

## A G E N D A

REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK TO BE HELD ON MONDAY, APRIL 24, 2017, AT 6:30 P.M. AT **ASHTON PLACE, 341 75<sup>TH</sup> STREET, WILLOWBROOK, DUPAGE COUNTY, ILLINOIS**

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. VISITOR'S BUSINESS - Public comment is limited to three minutes per person
5. OMNIBUS VOTE AGENDA:
  - a. Waive Reading of Minutes (APPROVE)
  - b. Minutes - Regular Board Meeting - April 10, 2017 (APPROVE)
  - c. Warrants - \$258,138.26 (APPROVE)
  - d. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Enter into an Employment Agreement Between the Village of Willowbrook and Robert J. Pavelchik, Jr. as its Chief of Police (ADOPT)
  - e. Motion to Approve - Police Renovation Project: Payout #6 - Partial Payment, L.J. Morse Construction Company (PASS)
  - f. Motion - Motion to Approve - Fiscal Year 2017/18 Budget (PASS)
  - g. Proclamation - A Proclamation Recognizing the Week of May 20<sup>th</sup> Through May 26<sup>th</sup>, 2017 as National Safe Boating Week Within the Village of Willowbrook (APPROVE)

## NEW BUSINESS

6. DELINQUENT WATER BILLS
7. ORDINANCE - AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET - THE CHICAGO GUN CLUB

PRIOR BUSINESS

8. COMMITTEE REPORTS
9. ATTORNEY'S REPORT
10. CLERK'S REPORT
11. ADMINISTRATOR'S REPORT
12. MAYOR'S REPORT
13. CLOSED SESSION
14. ADJOURNMENT

MINUTES OF THE REGULAR MEETING OF THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, APRIL 10, 2017 AT THE BURR RIDGE POLICE DEPARTMