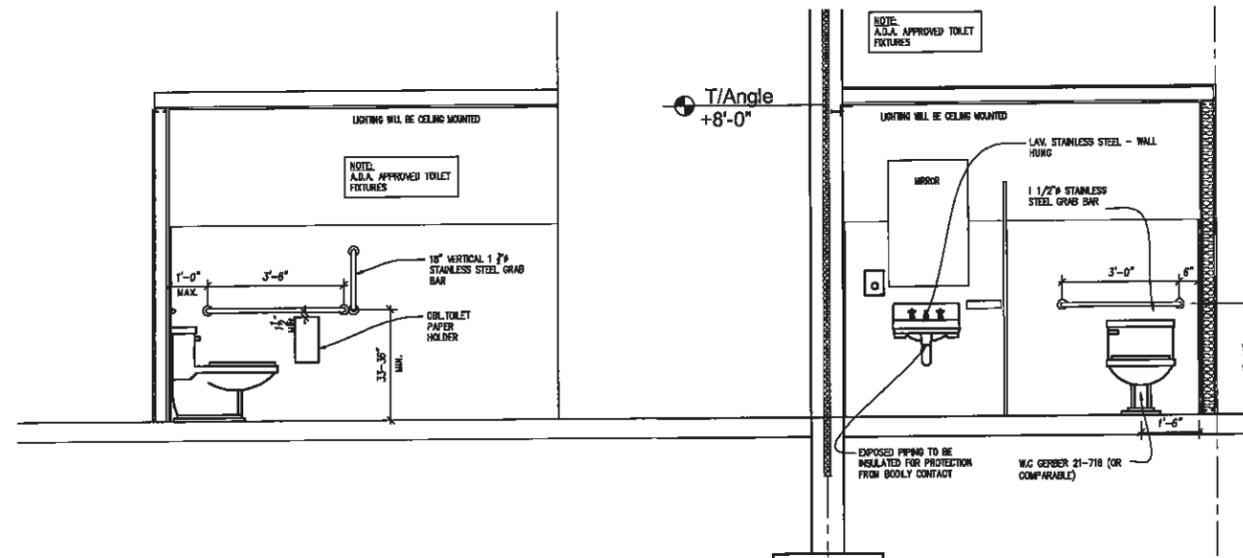
② FRONT COUNTER ELEVATION (BACK)
SCALE: 1/4" = 1'-0"



③ REAR COUNTER
SCALE: 1/4" = 1'-0"



④ SIDE VIEW
SCALE: 1/4" = 1'-0"

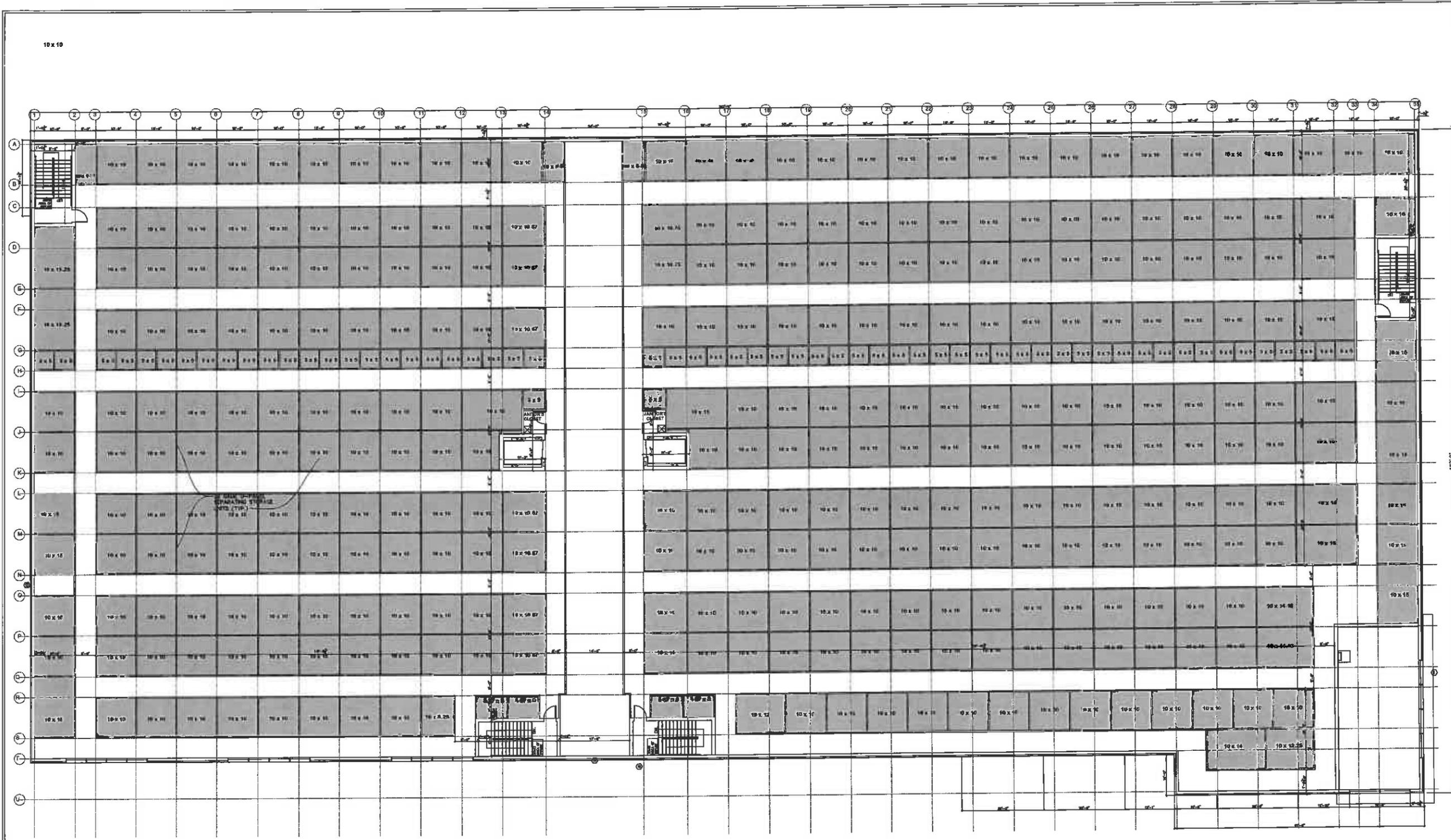


⑤ SIDE RESTROOM ELEV.

⑥ FRONT RESTROOM ELEV.



DRAWN BY:	JRH
DESCRIPTION:	CONCEPT
DATE:	10/2015
REV:	0
SCALE:	AS NOTED
PROJECT NUMBER:	1428
OFFICE PLANS	
7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	
Page:	2 1

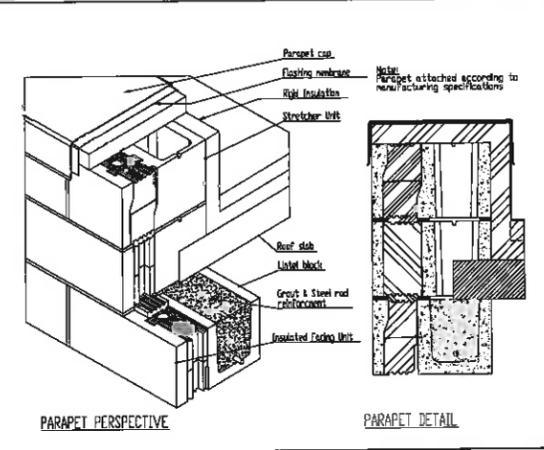
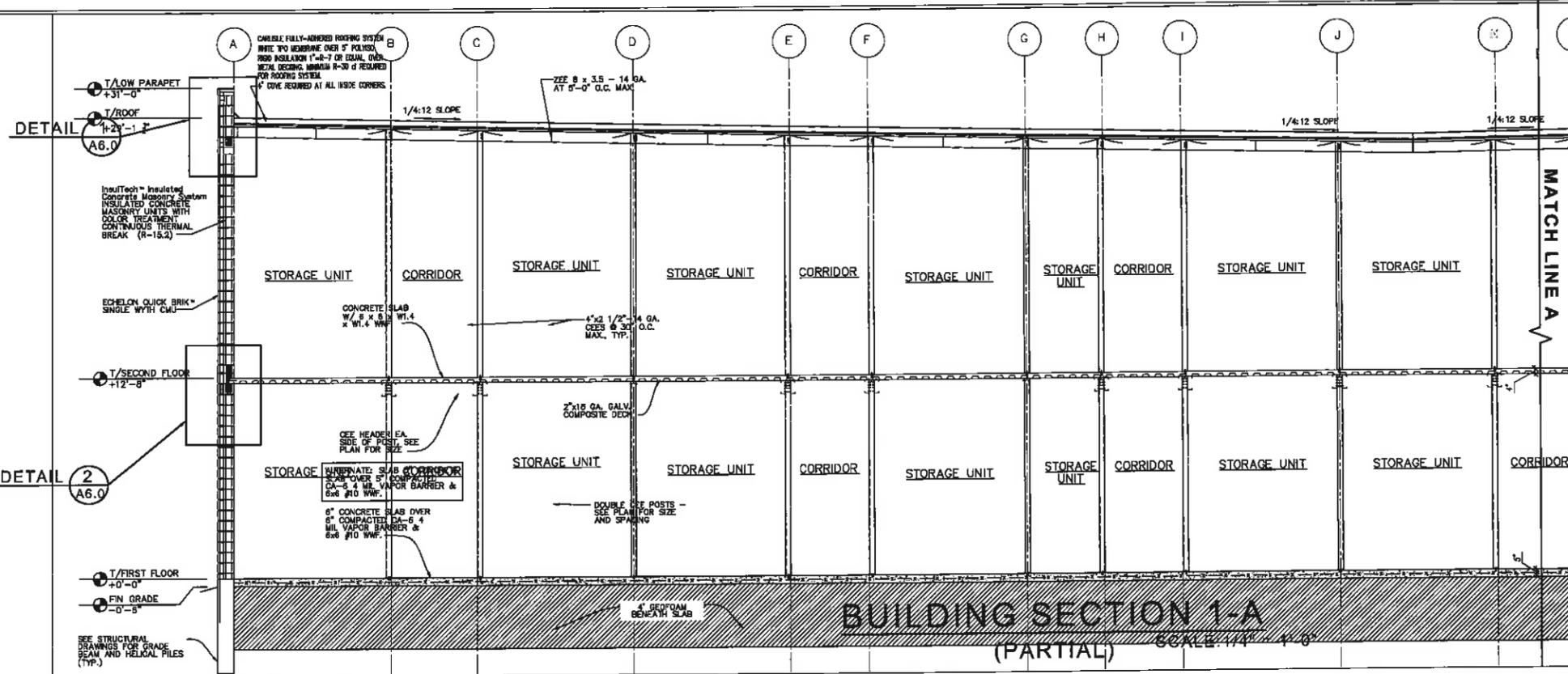


SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

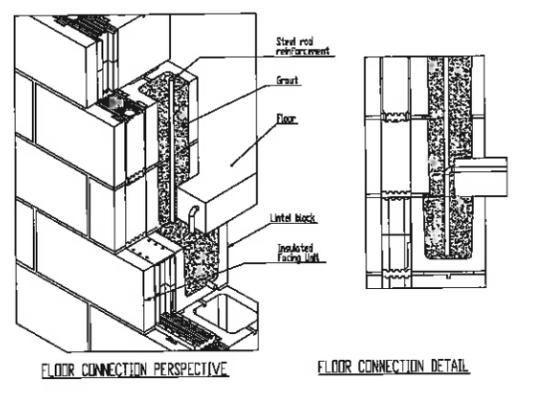
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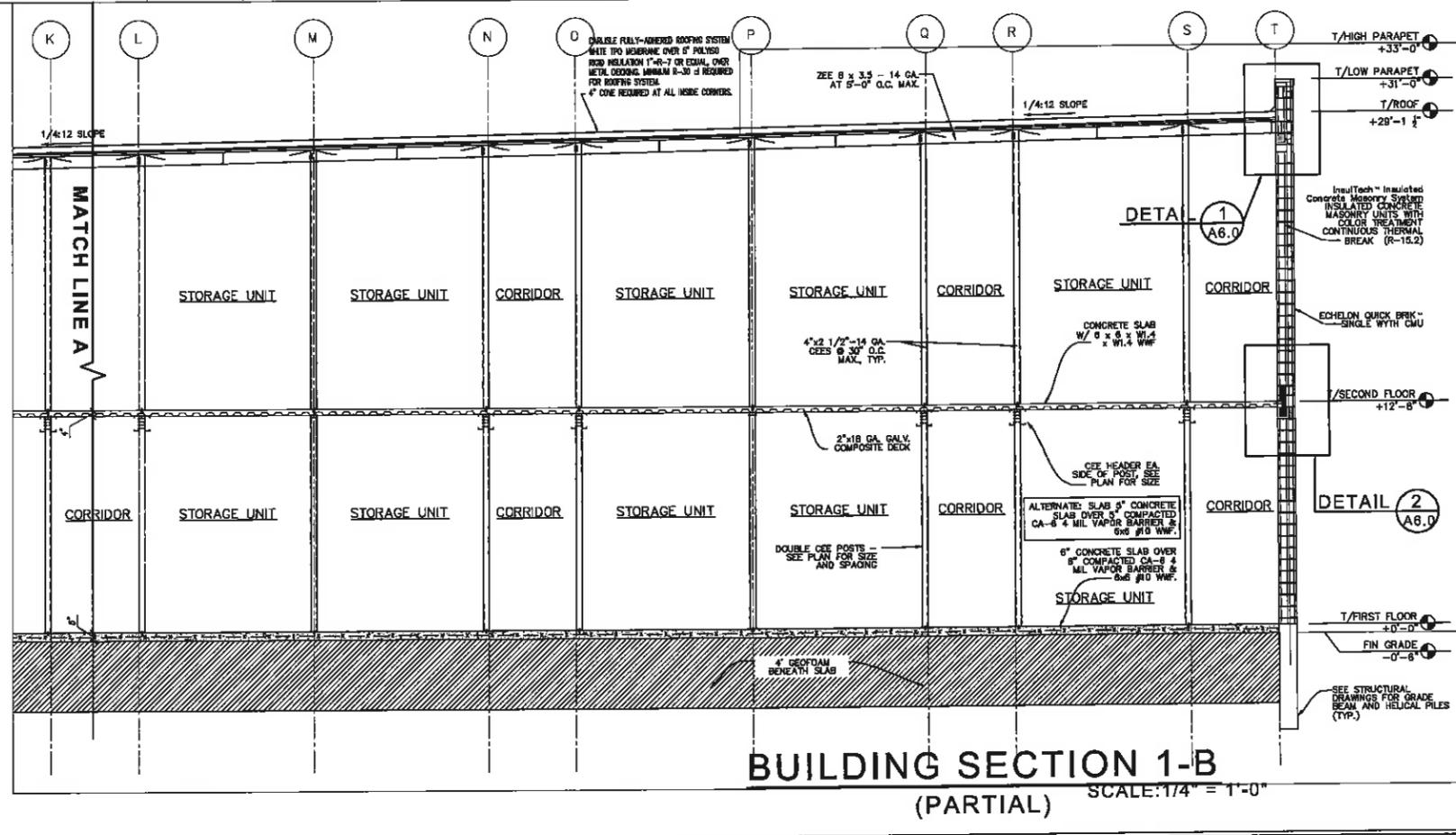
SCALE	AS NOTED	PROJECT NUMBER	14549
REV	DATE	DESCRIPTION	
B	10/6/15	CONCEPT	
DRAWN BY		JPH	
SECOND FLOOR PLAN			
7601 Quincy Street, Bldg A			
WILLOWBROOK, ILLINOIS			



DETAIL 1
SCALE: 1 1/2" = 1'-0"



DETAIL 2
SCALE: 1 1/2" = 1'-0"



BUILDING SECTION 1-B
(PARTIAL) SCALE: 1/4" = 1'-0"

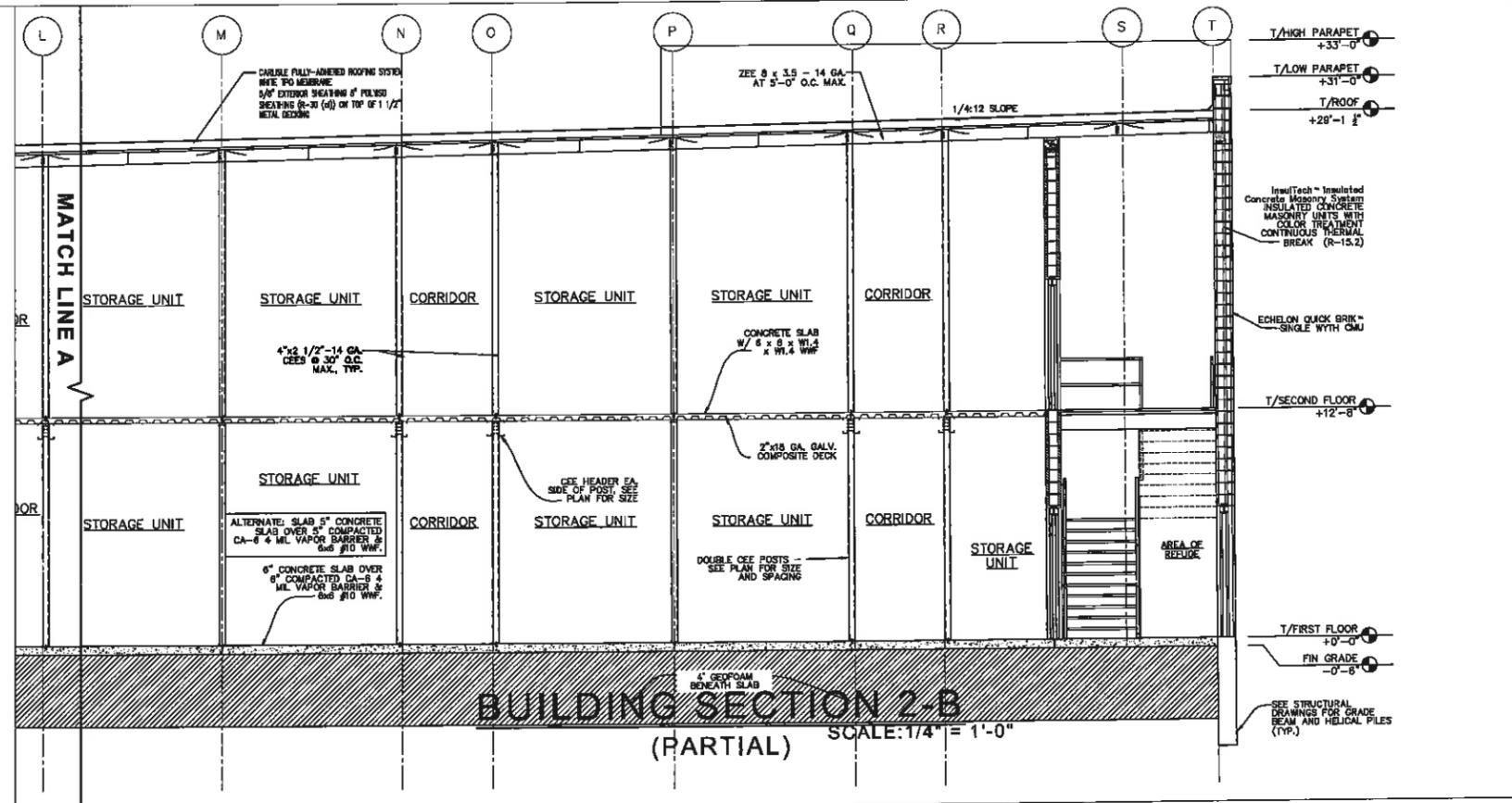
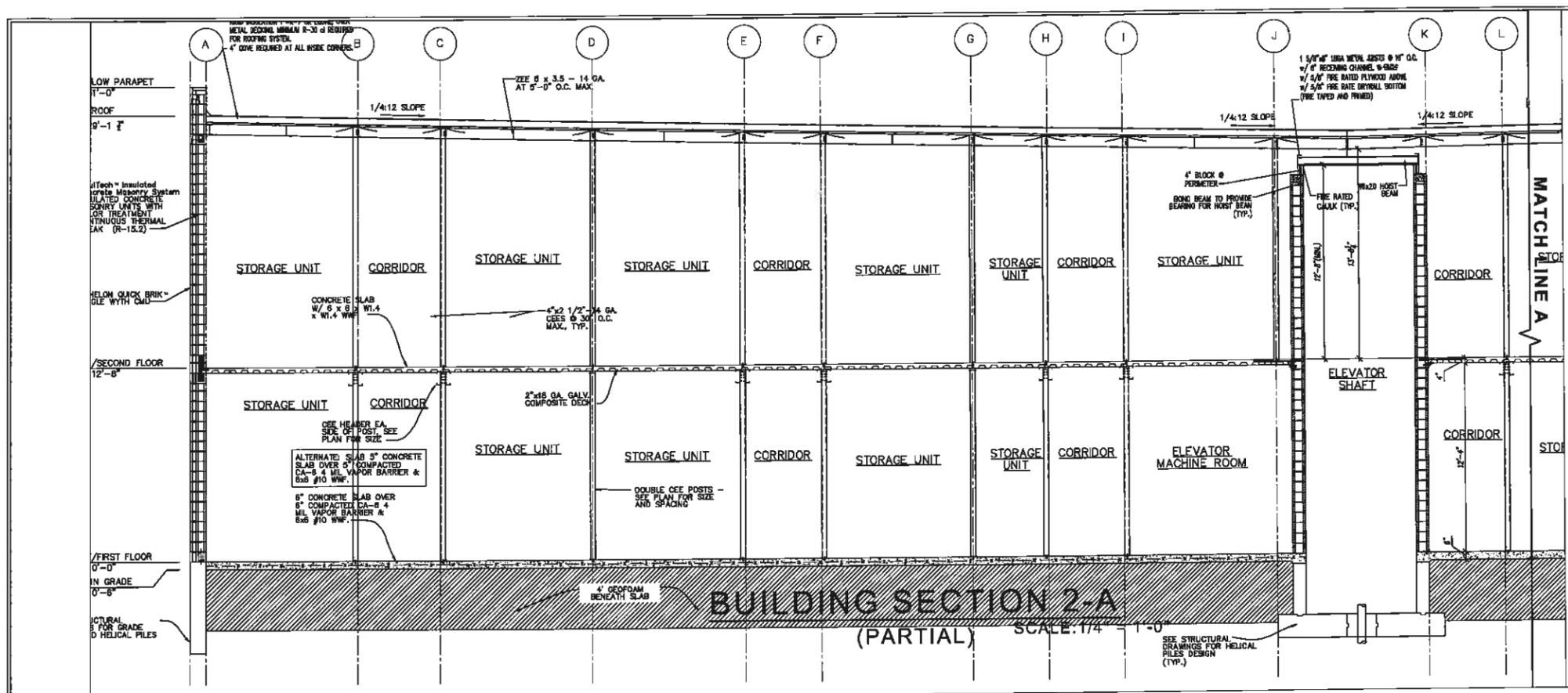
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162 Ogden Avenue
P.O. Box 134666
Chicago, IL 60613-4666
Tel: (773) 662-6622
Fax: (773) 662-6668



NO.	DATE	DESCRIPTION	BY	CHKD.
0	10/20/15	CONCEPT	JRH	

SCALE	AS NOTED
PROJECT NUMBER	14289

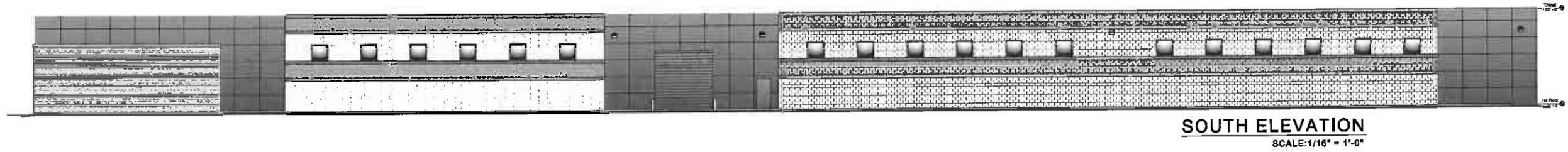
BUILDING CROSS SECTION 1	
7601 Quincy Street, Bldg A	
WILLOWBROOK, ILLINOIS	



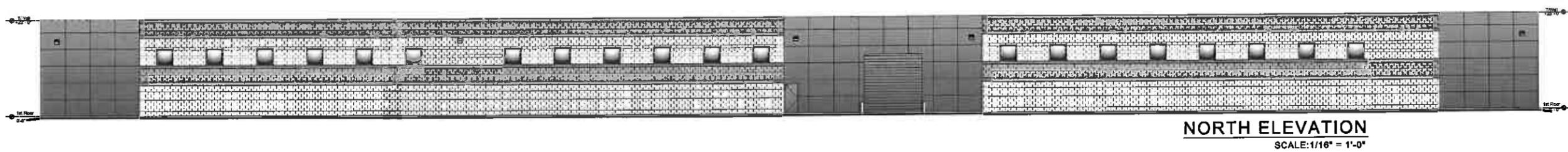
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 662 Capital Avenue
 Suite 2000
 Willowbrook, IL 60182
 PH: (630) 565-6666



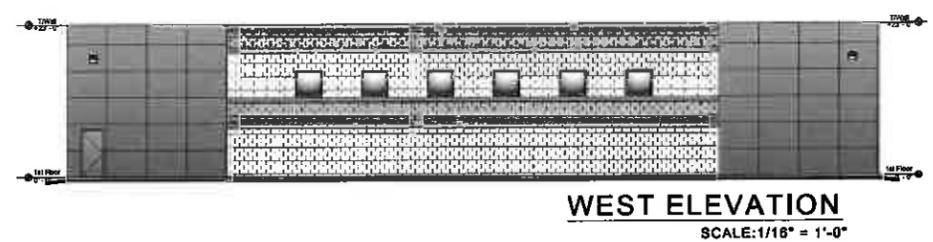
DRAWN BY:	JPH
DESCRIPTION:	CONCEPT
DATE:	10/16/15
REV:	0
SCALE:	AS NOTED
PROJECT NUMBER:	1488
BUILDING CROSS SECTION 2 7601 Quincy Street, Bldg A WILLOWBROOK, ILLINOIS	



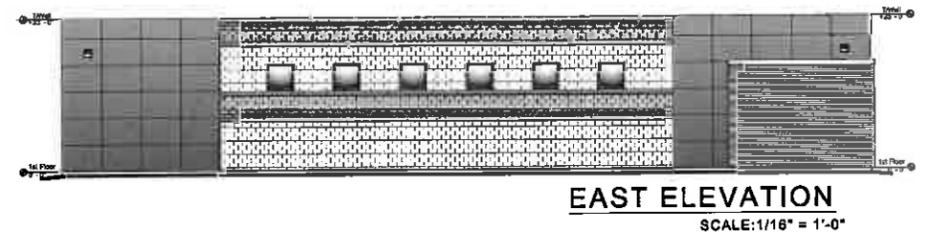
SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



EAST ELEVATION
SCALE: 1/16" = 1'-0"

7601 Quincy Street, Building B
Willowbrook, Illinois

Proposed Construction Schedule

7601 Quincy St.
Willowbrook, Illinois

1. Install soil erosion control measures around entire site within 1 week of receipt of permit. Inspect erosion control measures and maintain in working order.
2. Remove topsoil/ spoils from previous excavation from site. (1 week)
3. Remove underbrush fallen, dying and dead trees on site and withing stormwater easement. (1 week)
4. Construct Deep Foundations based on soil conditions. Install grade beams and floor system for both buildings. Building A will be first followed immediately by building B. (6 weeks)
5. Erect Precast Buildings. Building A will be first followed immediately by building B. (6 weeks).
6. Paint Exterior of Building and detail. (2-3 weeks).
7. Construct all underground storm sewer and utility service lines per plan. Estimated time 4 weeks. (Concurrent w/ exterior building construction.)
8. Install all curb & Gutter. Install Parking Lot base. (1 week)
9. Construct VCBMP's immediate following Exterior work. Install landscape materials per landscape plan. Estimated time 3 weeks. Maintain as detailed on the Drawing notes. (Continuous through project)
10. Clean streets immediately if mud is tracked onto the road during construction. (Continuous through project)
11. Construct building interior. Estimated time 4 months.
12. Pave Parking Lots and install concrete aprons. Provide touch-up maintenance on Rain Gardens. Final grade entire development. Estimated time 3 weeks. (At the end of the project)
13. Plant any stripped/ bare areas after final grading and leave erosion control measures in place until 70% coverage is reached.
14. Monitor BMP's for 1 year. Maintain and repair as needed.

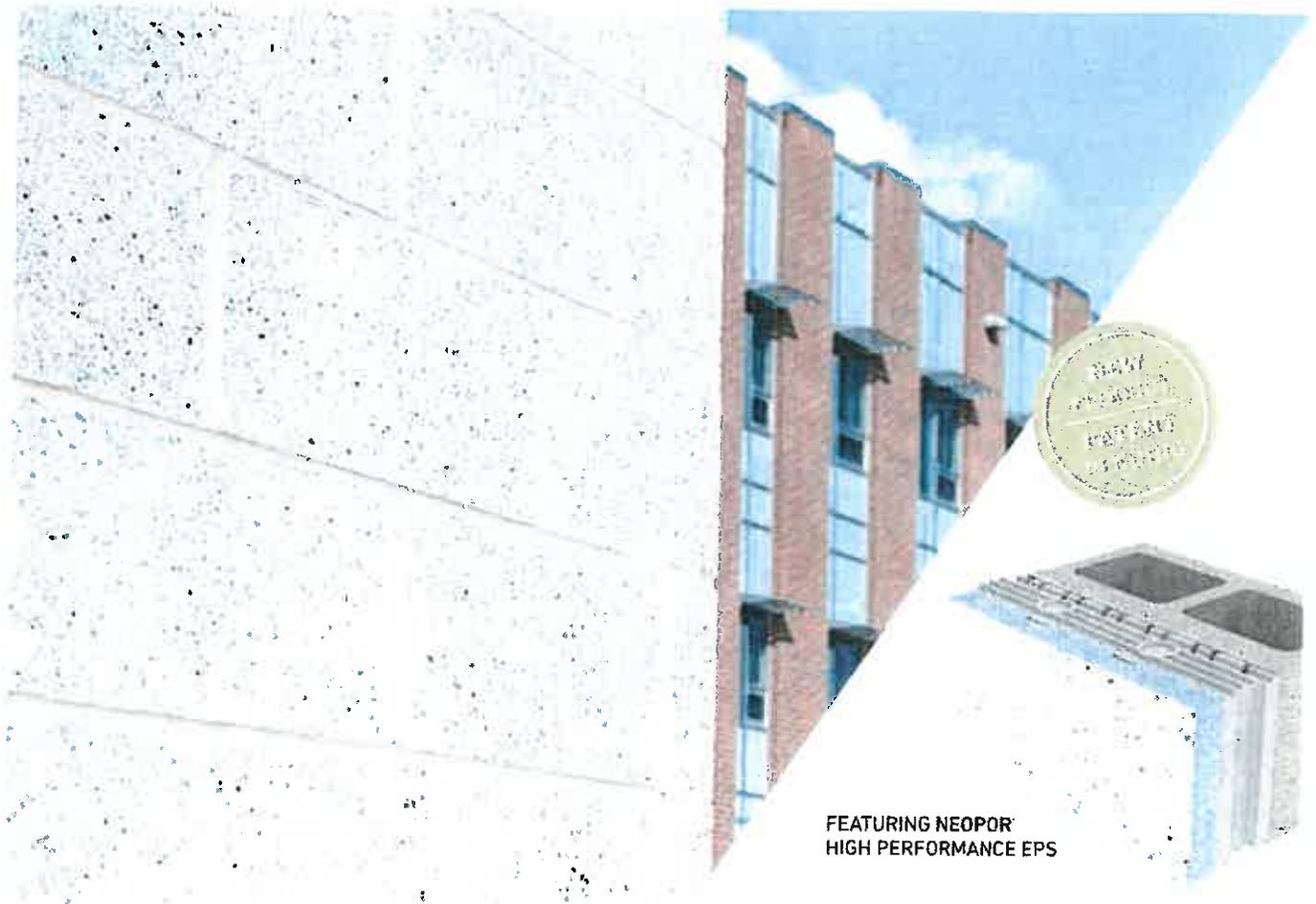
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INSULATED CONCRETE MASONRY SYSTEM



ECHELON™

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FEATURING NEOPOR®
HIGH PERFORMANCE EPS

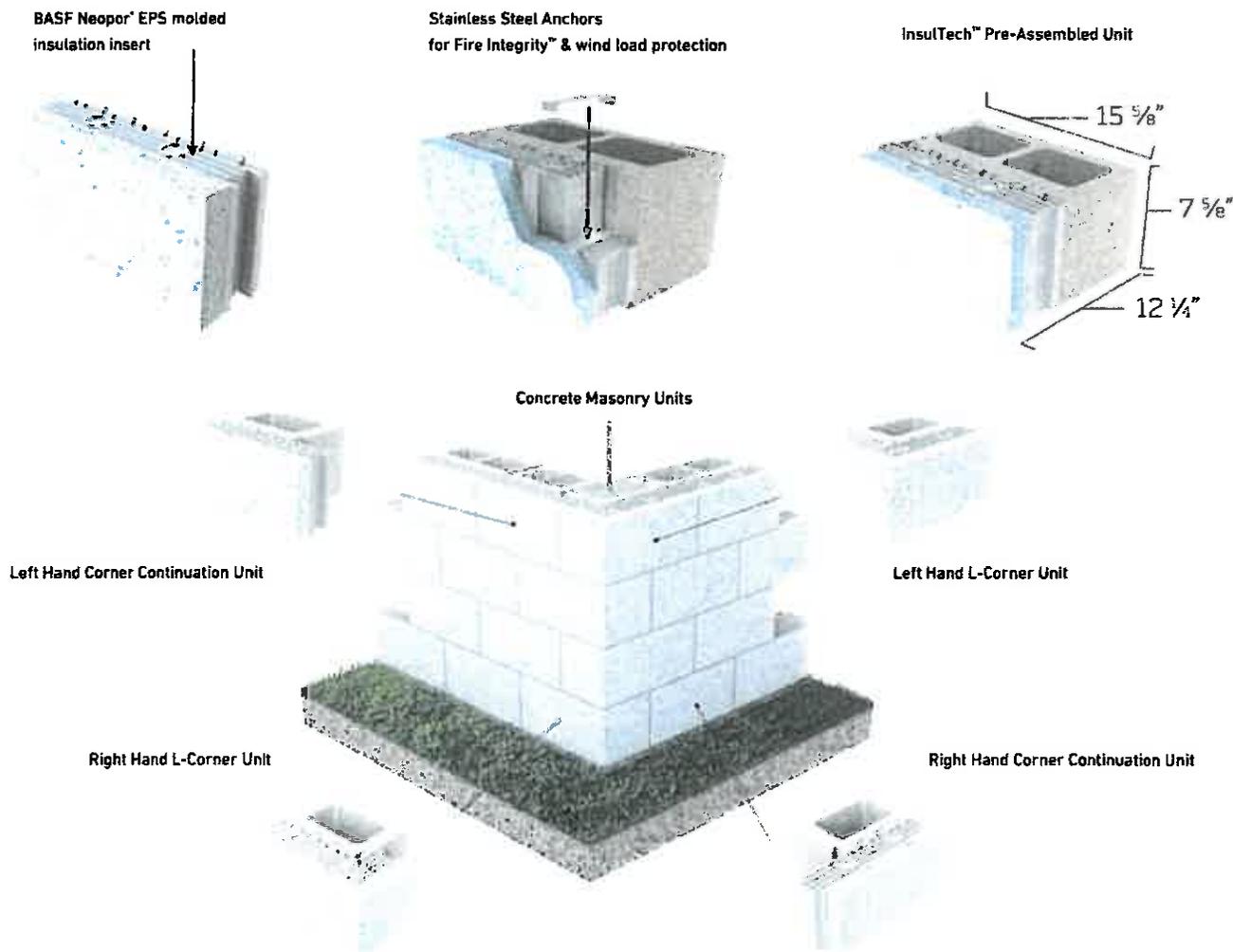
InsulTech™ ICMS is a complete thermally broken insulated masonry system which includes a full complement of masonry units and is produced by Oldcastle®. InsulTech offers high thermal efficiency in an innovative design combining a pre-assembled structural masonry unit, molded High Performance Neopor® EPS insulation insert and thin veneer face. InsulTech provides design flexibility, installation efficiency and is available in both standard finishes as well as Trenwyth® colors and textures.



Upgrade the performance of your project with acoustical comfort, energy efficiency & moisture management with this complete system.

Features & Benefits

- Complete insulated concrete masonry system with a full complement of masonry units
- Consists of a **pre-assembled structural masonry unit**, molded Neopor® EPS insulation insert and thin veneer face with finished size of 12" x 8" x 16"
- Installed as a complete assembly to improve installation efficiency
- Includes BASF High Performance Neopor EPS molded insulation inserts, giving the assembled unit an effective R-value of 16.2 at 75° F.
- **Fully thermally broken** units and system
- Meets 2012 IECC Energy codes from Zones 1 through 7
- Internal **stainless steel metal anchors** molded into the EPS inserts ensures safety connection to the back wall during windloading and Fire Integrity™ for fire safety
- Innovative design provides continuous insulation and air tightness formed by the EPS inserts in combination with compliant closed cell gasket material and production spray applied air barrier
- All InsulTech™ CMUs and Thin Veneer Faces are produced with RainBloc® Integral Water Repellant or other Oldcastle approved water repellant admixtures.
- Multitude of color and texture options for aesthetic needs



InsulTech™ ICMS Block Units

Consists of a pre-assembled structural masonry unit, molded EPS insulation insert and thin veneer face with finished size of 12" x 8" x 16"

Closed End Stretcher Unit



Open End Stretcher Unit



Double Sash Unit



Half Sash Unit - Left/Right



Left Hand L-Corner Unit



Left Hand Corner Continuation Unit



Right Hand L-Corner Unit



Right Hand Corner Continuation Unit



16" Face With Profiled Insert For First Row and Bond Beam



Left Hand L-Corner Unit Face With Profiled Insert For First Row



Right Hand L-Corner Unit Face With Profiled Insert For First Row



Corner Block Unit Left/Right for First Row



InsulTech Foam Insert



Stretcher Unit for First Row



8" Bond Beam Unit



Horizontal Gasket



InsulTech Performance Upgrade Options

InsulTech™ Insulated Concrete Masonry System is a performance upgrade option that may be paired with a number of Echelon™ Masonry products. Please ask your local architectural rep for a complete list of color and texture options. InsulTech is a single block that allows for both interior and exterior color and texture options.

InsulTech East Colors & Finishes (more available upon request)

Mesastone



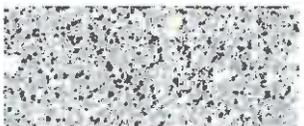
Elmhurst



Butterfield



Bloomington



Belvedere

Trendstone



Sand Stone



Shadow Gray



Coral



Elmhurst

Trendstone Plus



Midwest White



Rocky Road



Ash Charcoal



Light Karmel

Blended Colors



Copper tone



Boston Blend



Promenade Blend



Richfield Blend



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ORDINANCE NUMBER 16-0-03
AN ORDINANCE APPROVING A PRELIMINARY AND FINAL
PLAT OF SUBDIVISION, AND
GRANTING A SPECIAL USE PERMIT FOR A PRELIMINARY AND FINAL
PLAT OF PUD,
INCLUDING WAIVERS FROM THE ZONING ORDINANCE

PC 15-06: 7501-7601 Quincy/ROC PUD

WHEREAS, on or about March 4, 2015, Doug Riccolo and Mike Siurek as applicants ("APPLICANTS") and authorized agents for ROC WBCS LLC as owners ("OWNERS") filed an application with the Village of Willowbrook with respect to the property legally described in Exhibit "A" attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY"); and,

WHEREAS, said application requested that the Village approve a Preliminary and Final Plat of Subdivision, grant a special use permit for a Preliminary and Final Plat of Planned Unit Development, and grant certain waivers from the requirements of the Zoning Ordinance of the Village; and

WHEREAS, Notice of Public Hearing on said application was published on or about October 16, 2015, in The Suburban Life, being a newspaper of general circulation within the Village of Willowbrook, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village conducted a Public Hearing on said application on or about

November 4, 2014, all in accordance with the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the applicant presented testimony in support of said application and all interested parties had an opportunity to be heard; and,

WHEREAS, the recommendation of the Plan Commission, including its Findings of Fact, was forwarded to the Mayor and Board of Trustees on December 2, 2015, a copy of which is attached hereto as Exhibit "B" and by this reference, made a part hereof; and,

WHEREAS, at their meeting on December 2, 2015, the Mayor and Board of Trustees discussed modifications that would decrease density by increasing the Quincy Avenue setback from thirty feet (30') to forty feet (40'), that would add an outdoor masonry enclosure for garbage, and that would provide for additional architectural details on both buildings; and

WHEREAS, on December 29, 2015, APPLICANTS submitted revised plans to address the modifications discussed by the Mayor and Board of Trustees at their December 2, 2015 meeting; and

WHEREAS, the Mayor and Board of Trustees now determine it would be in the best interest of the Village to approve the Preliminary and Final Plat of Subdivision and grant a special use for a Preliminary and Final Planned Unit Development, including certain

waivers from the requirements of the Zoning Ordinance, subject to the terms and conditions established by this Ordinance

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-8-2(A) of the Zoning Ordinance of the Village of Willowbrook, for a Planned Unit Development.

SECTION TWO: That pursuant to Section 9-13-6(K), the Mayor and Board of Trustees hereby find that the construction of a self-storage facility use in two (2) buildings on Lot 1 on the SUBJECT REALTY is consistent with the objectives of the Planned Unit Development provisions of the Zoning Ordinance and is hereby approved.

SECTION THREE: That pursuant to Section 9-13-6(L) of the Village Code, the following waivers from the provisions of the Zoning Ordinance be and the same are hereby granted:

- A. An exception from Section 9-8-3(D) (1) for a reduction in the required front yard building setback from Executive on Lot 1 from forty feet (40') to thirty feet (30').
- B. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to five feet (5') on the east side of Lot 1 between a fire lane and the east property line.

- C. An exception from Section 9-10-5(G) for a reduction in the interior side yard parking setback from ten feet (10') to zero feet (0') along the common lot line between Lot 1 and Lot 2.
- D. An exception from Section 9-10-5L2(B)(2)(C) for a reduction in the minimum distance between a driveway and a lot line from seventy feet (70') to five feet (5') between the proposed fire lane and the east lot line of Lot 1.
- E. An exception from Section 9-14-2.23(B)3(d) for a reduction in the amount of foundation landscaping in accordance with the Approved Plans.
- F. An exception from Section 9-10-4(H) for a reduction in the number of loading spaces on Lot 1 from two (2) to zero (0).
- G. An exception from Section 9-10-5(L)(2)(b)(2)(C) for a reduction in the distance between a driveway center line and a lot line from seventy feet (70') to twenty-two and one half feet (22.5') for the fire lane as it relates to the east line of Lot 1.
- H. An exception from the landscaping provisions of Title 9 for a reduction in the landscaping requirements per the Approved Plans.

SECTION FOUR: That the Findings of Fact made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted to the extent that said findings support the modifications recommended by the Mayor and Board of Trustees at their December 2, 2015 meeting and included in the APPROVED PLANS described infra.

SECTION FIVE: That a Parking Easement Agreement, substantially in the form as attached hereto as Exhibit "C", is hereby approved

and shall be recorded by the APPLICANTS prior to the issuance of any construction permits.

SECTION SIX: That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Subdivision for "ROC Industrial Subdivision", as prepared by Harrington Land Surveying Ltd and attached hereto as Exhibit "D", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

SECTION SEVEN: That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Planned Unit Development for "ROC Industrial PUD", as prepared by Harrington Land Surveying Ltd. and attached hereto as Exhibit "E", consisting of 2 sheets, subject to said plat being revised prior to recording by the Village of Willowbrook to include the recorded Parking Easement Agreement approved in Section Five of this Ordinance.

SECTION EIGHT: That the approvals granted in Sections 1, 2, 3, and 7 of this Ordinance are expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and maintained in accordance with the following terms, conditions and provisions:

- A. That all construction, use, development and maintenance of the site be in substantial accordance with the following approved plans ("APPROVED PLANS"), attached hereto as Exhibit "F", except as may be modified by the conditions

infra, or as required by the Village Engineer or Village Administrator for compliance with Village Codes prior to the issuance of any construction permits:

1. Color Elevations (1 Sheet) hand dated December 29, 2015.
 2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
 3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
 4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
 5. Building B details, prepared by Koziol Engineering Services, consisting of Sheets A0.0, A1.0, A1.1, A1.2, A2.0, A2.1, A2.2, and latest revision dated December 23, 2015, except that floor plan details shall be revised to show windows on four sides as indicated on the elevation plans.
 6. Final Engineering, prepared by Koziol Engineering Services, consisting of Sheets C-0 through C-13, and latest revision dated December 28, 2015.
- B. Approved uses on Lot 1 are restricted to self-storage uses only, except as may be further authorized by the Village Board pursuant to Section 9-13-4(C)6(a) regulating Major Changes to a PUD.
- C. The overhead doors visible on Building A from Quincy and on Building B from Executive Drive shall only be used as a means of egress out of the buildings, with no ability for customer to activate these doors from outside the buildings. Ingress into Building A shall only be from the east side of the building, and ingress into Building B shall only be from the north side of the building.
- D. Tenant parking requirements for the building on Lot 2 shall be measured to include the 237 parking spaces on Lot 2 plus

the 53 parking spaces in the northern most parking lot on Lot 1.

- E. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify the use of "10" pre-cast panels with painted reveal accent stripes" on all sides of Building A and Building B.
- F. Elevations and elevation plan details shall be revised prior to the issuance of construction permits to specify a brick pattern stamp in the lower half of the pre-cast panels for Building A as shown in the Color Elevation, excluding the east elevation
- G. No building permits shall be issued unless final plan documents provide details that show building material colors in substantial compliance with the colors provided in the color renderings as determined by the Village Administrator.
- H. Storefront windows along the Quincy Frontage of Building A shall be lit so as not to exceed lighting standards in the Zoning Ordinance, and the color of doors visible through these windows shall be only one color, to be approved by the Village Administrator.
- I. The dumpster enclosure shall be masonry and shall appear similar to the color and style of Building B. It shall be placed upon a frost proof foundation.
- J. There shall be no outdoor storage of any kind.
- K. There shall be no retail sales except for retails sales of moving boxes or other moving/storage supplies that are stored inside from the office located in the southwest corner of Building A.
- L. There shall be no dispensing of gasoline.
- M. There shall be no servicing of vehicles on the site.
- N. Exterior lighting fixtures shall be shaded wherever necessary to avoid casting excessive glare upon adjacent

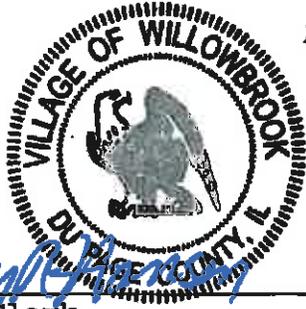
property, in compliance with the requirements of section 9-9-8 of this title.

- O. All mechanical equipment shall be located on the roof, and except for the area above the proposed office area in Building A, no mechanical equipment shall be located closer than 30' to a building edge. Any mechanical equipment above the office area in Building A that is taller than the parapet extension in that area shall be screened as approved by the Village Administrator.
- P. Wall signs shall conform to the requirements of Title 9, Chapter 11 of the Village Code.
- Q. Construction permits may not be issued prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats.
- R. Prior to the recording of the ROC Industrial Subdivision and ROC Industrial PUD plats, the APPLICANT shall supply the Village with a letter of credit in the amount equal to 125% of the engineer's estimate of cost to be approved by the Village Engineer on a form approved by the Village Attorney.

SECTION NINE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION TEN: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 11th day of January, 2016.



APPROVED:

Frank A. Tuller
Mayor

ATTEST:

Leroy [Signature]
Village Clerk

ROLL CALL VOTE:

AYES:

Berglund, Davi, Kelly, Mistale, Neal
Oppenro

NAYS:

0

ABSTENTIONS:

0

ABSENT:

0

EXHIBIT "A"

LEGAL DESCRIPTION

LOTS 1 AND 2 IN PLAZA COURT ASSESSMENT PLAT, BEING AN ASSESSMENT DIVISION OF LOT 4 IN PLAZA COURT RESUBDIVISION, IN THE SOUTHEAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAZA COURT ASSESSMENT PLAT RECORDED FEBRUARY 26, 2004 AS DOCUMENT R2004-052460, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-403-027-0000 and 09-26-403-028-0000

COMMONLY KNOWN AS: 7501 and 7601 S. Quincy St., Willowbrook, IL 60527

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION
AND
FINDINGS OF FACT

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor
Board of Trustees

MEMO FROM: Chairman Daniel Kopp, Plan Commission

DATE: December 2, 2015

SUBJECT: Zoning Hearing Case 15-06: (ROC WILLOWBROOK
LLC - 7501-7601 Quincy) Consideration of a
motion to approve a special use for a
Planned Unit Development and approval of a
Preliminary and Final Plat of Subdivision
and Preliminary and Final Plat of PUD.

At the regular meeting of the Plan Commission held on December 2, 2015, the above referenced application was discussed and the following motion was made:

MOTION: Made by Commissioner Remkus, seconded by Commissioner Lacayo that based on the submitted petition and testimony presented, I move that the Plan Commission forward its findings for special use and planned unit development referenced in the staff report for PC 15-06 prepared for the December 2, 2015 meeting (attached to the end of this memo) and recommend to the Village Board approval of the relief associated with PC 15-06 including a preliminary and final plat of subdivision, approval of a special use for a preliminary and final planned unit development, including exceptions outlined in exhibit 2 of the December 2, 2015 staff report, and other relief as may be necessary to accommodate proposed project, subject to the following conditions:

1. That the approval be in substantial compliance with the list of documents approved for PC 15-06 on December 2, 2015 meeting

for PC 15-06, except as modified or required by all required changes or proposed conditions of approval identified in sections 2 and 3 respectively of the staff report for PC 15-06 except that Required Change Number 1 in Section 2 will not require a shade tree in the one island that contains a light pole, and except as may be required for compliance with the requirements of the village engineer or the building inspector as part of the building permit review process.

2. Compliance at all times with the conditions of approval identified in Section 3 of the December 2, 2015 staff report for PC 15-06, except as discussed at the meeting, which is as follows:

- a. Condition Number 5 shall be revised to identify 53 instead of 29 parking spaces in Lot 2, and eliminate the words "only as long as the use on Lot 1 is for self-storage".
- b. Condition Number 6 shall be revised to require the 10" pre-cast panels with painted reveal accent stripes only on the west elevation of Building A and only on the west and south elevations of Building B, which are the elevations visible to Quincy and Executive Drive.
- c. Condition Number 18 is removed as it was a run-on error in the staff report.

ROLL CALL: AYES: Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, and Vice-Chairman Wagner; RECUSED: Chairman Kopp. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

Exhibit B Continued

STANDARDS AND FINDINGS OF FACT

State Statutes and local ordinances require findings be made with regard to special use and planned development standards. A list of the required standards is provided below, along with "findings" provided in *italics*.

Special Use Standards:

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Access to and from the proposed project has been designed so as to minimize back-ups and congestion on the streets. The traffic generated by this use is relatively minor compared to other industrial users, and this use will not generate semi-truck traffic.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed project functions in a way that will not diminish or impair property values within the neighborhood. It is important that this project also be designed to appear as an industrial project. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

This project represents one of the last development opportunities in the area. Everything immediately adjoining this site has already been developed, so the allowance of this special use will not impede orderly development.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

The proposed project is already served by both Quincy and Executive Drives which are adequate for the project and the surrounding area. A new public sidewalk has been required along Quincy, to be consistent with the recommendations of the Comprehensive Plan.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access to both buildings has been designed to minimize traffic congestion in the streets. Conditions of approval are included that prohibit the use of the proposed exits as entrances. Additionally, conditions restrict any other use other than a self-storage facility without amending the PUD so that issues such as traffic, circulation could be evaluated. Given the unique characteristics of this use, a major change to the PUD would be required to evaluate how to add parking and loading facilities for almost any other type of use with this much square footage.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

Except as modified in Section 3 of this Ordinance, the project will comply with the applicable regulations of the M-1 Zoning District.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

The Village Board has not considered any special use permit on this property in the last year.

Planned Unit Development Standards

- (A) **Comprehensive Plan:** A planned unit development must conform with the intent and spirit of the planning goals and objectives of the village comprehensive plan.

If designed with the conditions included in Section 8 of this Ordinance, the proposed development complies with the Comprehensive Plan which recommends industrial uses. Careful consideration has been given to the appearance of this project in order to protect the property values of nearby properties. The project minimizes traffic in the area and accommodates traffic to and within the site. Additionally, a pedestrian sidewalk along Quincy is added to be consistent with the Comprehensive Plan.

- (B) **Size And Ownership:** The site of the planned unit development must be under single ownership and/or unified control and be not less than two (2) acres in area.

The proposed development contains 15.434 acres.

- (C) **Compatibility:** The uses permitted in the planned unit development must be of a type and so located as to exercise no undue detrimental influence upon surrounding properties.

Building setbacks along Quincy and Executive Drive have been reduced from the required 40' to a minimum of 30' to accommodate the necessary building layout given the location of the pond at the rear of the property. This building setback is not inconsistent with existing building setbacks on Executive drive east of the subject property or on the west side of Quincy in the vicinity of this project. Parking lot setbacks all meet minimum requirements. The use of a storage facility, while not specifically regulated in the Zoning Ordinance, is consistent in terms of its "storage" function with common industrial uses. Design has been regulated to control an overly commercialized appearance, which may have a negative influence on surrounding industrial properties.

- (D) Storm Water Management: Adequate facilities, both on site and off site, shall be provided to ensure that all drainage related issues are addressed.

Detention for this site was completed when the applicant made previous improvements to the adjoining pond to increase detention volume. The ordinance has since change to require BMPs, which is why the rain gardens are incorporated into the design of this project. The project has been fully evaluated by the Village Engineer for compliance with stormwater requirements.

- (E) Space Between Buildings: The minimum horizontal distance between buildings shall be:

1. Thirty feet (30') between one-story, two-story and two and one-half story buildings or combinations thereof.

The buildings are one story and there is a 32.74' separation between the buildings

- (F) Yards: The required yards or setbacks along the periphery of the planned unit development shall be at least equal in width or depth to that of the applicable required yard within the adjacent zoning district. Notwithstanding the foregoing, buildings of more than twenty four feet (24') in height shall provide a setback from any property line not less than a distance equal to the height of such buildings.

The proposed project meets this requirement.

- (G) Parking Requirements: Adequate parking shall be provided as set forth in other sections of this title.

Parking is adequate for the specific type of tenant planned on Lot 1 (the storage buildings). Tenants in Lot 2 will have expanded parking opportunities pursuant to an easement allowing access and parking to 53 parking spaces on Lot 1.

- (H) Traffic: That adequate provision be made to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Access is controlled and located to minimize traffic congestion along Quincy. Only emergency access is allowed to Executive Drive.

- (I) **Preservation Standards:** Due regard shall be demonstrated for any existing site conditions worthy of consideration including: desirable trees of a minimum six inch (6") caliper or greater, natural bodies of water, designated wetlands and/or flood hazard areas, etc. All desirable vegetation shall be identified by location, caliper size, type, condition and a method by which preservation efforts will be conducted.

While none of the existing plant material in the middle of the site is being preserved, there are materials along the boundary between proposed lots 1 and 2 that will be preserved. A large number of trees are also being preserved that are close to the pond. These will be staked and protected during construction. Supplementing the preserved material with the additional new materials as required by the Zoning Ordinance will ensure compliance with the ordinance.

- (J) **Design Standards:** The provisions of the Willowbrook subdivision ordinance shall be adhered to, unless a variance is granted by the village board.

No variations to the Willowbrook Subdivision regulations are required.

- (K) **Uses For PUDs Greater Than Five Acres:** Any permitted or special use available under any of the various zoning districts classifications, whether singly or in combination, and any other use permitted by law, may be allowed as either a permitted or special use within a planned unit development consisting of more than five (5) acres, but only to the extent specifically approved by the village board, after a finding that such use is consistent with the objectives of this chapter.

The use is greater than 5 acres and will recognize "self-storage" as a permitted use for this project, with the conditions outlined in Section 8 of this Ordinance.

- (L) **Other Standards:** The planned unit development may depart from strict conformance with the required density, dimension, area, height, bulk, and other regulations for the underlying zoning district and other provisions of this title to the extent specified in the preliminary plat and documents authorizing the planned unit development so long as the planned unit development will not be detrimental to or endanger the public health, safety and general welfare. Notwithstanding the foregoing, every planned unit development must comply with the minimum standards set forth in subsections (A), (B), (C), (D), (H), (I) and (K) of this section.

Minor exceptions are incorporated into the PUD as identified in the staff report prepared for the December 2, 2015 meeting, however the development does comply with standards A, B, C, D, H, I and K as required.

Planned Unit Development Findings

- (A) In what respects the proposed plan is consistent with the stated purpose of the planned unit development regulations.

The proposed plan provides flexibility to permit two buildings, when one is typically allowed. The developer has designed these buildings to provide access to the interior in a manner that does not interfere with traffic on either Quincy or Executive Drive. The development incorporates the required BMPs to filter and purify stormwater before it enters the detention basin. Uses on Lot 2 will be regulated so that the 53 parking spaces on Lot 1 can be used to satisfy parking requirements, and the self-storage use on Lot 1 cannot be changed without approval of a major change to a PUD, as regulated by the Zoning Ordinance.

- (B) The extent to which the proposed plan meets the requirements and standards of the planned unit development regulations.

The PUD meets the standards as identified above.

- (C) The extent to which the proposed plan departs from the zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to, the density, dimension, area, bulk and use, and the reasons why such departures are deemed to be in the public interest.

The PUD includes exceptions as identified in Section 3 of this Ordinance.

- (D) The method by which the proposed plan makes adequate provision for public services, provides adequate control over vehicular traffic, provides for and protects designated common open space, and furthers the amenities of light and air, recreation and visual enjoyment.

The PUD provides reasonable access for intended low intensity users. Garbage trucks will collect garbage that is stored inside Building A by entering and exiting the building via a code that is provided to the garbage company. The site has also been evaluated for its ability to accommodate turning movements of fire and emergency vehicles.

- (E) The relationship and compatibility of the proposed plan to the adjacent properties and neighborhood.

The proposed project will be marketed to people who have household goods that need to be stored, or to those who wish to store vehicles off site. Once occupied, the "tenants" of the household good storage have infrequent reasons to visit the site. It is anticipated that those who store their vehicles at this project will primarily come to the site on weekends and holidays, when other businesses in the area are likely closed or on reduced shifts.

- (F) The desirability of the proposed plan with respect to the physical development, tax base and economic well-being of the village.

The proposed plan promotes new development in compliance with Zoning Ordinance requirements and will bring new people to the

area to shop and otherwise utilize local restaurants, which will benefit the local tax base. Very little sales tax will be generated by the site. Some utility tax revenues will be added by the site.

- (G) The conformity with the intent and spirit of the current planning objectives of the village.

The plan conforms to the spirit and intent of the Village's current planning objectives if developed as recommended by the Plan Commission.

EXHIBIT "C"
PARKING EASEMENT AGREEMENT

RECEIVED

JUL 29 2015

VILLAGE OF WILLOWBROOK
BUILDING & ZONING DIVISION

**PARKING
EASEMENT AGREEMENT**

THIS PARKING EASEMENT AGREEMENT ("Agreement") is made as of June ____, 2015 by and between ROC Willowbrook LLC, an Illinois limited liability company ("Tract 1 Owner"), and ROC WBCS II LLC, a Delaware limited liability company ("Tract 2 Owner").

RECITALS:

A. Tract 1 Owner is the owner of that certain tract of land known as Lot 1 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 1"), as more particularly described on Exhibit A.

B. Tract 2 Owner is the owner of that certain tract of land known as Lot 2 in ROC Industrial Subdivision, Willowbrook, Illinois ("Tract 2"), as more particularly described on Exhibit A.

C. Tract 2 Owner desires to receive from Tract 1 Owner and Tract 1 Owner is willing to grant to Tract 2 Owner a nonexclusive easement over, across and upon that portion of Tract 1 (the "Easement Area") cross-hatched on the site plan attached hereto as Exhibit B and made a part hereof, as the same may exist from time to time, upon and subject to the conditions and limitations herein contained.

NOW, THEREFORE, in consideration of the mutual covenants and agreements hereinafter set forth and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Tract 1 Owner and Tract 2 Owner hereby agree as follows:

1. **Easement Grant.** Tract 1 Owner hereby grants to Tract 2 Owner a non-exclusive, perpetual, irrevocable easement for the benefit of Tract 2 Owner for the use of the Easement Area for the sole and exclusive purposes of the passage and parking of passenger automobiles and passage of pedestrians, by Tract 2 Owner, all tenants and other occupants of Tract 2 or portions thereof, and the respective employees, agents, contractors, customers, visitors, invitees, licensees, subtenants and concessionaires of Tract 2 Owner or such tenants and occupants. Notwithstanding the foregoing, in no event shall Tract 2 Owner have the right use more than fifty-three (53) parking spaces in the Easement Area at any time.

2. **Insurance.** Tract 2 Owner shall at all times obtain and maintain commercial general liability insurance for bodily injury, personal injury and property damage for the mutual benefit of the owner of Tract 1 and Tract 2, with limits of not less than \$2,000,000.00 in Constant Dollars (as defined below) per occurrence, which policy or policies shall:

- (a) name as an additional insured Tract 1 Owner;
- (b) be written by solvent insurance companies licensed in the State of Illinois; and
- (c) include contractual liability coverage insuring Tract 2 Owner's indemnity obligations provided for herein.

Tract 2 Owner shall deliver certificates evidencing such policies of insurance to Tract 1 Owner upon demand. Nothing herein contained shall prevent Tract 2 Owner from taking out insurance of the kind and in the amount provided for hereunder under a blanket insurance policy or policies which may cover other properties owned or operated by Tract 2 Owner.

For purposes of this Agreement, the term "Constant Dollars" shall mean the value of the U.S. dollar to which such phrase refers, as adjusted from time to time. An adjustment shall occur on the 1st day of January of the fifth (5th) full calendar year following the date of this Agreement, and thereafter at five (5)

year intervals. Constant Dollars shall be determined by multiplying the dollar amount to be adjusted by a fraction, the numerator of which is the Current Index Number and the denominator of which is the Base Index Number. The "Base Index Number" shall be the level of the Index for the year in which this Agreement is executed; the "Current Index Number" shall be the level of the Index for the year preceding the adjustment year; the "Index" shall be the Consumer Price Index for All Urban Consumers, published by the Bureau of Labor Statistics of the United States Department of Labor for U.S. City Average, All Items (1982-84=100), or any successor index thereto as hereinafter provided. If publication of the Index is discontinued, or if the basis of calculating the Index is materially changed, then Tract 1 Owner and Tract 2 Owner shall substitute for the Index comparable statistics as computed by an agency of the United States Government or, if none, by a substantial and responsible periodical or publication of recognized authority most closely approximating the result which would have been achieved by the Index.

3. **Maintenance.** Tract 1 Owner shall keep the improvements located within the Easement Area neat, orderly in condition and appearance, and in good repair and in compliance with all applicable laws. Except as otherwise provided herein, the improvements located within the Easement Area shall not be obstructed in any way but shall be kept open at all times for the free use thereof.

4. **Indemnification.** Tract 2 Owner (as an "indemnitor") shall defend, indemnify and hold harmless Tract 1 Owner (as an "indemnitee") from and against all claims, damages, liabilities and expenses (including reasonable attorneys fees, court costs and expenses) which are incurred by the indemnitee in connection with loss of life, personal injury and/or property damage arising from the indemnitor's exercise of the indemnitor's easement rights granted herein, except to the extent caused by willful or negligent acts of the indemnitee or to the extent covered by insurance. The indemnitee shall tender defense of any claim subject to the indemnitor's indemnity to the indemnitor in sufficient time to avoid prejudice, and the indemnitor shall be entitled to defend the same with counsel of its selection and reasonably acceptable to the indemnitee.

5. **Rights Reserved.** Tract 1 Owner reserves and shall continue to enjoy the use of Tract 1 for any purpose which does not interfere in any material respect with or prevent the use by Tract 2 Owner of the easements herein granted, including the right to locate and relocate buildings, driveways, parking areas and other improvements to be located upon Tract 1, provided there is no material and adverse impact to the quality or quantity of the parking or access provided hereunder, and provided further that no buildings or permanent structures shall be located within the Easement Area.

6. **Duration.** The easements, covenants, conditions and restrictions contained herein shall exist at all times hereafter, shall create mutual benefits and covenants running with the land, and shall be binding upon any owner, tenant or occupant of Tract 1 or Tract 2 and their respective legal representatives, heirs, successors and assigns.

7. **Not a Public Dedication.** Nothing herein contained shall be deemed to be a grant or dedication of any portion of Tract 1 to or for the general public or for any public purposes whatsoever, it being the intention of Tract 1 Owner and Tract 2 Owner that this Agreement shall be strictly limited to and for the purposes herein expressed.

8. **Sole Agreement.** This Agreement may not be amended or modified in any respect whatsoever except by an instrument in writing signed by all parties. This Agreement constitutes the entire agreement between the parties with respect to the matters set forth herein and supersedes all prior negotiations, discussions, writings and agreements between them in connection therewith other than the Declaration.

9. **Applicable Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Illinois.

10. **Partial Invalidity.** Should any one or more of the provisions of this Agreement be determined to be invalid, unlawful or unenforceable in any respect, the validity, legality and enforceability of the remaining provisions hereof shall not in any way be affected or impaired thereby unless as a result the purpose and intent of this Agreement shall thereby be substantially and essentially impaired. In such event, the parties shall diligently proceed to revise this Agreement in order to memorialize such purpose and intent.

11. **Miscellaneous.** This Agreement shall be binding upon and inure to the benefit of each of: (a) Tract 1 Owner and all successor owners of Tract 1; and (b) Tract 2 Owner and all successor owners of Tract 2, each of whom shall accept and undertake, and shall be deemed to have accepted and undertaken, all rights and obligations of Tract 1 Owner or Tract 2 Owner, respectively, upon transfer of ownership in Tract 1 or Tract 2, respectively. Wherever a transfer occurs in the ownership of either Tract 1 or Tract 2, the transferor shall have no further liability for breach of covenant occurring thereafter. Each owner agrees to look solely to the interest of the other owner in its respective Tract for the recovery of any judgment from such Tract owner, it being agreed that the owner of any such Tract and its partners, directors, officers, members, managers or shareholders shall never be personally liable for such judgment.

[Signature Page Follows]

IN WITNESS WHEREOF, Tract 1 Owner and Tract 2 Owner have executed this Agreement as of the day and year first above written.

TRACT 1 OWNER:

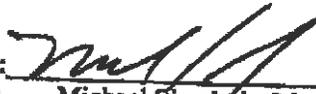
ROC WILLOWBROOK LLC,
an Illinois limited liability company

By: 
Michael Siurek, its Manager

TRACT 2 OWNER:

ROC WBCS II LLC,
a Delaware limited liability company

By: ROC WBCS LLC, an Illinois limited liability company, its Manager

By: 
Its: Michael Siurek, its Manager

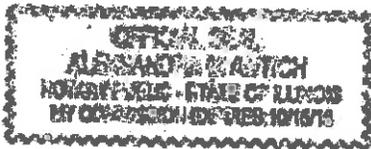
This instrument was prepared by
and after recording return to:

Daniel J. Kopp
Daspin & Aument, LLP
227 West Monroe Street
Suite 3500
Chicago, IL 60606

STATE OF ILLINOIS)
) SS
COUNTY OF DuPage)

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell, personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, as Manager of ROC WBCS II LLC, a Delaware limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability company, as his free and voluntary act, and as the free and voluntary act and deed of said limited liability companies, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20th day of July, 2015.



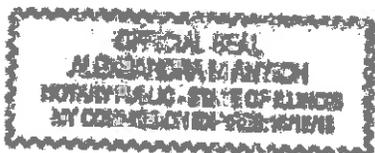
[Signature]
Notary Public

My Commission Expires: 10/16/16

STATE OF ILLINOIS)
) SS
COUNTY OF DuPage)

I, Alexandra Antich, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Michael Surell personally known to me to be the Manager of ROC WBCS LLC, an Illinois limited liability company, and personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered said instrument as Manager of said limited liability partnership, as his free and voluntary act, and as the free and voluntary act and deed of said corporation, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal this 20th day of July, 2015.



[Signature]
Notary Public

My Commission Expires: 10/16/16

EXHIBIT A

TRACT 1:

**LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE
SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED _____,
2015 AS DOCUMENT NO. _____, IN DUPAGE COUNTY, ILLINOIS.**

TRACT 2:

**LOT 2 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE
SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED _____,
2015 AS DOCUMENT NO. _____, IN DUPAGE COUNTY, ILLINOIS.**

EXHIBIT B

Easement Area

THAT PART OF LOT 1 IN ROC INDUSTRIAL SUBDIVISION, BEING A RESUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED _____, 2015 AS DOCUMENT NO. _____, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 223.13 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 89 DEGREES 51 MINUTES 33 SECONDS EAST ALONG SAID NORTH LINE, A DISTANCE OF 140.66 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 27 SECONDS WEST, A DISTANCE OF 41.84 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 17.75 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 73.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 18.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, A DISTANCE OF 33.42 FEET; THENCE SOUTH 34 DEGREES 21 MINUTES 36 SECONDS EAST, A DISTANCE OF 16.93 FEET; THENCE SOUTH 55 DEGREES 38 MINUTES 24 SECONDS WEST, A DISTANCE OF 163.00 FEET; THENCE NORTH 34 DEGREES 21 MINUTES 36 SECONDS WEST, A DISTANCE OF 61.00 FEET; THENCE NORTH 55 DEGREES 38 MINUTES 24 SECONDS EAST, A DISTANCE OF 173.29 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

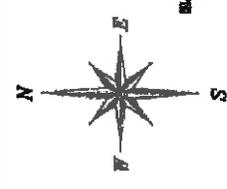
EXHIBIT "D"
ROC INDUSTRIAL SUBDIVISION PLAT

PLAT NO. 88-38-88
 REC'D IN OFFICE OF THE CLERK OF THE CIRCUIT COURT OF THE 11TH JUDICIAL CIRCUIT IN AND FOR THE COUNTY OF ROCK ISLAND, ILL. MAY 15 1988

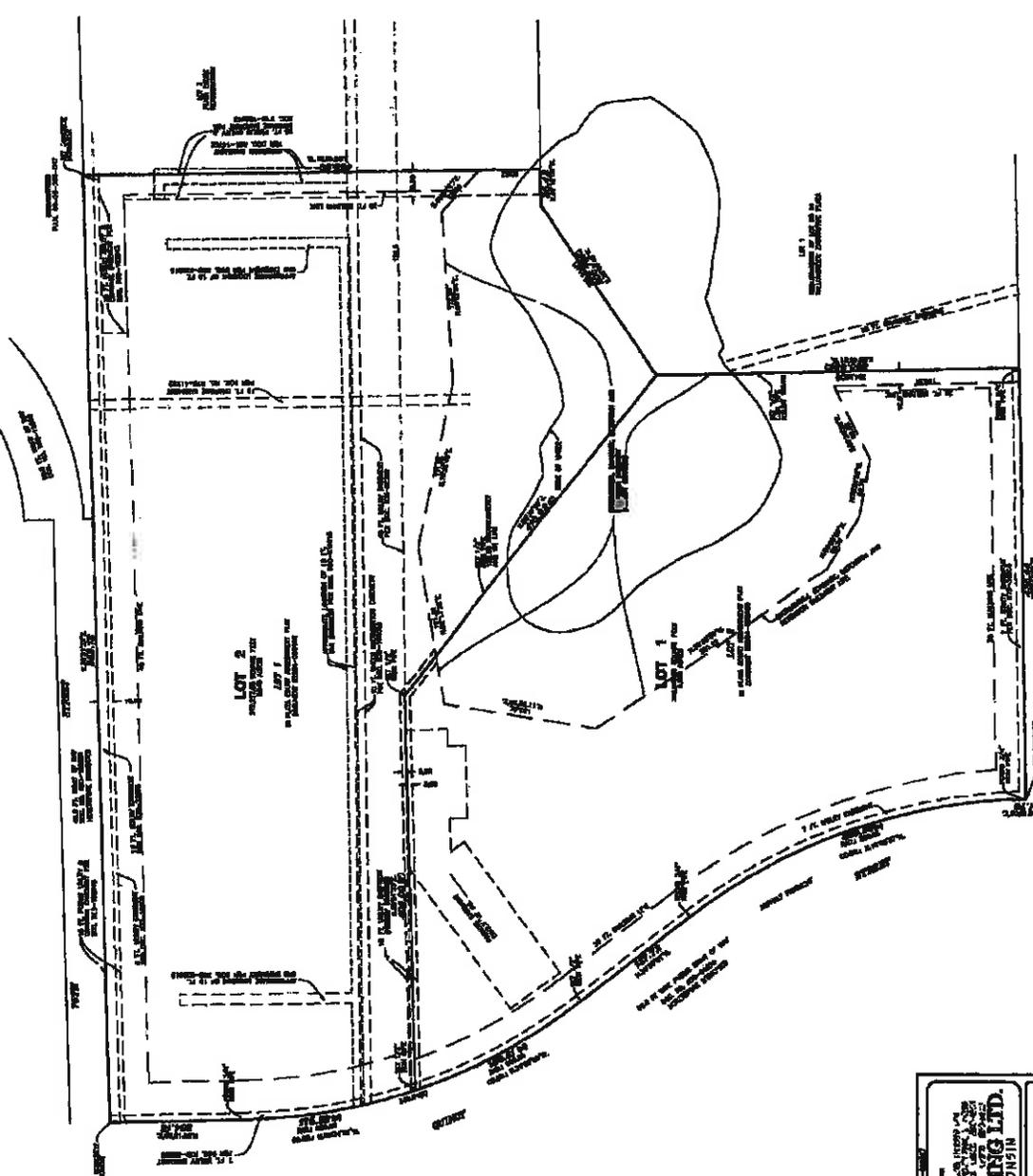
PLAT NO. 88-38-88

ROC INDUSTRIAL SUBDIVISION

FINAL PLAN
 FOR THE 11TH JUDICIAL CIRCUIT IN AND FOR THE COUNTY OF ROCK ISLAND, ILLINOIS

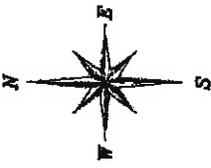


ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF UNLESS OTHERWISE SPECIFIED.
 ALL CORNERS ARE TO BE MARKED WITH IRON PIPES OR IRON BOLTS.
 ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE SPECIFIED.
 ALL DISTANCES ARE TO BE MEASURED ALONG THE CENTERLINE OF THE ROAD OR RAILROAD UNLESS OTHERWISE SPECIFIED.



SHEET 1 OF 2

HARRINGTON LAND SURVEYING LTD. ILLINOIS & WISCONSIN		SCALE: 1" = 50' CHECKED BY: [Signature] DRAWN BY: [Signature]
PREPARED BY: [Signature] CHECKED BY: [Signature]	DATE: [Date]	PROJECT: [Project Name]



ROC INDUSTRIAL SUBDIVISION

TRIAL PLOT

SECTION 1

SECTION 2

SECTION 3

SECTION 4

SECTION 5

SECTION 6

SECTION 7

SECTION 8

SECTION 9

SECTION 10

SECTION 11

SECTION 12

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SECTION 200

SHEET 2 OF 2

HARRINGTON
LAND SURVEYING LTD.
ILLINOIS & WISCONSIN

SCALE: NONE

ORDER BY: []

DATE: []

BY: []

FOR: []

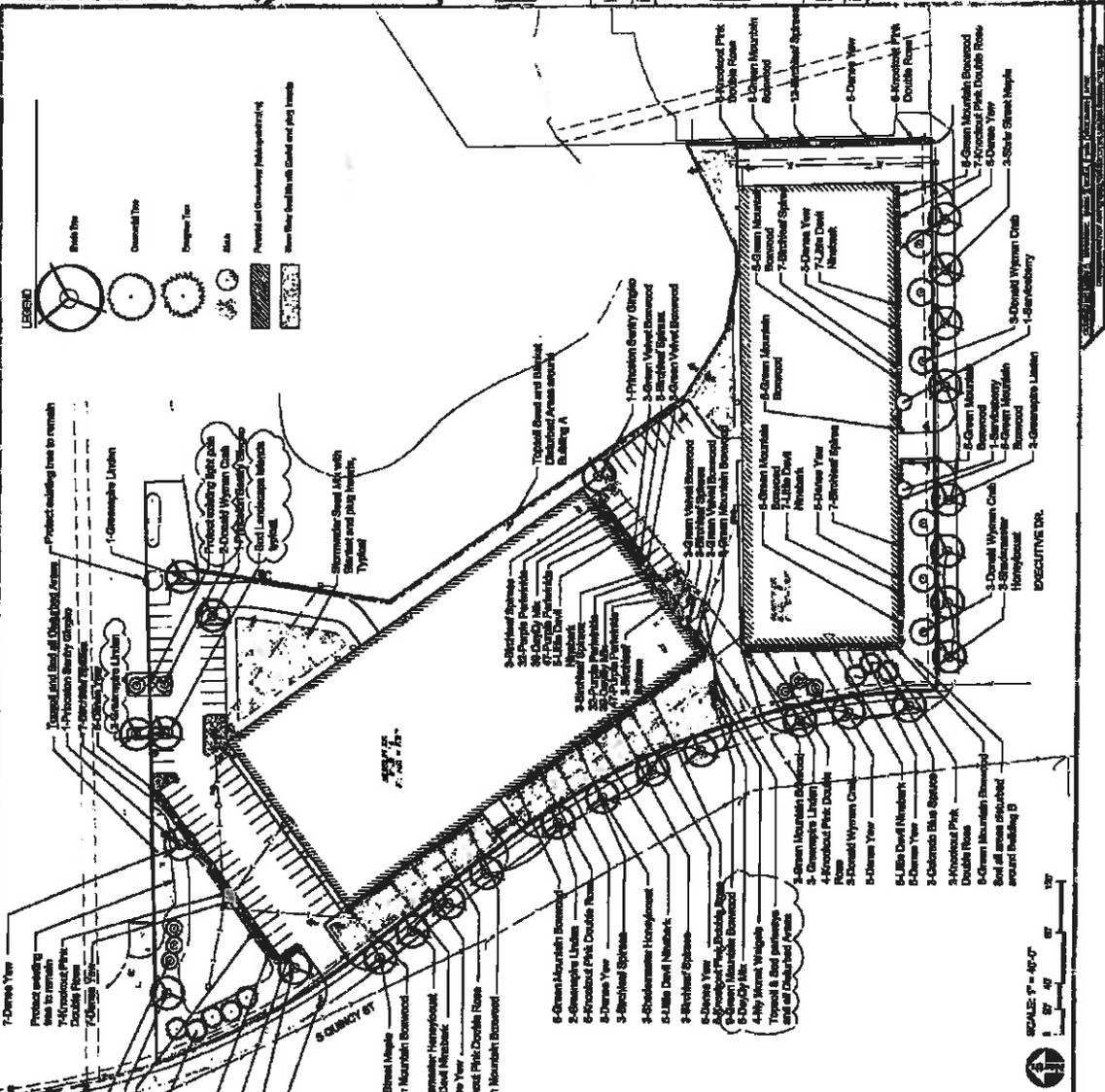
EXHIBIT "E"
ROC INDUSTRIAL PUD

EXHIBIT "F"
APPROVED PLANS

1. Color Elevations (1 Sheet) hand dated December 29, 2015.
2. Landscape Plan, prepared by Upland Design, Ltd., consisting of two (2) sheets, latest revision dated December 2, 2015, except that the additional lawn area west of Building A created by increasing the Quincy Street setback of Building A from 30' to 40' shall be sodded.
3. Photometric Plan, prepared by Helsel-Jepperson, consisting of three (3) sheets, not dated.
4. Building A Details, prepared by Koziol Engineering Services, consisting of ten (10) sheets and latest revision dated December 23, 2015.
5. Building B details, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 23, 2015.
6. Final Engineering, prepared by Koziol Engineering Services, consisting of fourteen (14) sheets, and latest revision dated December 28, 2015.



12-29-15



GENERAL NOTES: LANDSCAPE

1. This landscape plan is intended to provide a conceptual plan. Final quantities of planting shall be determined by the contractor.
2. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
3. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
4. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
5. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
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9. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
10. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
11. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
12. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
13. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
14. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
15. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
16. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.
17. All plants shall be installed in accordance with the specifications of the University of Illinois Horticulture Department.

PLANT LIST

NO.	PLANT NAME	QUANTITY	REMARKS
1	1-Princeton Sentry Dogwood	1	
2	2-Deerwood Yew	2	
3	3-Blackleaf Dogwood	3	
4	4-Blackleaf Dogwood	4	
5	5-Blackleaf Dogwood	5	
6	6-Blackleaf Dogwood	6	
7	7-Blackleaf Dogwood	7	
8	8-Blackleaf Dogwood	8	
9	9-Blackleaf Dogwood	9	
10	10-Blackleaf Dogwood	10	
11	11-Blackleaf Dogwood	11	
12	12-Blackleaf Dogwood	12	
13	13-Blackleaf Dogwood	13	
14	14-Blackleaf Dogwood	14	
15	15-Blackleaf Dogwood	15	
16	16-Blackleaf Dogwood	16	
17	17-Blackleaf Dogwood	17	

WILLOWBROOK REQUIREMENTS CHART

PLANT NAME	QUANTITY	REMARKS
1-Princeton Sentry Dogwood	1	
2-Deerwood Yew	2	
3-Blackleaf Dogwood	3	
4-Blackleaf Dogwood	4	
5-Blackleaf Dogwood	5	
6-Blackleaf Dogwood	6	
7-Blackleaf Dogwood	7	
8-Blackleaf Dogwood	8	
9-Blackleaf Dogwood	9	
10-Blackleaf Dogwood	10	
11-Blackleaf Dogwood	11	
12-Blackleaf Dogwood	12	
13-Blackleaf Dogwood	13	
14-Blackleaf Dogwood	14	
15-Blackleaf Dogwood	15	
16-Blackleaf Dogwood	16	
17-Blackleaf Dogwood	17	

WILLOWBROOK DESIGN LTD.
 1000 N. WILLOWBROOK AVENUE
 WILLOWBROOK, IL 60097
 TEL: 630-580-1234
 FAX: 630-580-1235
 WWW: WWW.WILLOWBROOKDESIGN.COM

NO.	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMITS
2	11/15/11	REVISED PER COMMENTS
3	12/15/11	REVISED PER COMMENTS
4	01/15/12	REVISED PER COMMENTS
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98	11/15/19	REVISED PER COMMENTS
99	12/15/19	REVISED PER COMMENTS
100	01/15/20	REVISED PER COMMENTS

1. Seed mix shall be by Penn Native Plant Nursery, LLC 10729 Pine Road, Laurel, DE 19057 or approved equal.

2. For seeding, provide Seed Chute Areas within 6" Seed Chute cover every 40' between. On the 4th planting, provide 1/2" Wetland Water Wheel in Wetland (height at 12" above).

3. Provide Seed and Jig mix as specified below. Seed shall be applied at 50.91 lb/1000 sq ft. Jig mix at 30.00 lb/1000 sq ft.



Tree Installation
 1. Tree shall be installed in a hole that is 1/2" larger in diameter than the root ball. The hole shall be dug to a depth of 1/2" below the root ball. The root ball shall be placed in the hole and the soil shall be tamped around it. The tree shall be watered immediately after installation.



Tree Protection - Perennial
 1. Tree shall be installed in a hole that is 1/2" larger in diameter than the root ball. The hole shall be dug to a depth of 1/2" below the root ball. The root ball shall be placed in the hole and the soil shall be tamped around it. The tree shall be watered immediately after installation.



Perennial or Ornamental Grass Installation
 1. Grass shall be installed in a hole that is 1/2" larger in diameter than the root ball. The hole shall be dug to a depth of 1/2" below the root ball. The root ball shall be placed in the hole and the soil shall be tamped around it. The grass shall be watered immediately after installation.



Shrub Installation
 1. Shrub shall be installed in a hole that is 1/2" larger in diameter than the root ball. The hole shall be dug to a depth of 1/2" below the root ball. The root ball shall be placed in the hole and the soil shall be tamped around it. The shrub shall be watered immediately after installation.



Evergreen Installation
 1. Evergreen shall be installed in a hole that is 1/2" larger in diameter than the root ball. The hole shall be dug to a depth of 1/2" below the root ball. The root ball shall be placed in the hole and the soil shall be tamped around it. The evergreen shall be watered immediately after installation.



Tree Protection - Perennial
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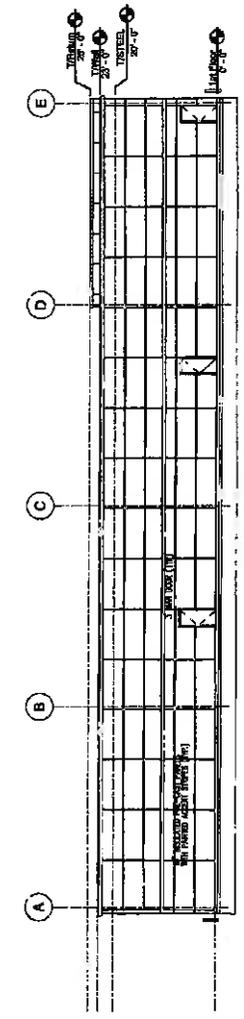
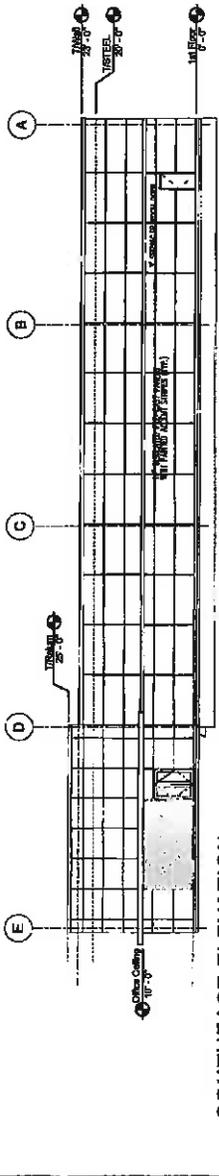
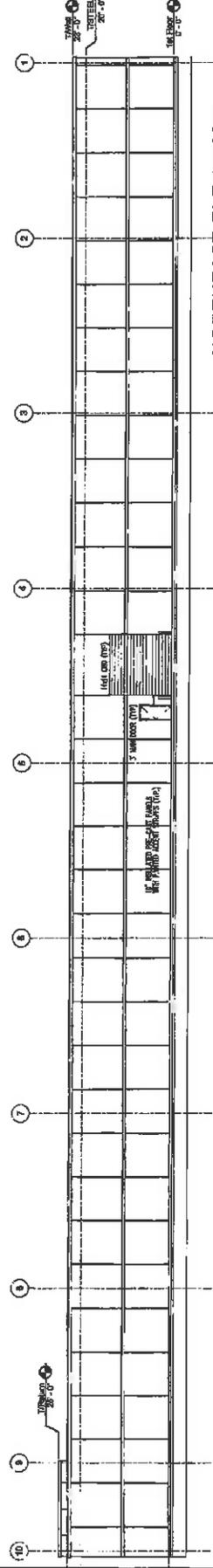
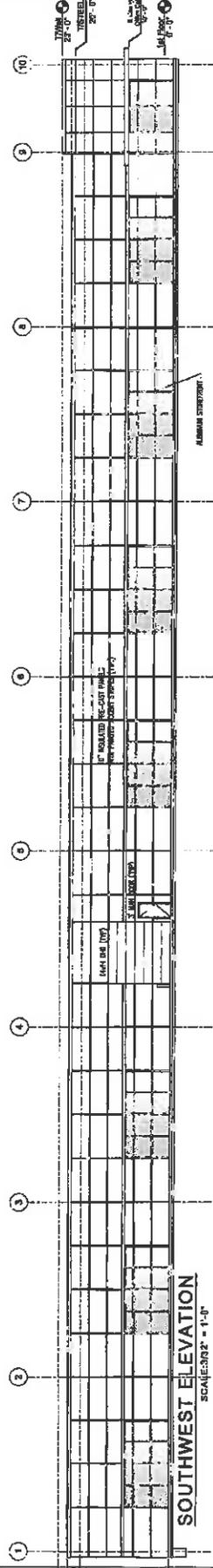
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uplandDesign Ltd
 1011 W. Main Street, Suite 100
 Wilmington, DE 19804
 302-234-0001 www.uplanddesign.com

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 1011 W. Main Street, Suite 100
 Wilmington, DE 19804
 302-234-0001 www.uplanddesign.com



PROJECT NUMBER	7601 Quincy Street, Bldg A MILWAUKEE, ILLINOIS
DATE	11/11/11
REVISION	NO REVISIONS
SCALE	AS SHOWN
DESCRIPTION	EXTERIOR ELEVATIONS
DRAWN BY	MM
CHECKED BY	MM
DATE	11/11/11





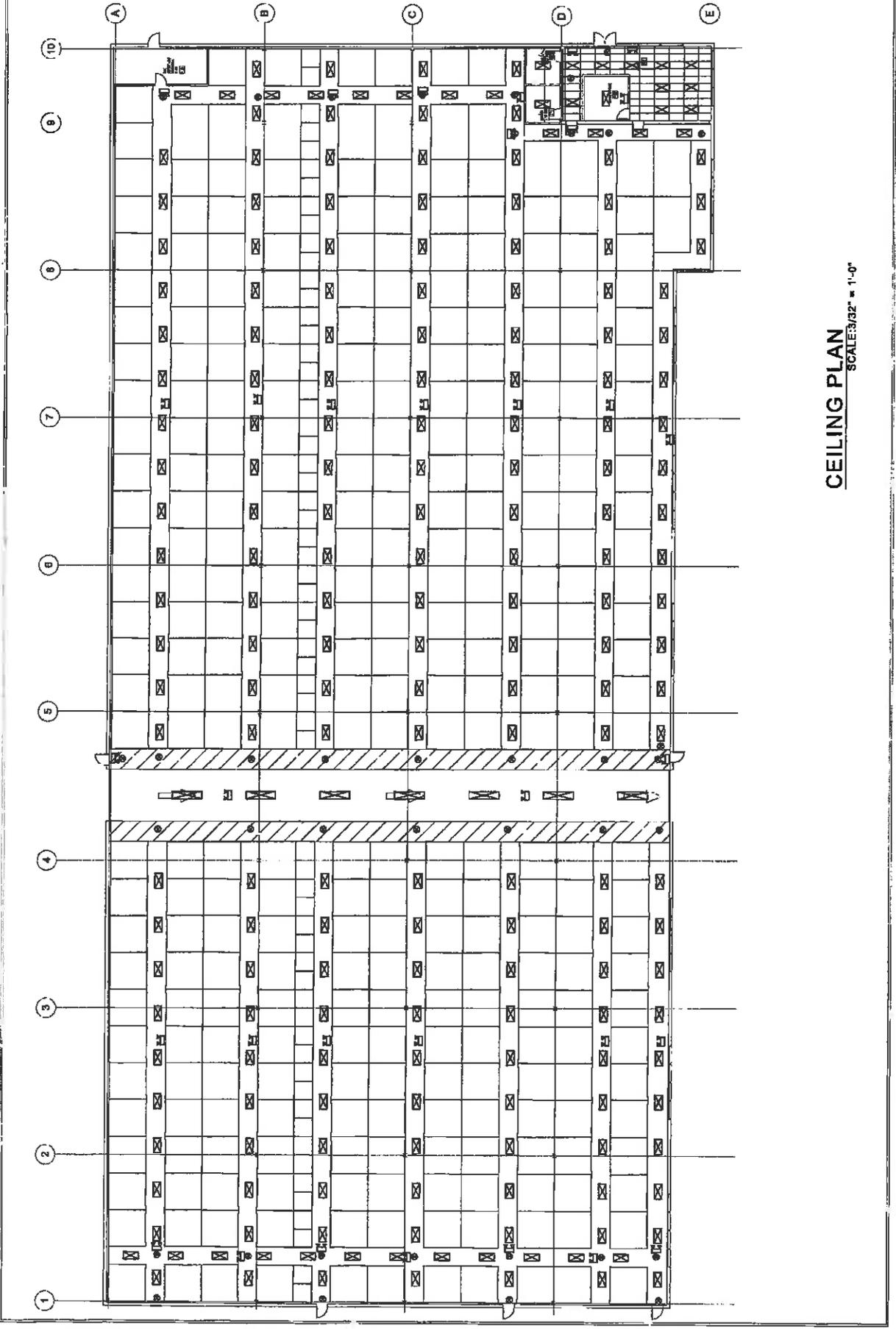
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31		



NO.	DATE	DESCRIPTION
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315	12/15/40	REVISIONS

NO.	DATE	DESCRIPTION	BY
1	08/15/11	ISSUE FOR PERMIT	JK
2	08/15/11	REVISION	JK
3	08/15/11	REVISION	JK

PROJECT NAME	7601 Quincy Street, Bldg A
LOCATION	WILLOWBROOK, ILLINOIS
DATE	08/15/11
SCALE	AS SHOWN
DESIGNER	JK
CHECKER	JK
APPROVER	JK

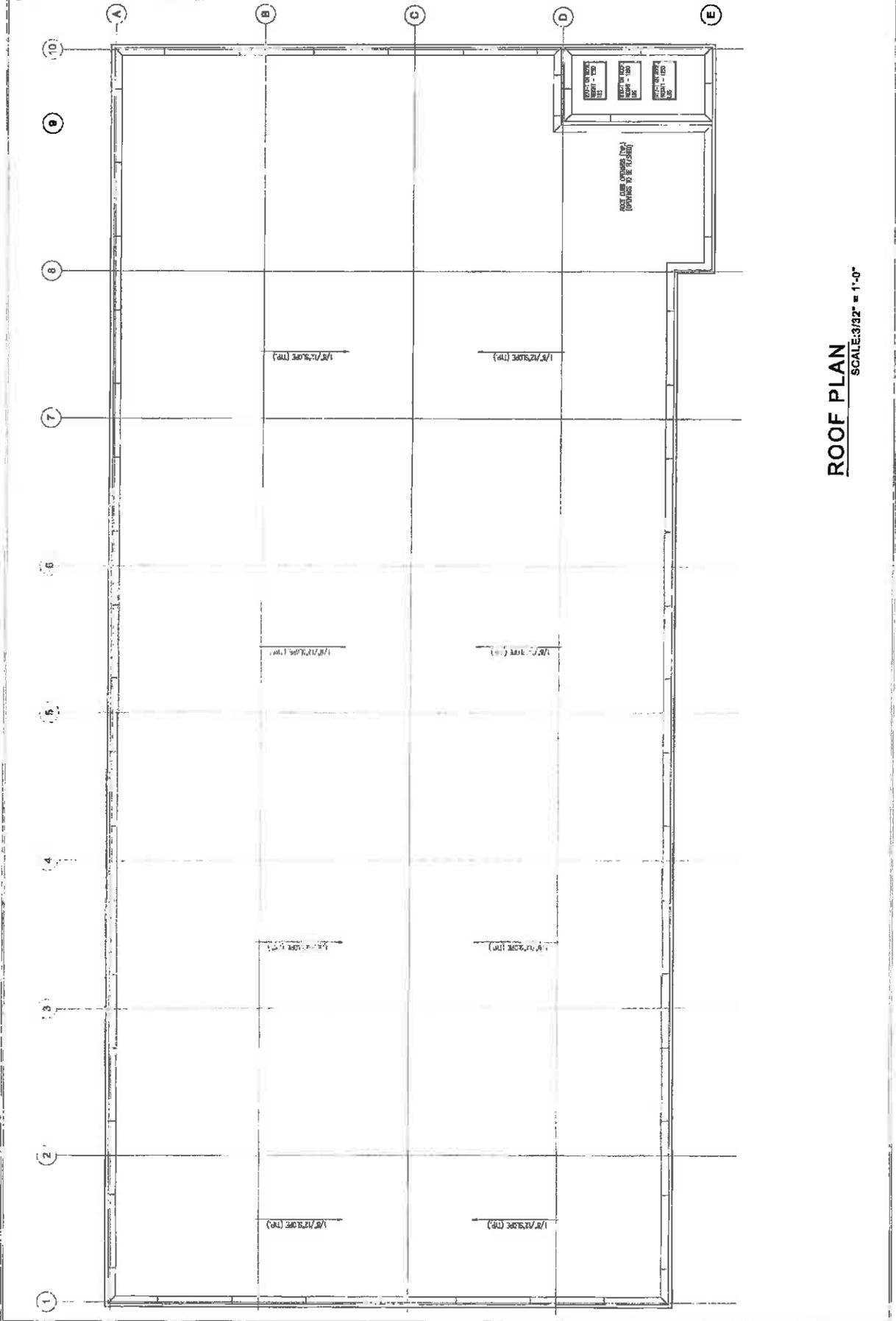


CEILING PLAN
 SCALE: 3/32" = 1'-0"



NO.	DATE	DESCRIPTION
1	11/15/11	PRELIMINARY
2	11/15/11	REVISIONS PER CONSULT REVIEW

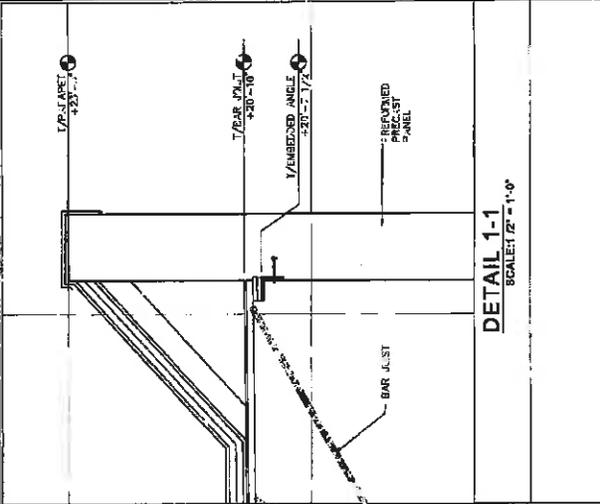
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PROJECT NAME	WILLOWBROOK, ILLINOIS
DATE	11/15/11
SCALE	AS SHOWN



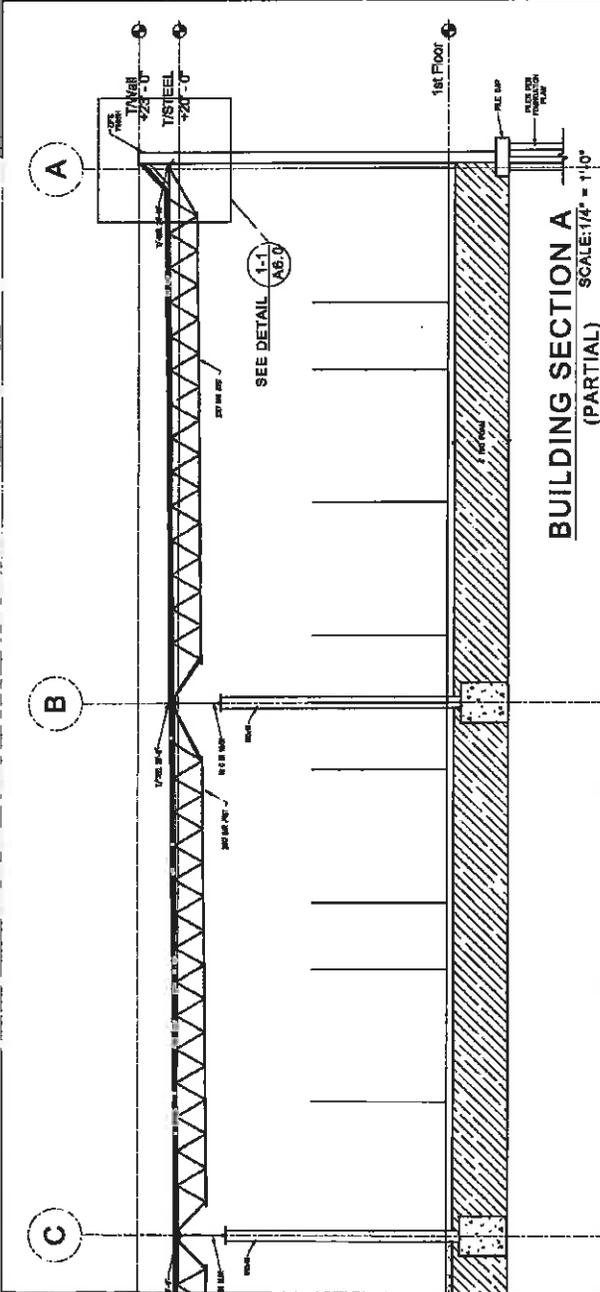
ROOF PLAN
 SCALE: 3/32" = 1'-0"



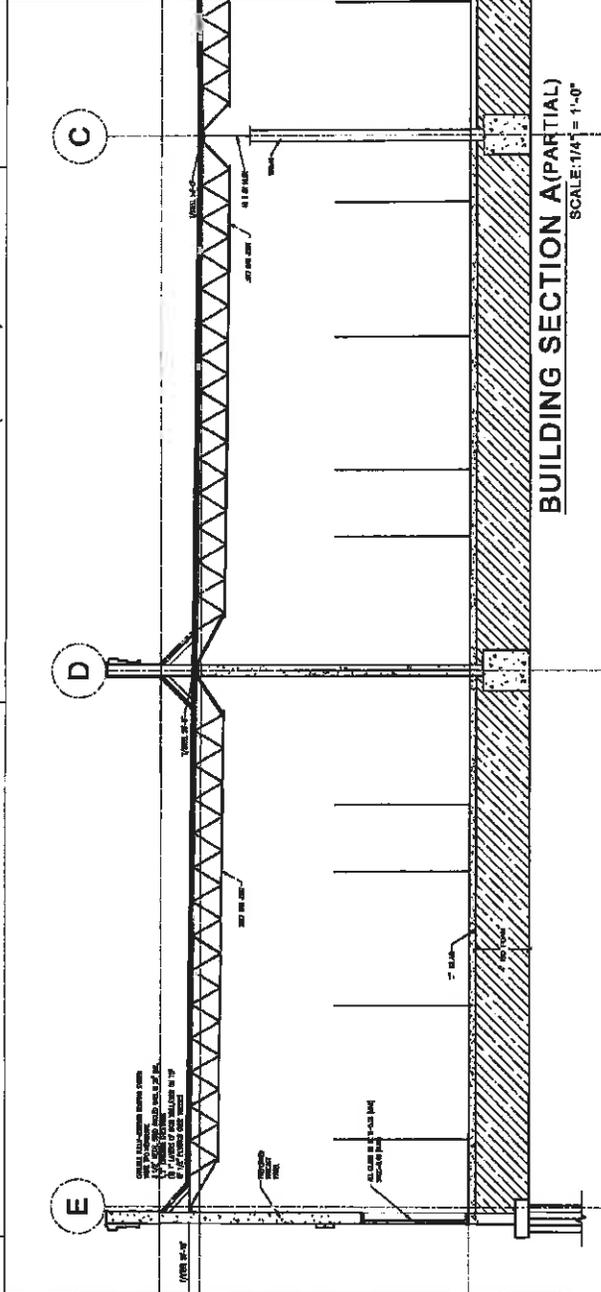
PROJECT INFORMATION		DRAWING INFORMATION	
PROJECT NUMBER	1	DRAWING NUMBER	101
DATE	10/20/11	SCALE	AS SHOWN
PROJECT NAME	7801 QUINN STEEL BLDG A	DATE	10/20/11
CLIENT	WILLBROOK ILLINOIS	DESIGNED BY	WILLBROOK ILLINOIS
ARCHITECT	WILLBROOK ILLINOIS	CHECKED BY	WILLBROOK ILLINOIS
ENGINEER	WILLBROOK ILLINOIS	APPROVED BY	WILLBROOK ILLINOIS



DETAIL 1-1
SCALE: 2\"/>



BUILDING SECTION A (PARTIAL)
SCALE: 1/4\"/>



BUILDING SECTION A (PARTIAL)
SCALE: 1/4\"/>



REV	DATE	DESCRIPTION
1	08/15/11	ISSUED FOR PERMIT
2	08/15/11	REVISIONS
3	08/15/11	REVISIONS
4	08/15/11	REVISIONS
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6	08/15/11	REVISIONS
7	08/15/11	REVISIONS
8	08/15/11	REVISIONS
9	08/15/11	REVISIONS
10	08/15/11	REVISIONS

SCHEDULES & DETAILS
 7801 Quincy Street, Bldg A
 WILLOWBROOK, ILLINOIS

- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL, CONCRETE, AND MASONRY.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MECHANICAL AND ELECTRICAL.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PLUMBING AND HEATING.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PAINTS AND COATINGS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ROOFING.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR GLAZING.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELEVATORS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ACCESSIBILITY.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR SAFETY.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ENVIRONMENTAL CONTROL.

- GENERAL EQUIPMENT NOTES**
1. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC).
 3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL CODE (IMC).
 4. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING CODE (IPHC).
 5. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ROOFING AND FLOORING CODE (IRFC).
 6. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GLAZING CODE (IGC).
 7. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ELEVATOR CODE (IEC).
 8. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY CODE (IAC).
 9. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC).
 10. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENVIRONMENTAL CONTROL CODE (IECC).

- GENERAL PUBLIC HEALTH NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION CODE (IHCFCC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY OPERATING CODE (IHCFOC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY MAINTENANCE CODE (IHCFMC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY DESIGN CODE (IHCFDC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING CODE (IHCFCCO).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING MAINTENANCE CODE (IHCFCCOM).
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING DESIGN CODE (IHCFCCOD).
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING DESIGN AND MAINTENANCE CODE (IHCFCCODM).
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING DESIGN AND MAINTENANCE DESIGN CODE (IHCFCCODMD).
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL HEALTH CARE FACILITY CONSTRUCTION AND OPERATING DESIGN AND MAINTENANCE DESIGN AND MAINTENANCE CODE (IHCFCCODMDM).

- ERECTION NOTES**
1. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR STRUCTURAL STEEL.
 2. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONCRETE.
 3. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MASONRY.
 4. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MECHANICAL.
 5. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELECTRICAL.
 6. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PLUMBING AND HEATING.
 7. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PAINTS AND COATINGS.
 8. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ROOFING.
 9. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR GLAZING.
 10. ALL ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELEVATORS.

- DOOR NOTES**
1. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR DOORS AND WINDOWS.
 2. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ACCESSIBILITY.
 3. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR SAFETY.
 4. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ENVIRONMENTAL CONTROL.
 5. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY CONSTRUCTION.
 6. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY OPERATING.
 7. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY MAINTENANCE.
 8. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY DESIGN.
 9. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY CONSTRUCTION AND OPERATING.
 10. ALL DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR HEALTH CARE FACILITY CONSTRUCTION AND OPERATING MAINTENANCE.

- WALL NOTES**
1. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MASONRY.
 2. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MECHANICAL.
 3. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELECTRICAL.
 4. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PLUMBING AND HEATING.
 5. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PAINTS AND COATINGS.
 6. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ROOFING.
 7. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR GLAZING.
 8. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELEVATORS.
 9. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ACCESSIBILITY.
 10. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR SAFETY.

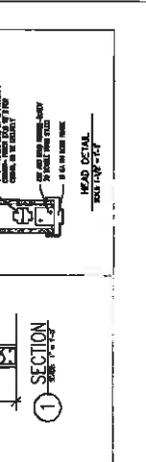
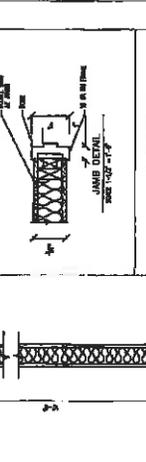
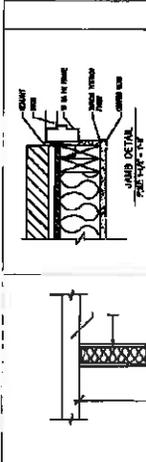
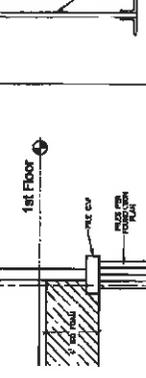
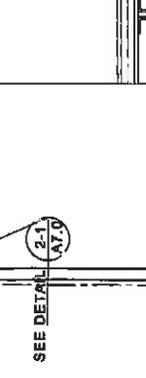
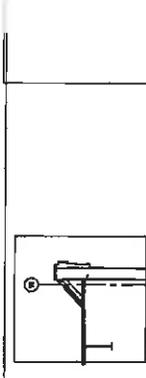
- FLOOR NOTES**
1. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR FLOORING.
 2. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR MECHANICAL.
 3. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELECTRICAL.
 4. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PLUMBING AND HEATING.
 5. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR PAINTS AND COATINGS.
 6. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ROOFING.
 7. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR GLAZING.
 8. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ELEVATORS.
 9. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR ACCESSIBILITY.
 10. ALL FLOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR SAFETY.

ROOM FINISH KEY

FLOOR	BASES	WALLS	CEILINGS
1F	01	02	03
2F	04	03	04
3F	05	04	05
4F	06	05	06
5F	07	06	07
6F	08	07	08
7F	09	08	09
8F	10	09	10
9F	11	10	11
10F	12	11	12

DOOR SCHEDULE

NO.	DOORS		FRAMES		FINISH	REMARKS
	TYPE	SIZE	TYPE	SIZE		
01	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 101
02	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 102
03	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 103
04	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 104
05	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 105
06	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 106
07	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 107
08	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 108
09	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 109
10	1	36" x 80"	1	36" x 80"	01	DOOR TO ROOM 110



DETAIL 2-1
 SCALE: 1/2" = 1'-0"

WALL SECTION B
 SCALE: 1/4" = 1'-0"

SECTION
 SEE DETAIL 2.1

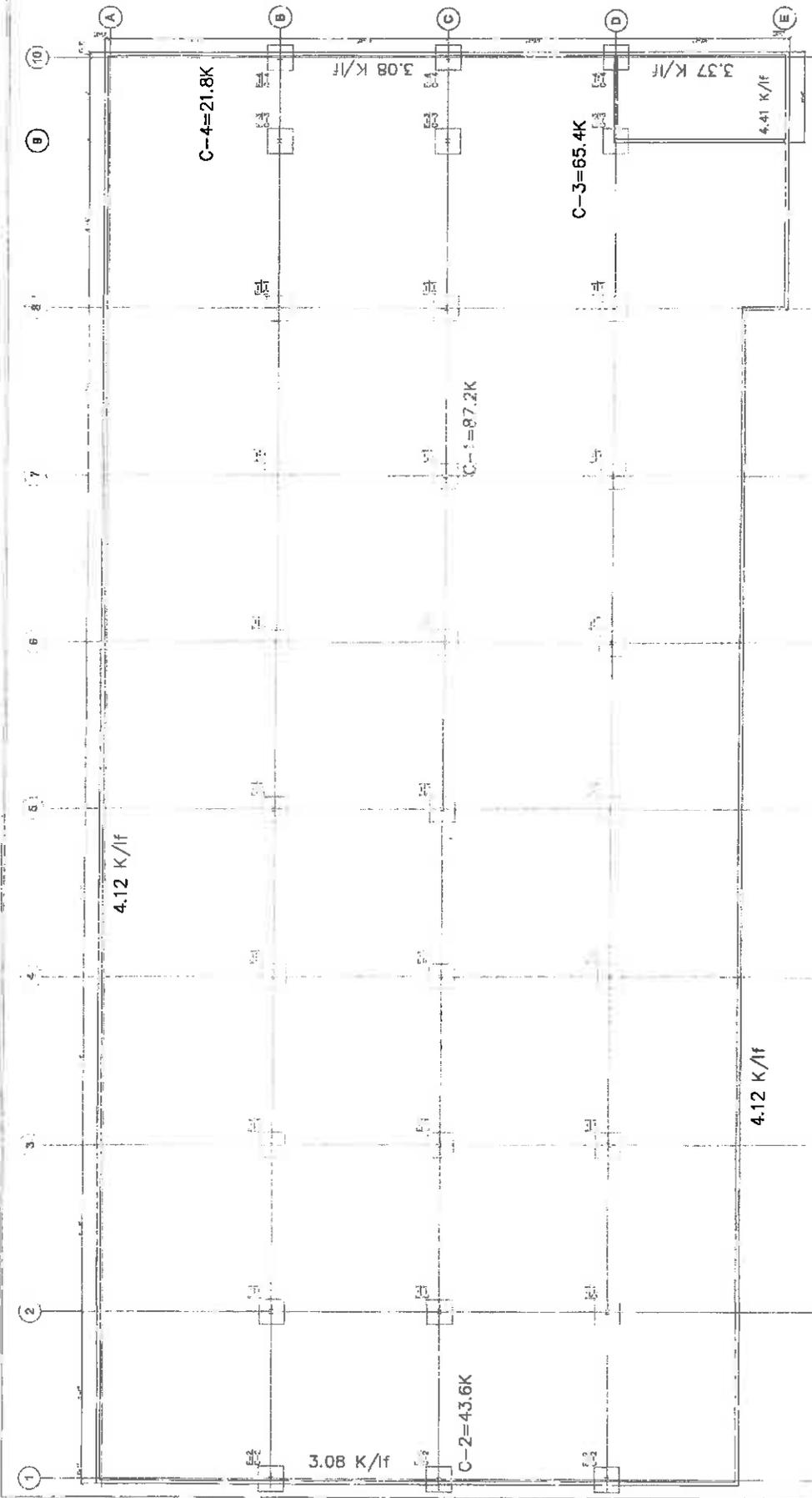
JAMB DETAIL
 SEE DETAIL 2.1

HEAD DETAIL
 SEE DETAIL 2.1



NO.	REV.	DATE	DESCRIPTION	DESIGNED BY
1	1	12/15/10	FOUNDATION PLAN	JAP
2	2	02/05/11	REVISION	JAP

NO.	REV.	DATE	DESCRIPTION	DESIGNED BY
1	1	12/15/10	FOUNDATION PLAN	JAP
2	2	02/05/11	REVISION	JAP



FOUNDATION PLAN
SCALE: 3/32" = 1'-0"

COLUMN SCHEDULE				
CALL OUT	LENGTH	BASE PLATE	TOP PLATE	TYPE
C-1				
C-3				

FOOTING SCHEDULE			
NO.	DESCRIPTION	NO.	DESCRIPTION
1	3.08 K/lf	1	4.12 K/lf
2	4.12 K/lf	2	3.37 K/lf
3	3.37 K/lf	3	4.41 K/lf

QUINCY STREET STORAGE BUILDING B

7601 QUINCY STREET WILLOWBROOK, ILLINOIS



LOCATION MAP:



QUINCY STREET STORAGE
7601 QUINCY STREET
WILLOWBROOK, IL

PROJECT DIRECTORY:

OWNER:
VILLAGE OF PLAINFIELD:
3000 LOCKPORT ST
PLAINFIELD, IL 60544
(815) 231-3301

ARCHITECT:
KAZDOL ENGINEERING SERVICES
1000 N. WILLOWBROOK
WILLOWBROOK, IL 60120
KAZDOL@KES.COM
(815) 231-3301

ENGINEER:
KAZDOL ENGINEERING SERVICES
1000 N. WILLOWBROOK
WILLOWBROOK, IL 60120
KAZDOL@KES.COM
(815) 231-3301

SHEET INDEX:

ARCHITECTURAL
FLOOR PLAN
FOUNDATION PLAN
FOUNDATION DETAIL
FOUNDATION SECTION

STRUCTURAL
SFD
SDD
SDP

PROJECT INFORMATION

PROJECT NUMBER: 2014-001
DATE: 10/15/14
CONTRACTOR: J. J. CONSTRUCTION, INC.
PROJECT DESCRIPTION: STORAGE BUILDING
DATE: 10/15/14
PROJECT LOCATION: 7601 QUINCY STREET, WILLOWBROOK, IL 60120
PROJECT AREA: 1.0 ACRES
PROJECT TYPE: STORAGE BUILDING
PROJECT CODE: 01-0000
PROJECT CLASSIFICATION: 01-0000
PROJECT STATUS: PRELIMINARY
PROJECT PHASE: PRELIMINARY
PROJECT CODE: 01-0000
PROJECT CLASSIFICATION: 01-0000
PROJECT STATUS: PRELIMINARY
PROJECT PHASE: PRELIMINARY

COVER SHEET

NO.	DATE	DESCRIPTION
1	10/15/14	ISSUED FOR PERMIT
2	10/15/14	ISSUED FOR PERMIT
3	10/15/14	ISSUED FOR PERMIT
4	10/15/14	ISSUED FOR PERMIT
5	10/15/14	ISSUED FOR PERMIT
6	10/15/14	ISSUED FOR PERMIT
7	10/15/14	ISSUED FOR PERMIT
8	10/15/14	ISSUED FOR PERMIT
9	10/15/14	ISSUED FOR PERMIT
10	10/15/14	ISSUED FOR PERMIT

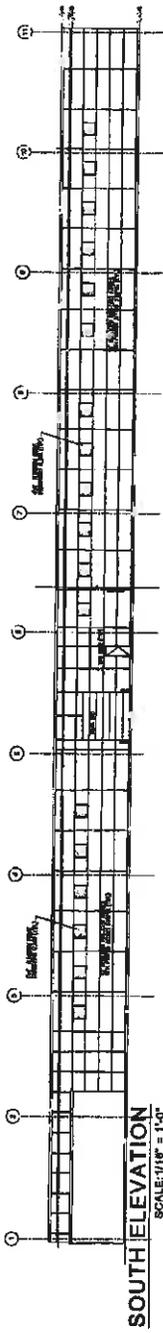
7601 QUINCY STREET, BLDG B
WILLOWBROOK, ILLINOIS

DATE OF ISSUE: 10/15/14
DATE OF EXPIRY: 10/15/15

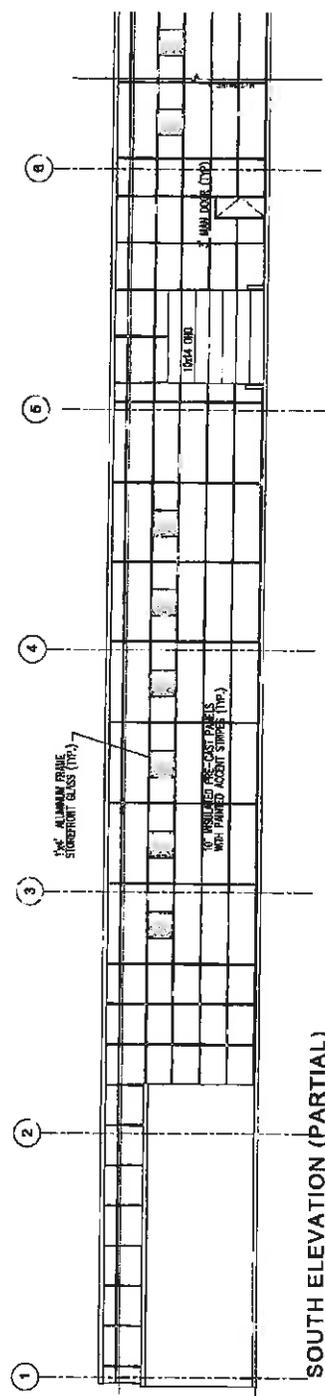
THIS DRAWING IS THE PROPERTY OF KAZDOL ENGINEERING SERVICES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KAZDOL ENGINEERING SERVICES.



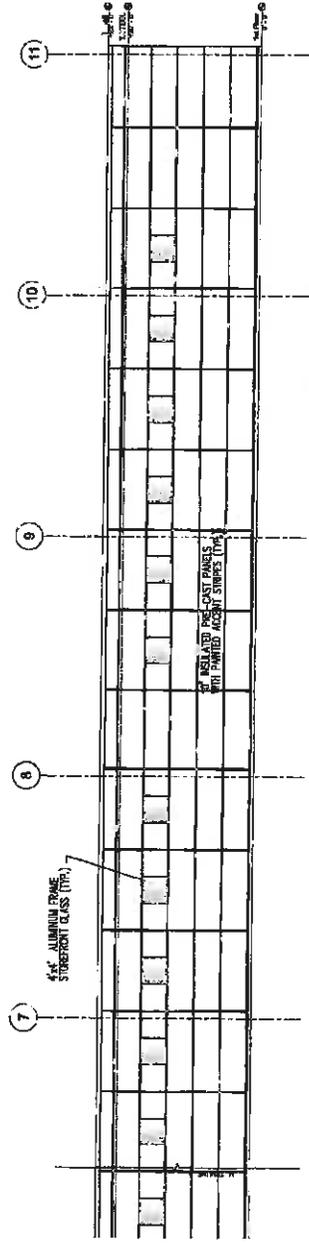
NO.	REV.	DATE	BY	CHKD.	APP.
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11	1	08/11/10	AK	AK	



SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



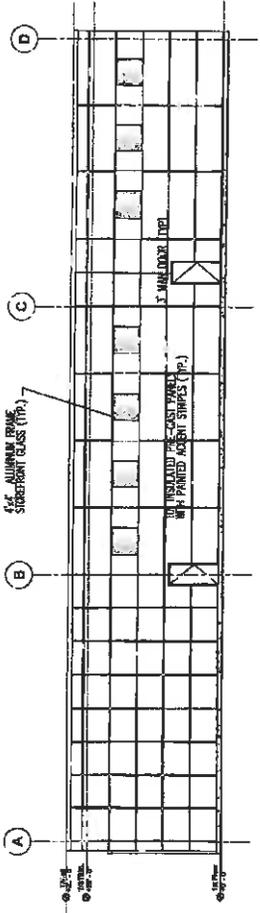
SOUTH ELEVATION (PARTIAL)
 SCALE: 1/8" = 1'-0"



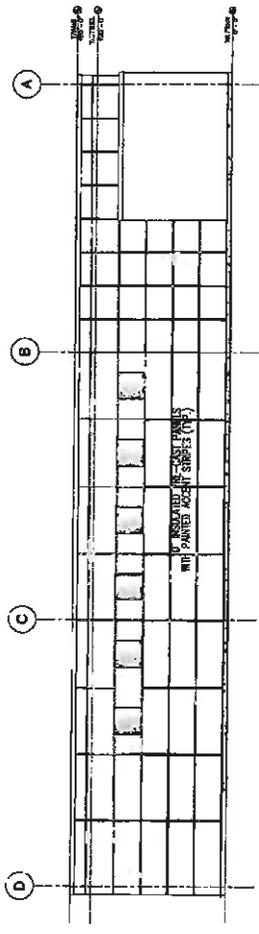
SOUTH ELEVATION (PARTIAL)
 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
01	08/24/17	ISSUED FOR PERMIT
02	09/15/17	REVISED PER COMMENTS
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100	11/01/17	REVISED PER COMMENTS

EAST & WEST
 EAST & WEST
 7801 Quince Street, BLDG B
 WILLOWBROOK, ILLINOIS



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

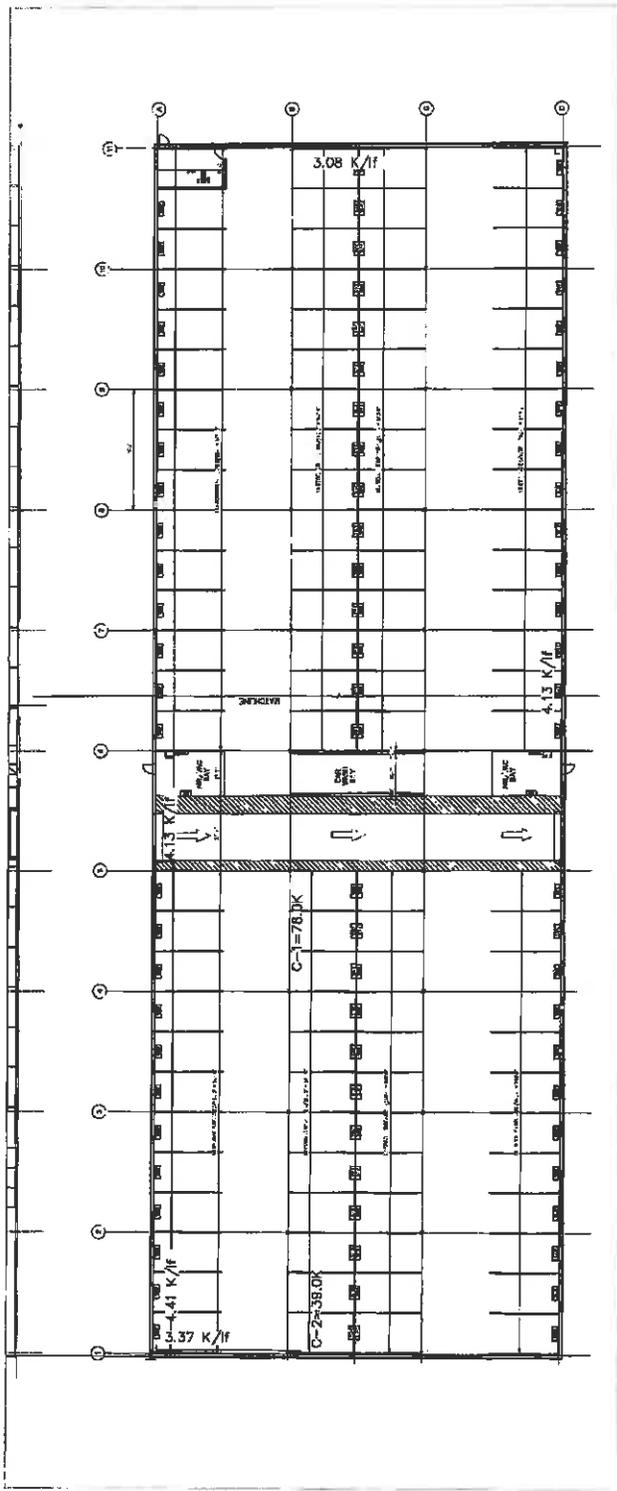


WEST ELEVATION
 SCALE: 1/8" = 1'-0"



NO.	REVISION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/10/2018		
2	ISSUED FOR CONSTRUCTION	10/10/2018		
3	ISSUED FOR AS-BUILT	10/10/2018		

PROJECTED FLOOR PLAN
 7011 QUINT Street, BLDG B
 MILLBROOK, TILNIES



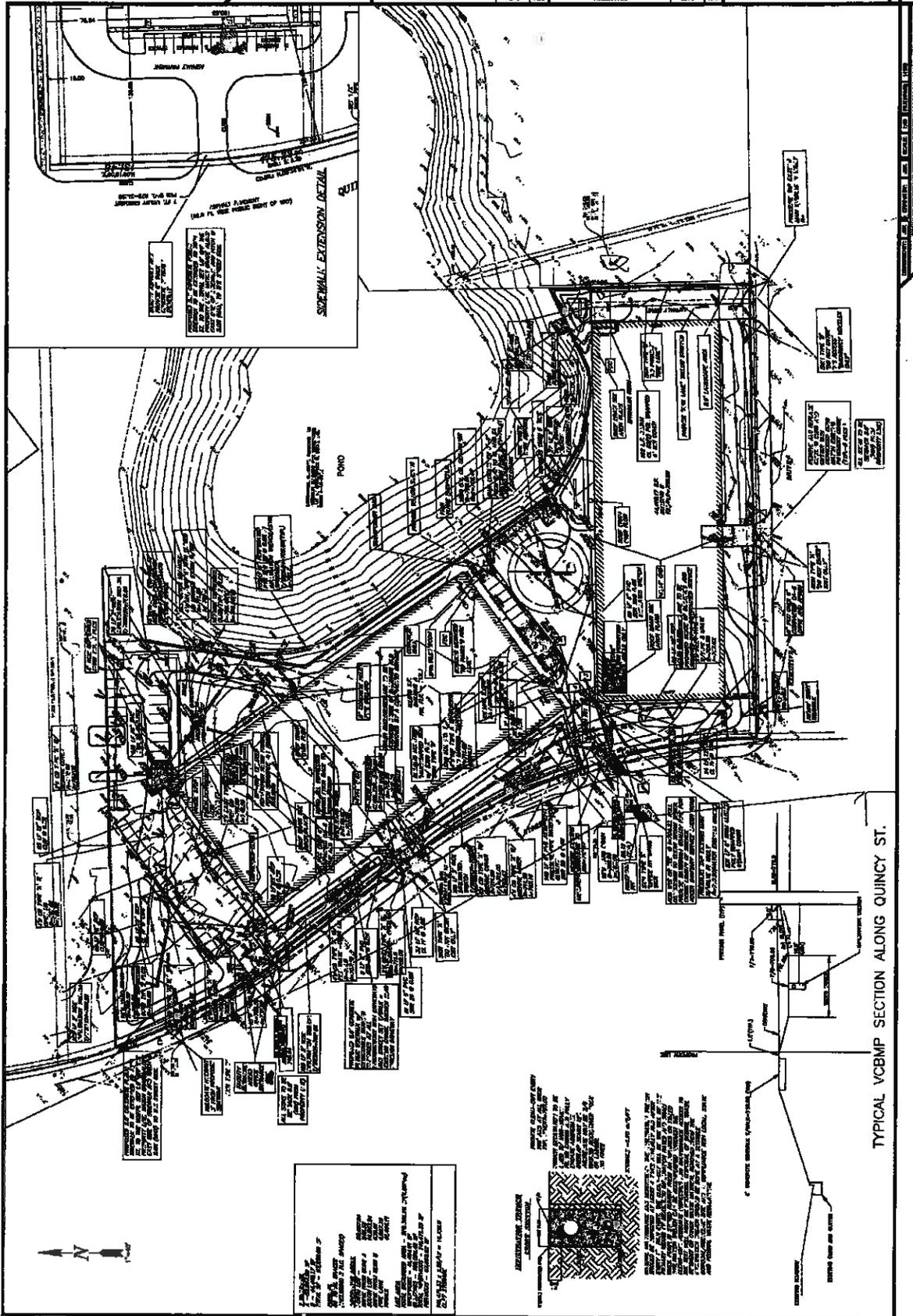
OVERALL FLOOR PLAN
 SCALE: 3/32" = 1'-0"

BUILDING SQUARE FOOTAGE	
TOTAL BUILDING SQUARE FOOTAGE	44,406.25 SF
NUMBER OF STORAGE UNITS	108
TOTAL NUMBER OF UNITS	108



NO.	DATE	DESCRIPTION
1	12/15/11	PRELIMINARY
2	01/10/12	REVISIONS
3	02/01/12	FINAL DESIGN
4	03/01/12	CONSTRUCTION

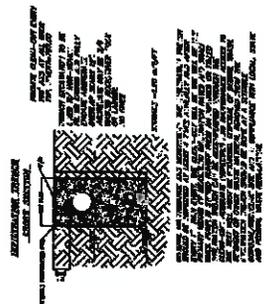
OVERALL PLAN
7801 S. QUINCY ST.
WILMABROOK, IL.



TYPICAL VCBMP SECTION ALONG QUINCY ST.



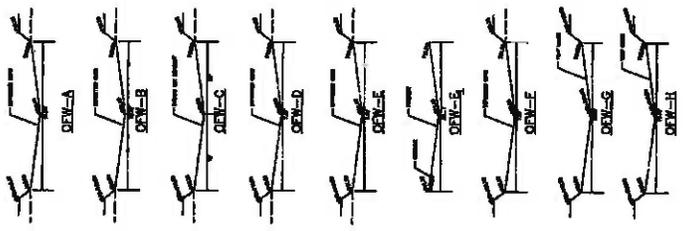
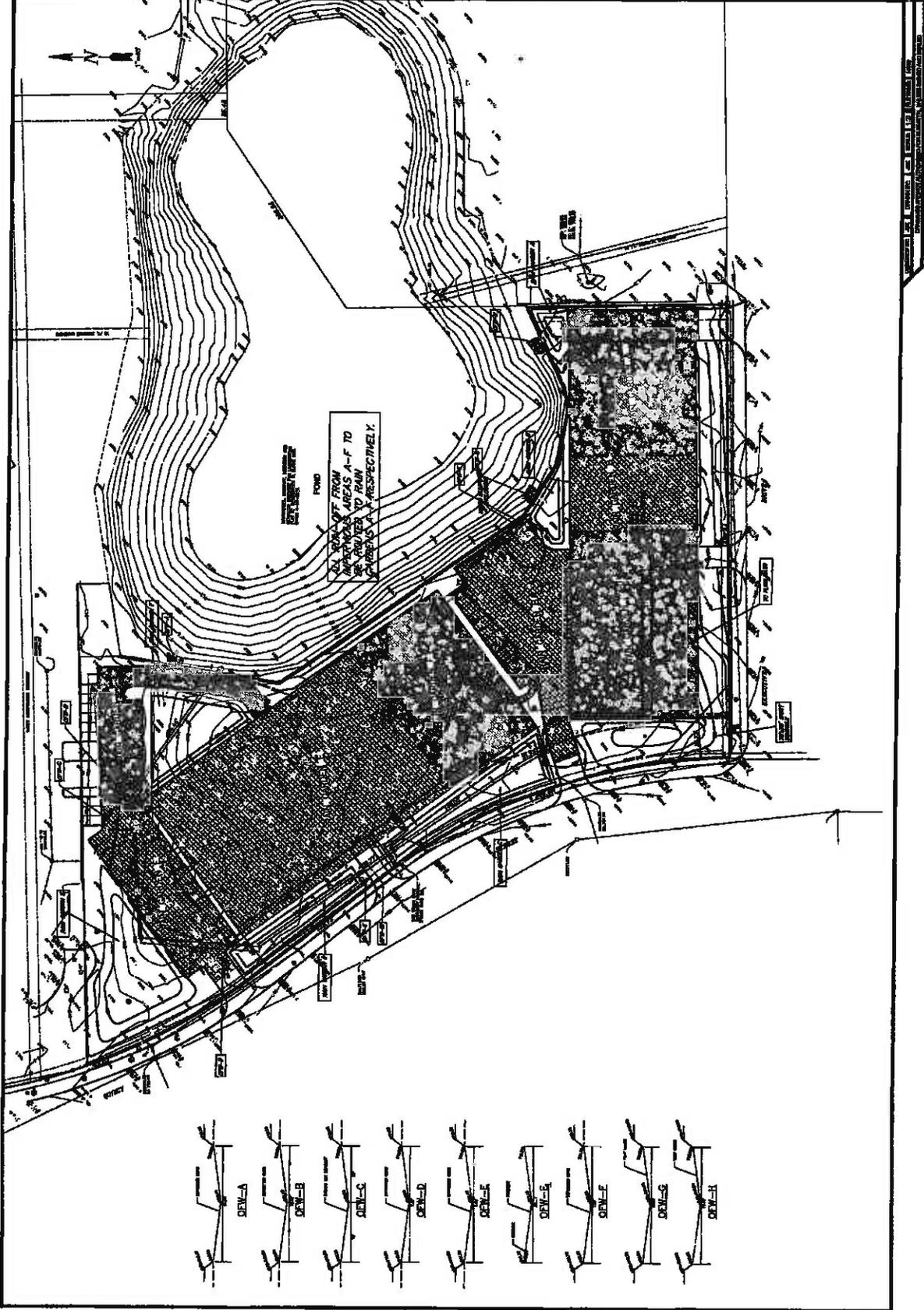
NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO SPECIFICATIONS FOR VCBMP.
 2. THE VCBMP SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
 3. THE VCBMP SHALL BE REPLACED IF DAMAGED OR DESTROYED.
 4. THE VCBMP SHALL BE MAINTAINED AT ALL TIMES.
 5. THE VCBMP SHALL BE MAINTAINED AT ALL TIMES.



SECTIONAL DETAIL
 1. 4" CONC. CURB
 2. 1" GRANULAR FILL
 3. 1" GRANULAR FILL
 4. 1" GRANULAR FILL
 5. 1" GRANULAR FILL
 6. 1" GRANULAR FILL
 7. 1" GRANULAR FILL
 8. 1" GRANULAR FILL
 9. 1" GRANULAR FILL
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321	06/15/37	REVISED
322	07/15/37	REVISED
323	08/15/37	



NO.	DESCRIPTION	DATE	BY	CHECKED
1	DESIGN	11/11/11	J. WILSON	
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			

BMP OVERLAND FLOOD ROUTE
7801 S. CLINCH ST.
WILLOWBROOK, IL

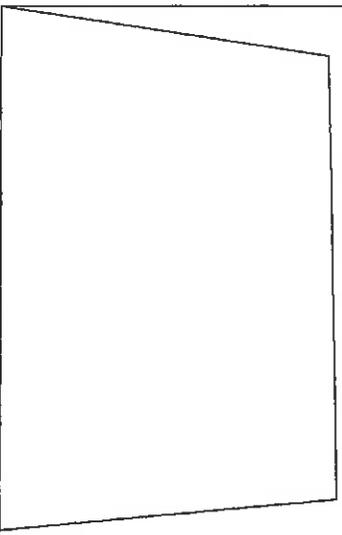


NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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SIGNAGE DETAILS
 7801 S. QUINCY ST.
 WILLOWBROOK, IL

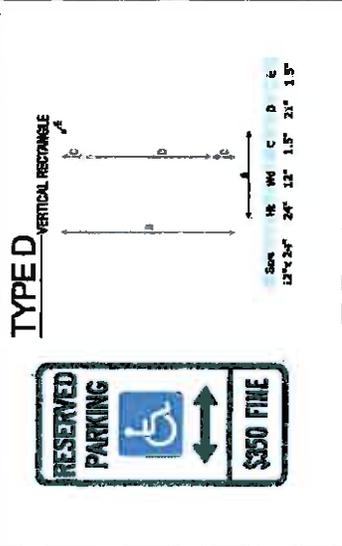
SHEET NO. 5-3
 DATE: 11/11/2020



TYPE F



Size: 18" x 24" 24" 18" 1.5" 21" 1.5"



TYPE E



Size: 18" x 24" 24" 18" 1.5" 21" 1.5"



TYPE D

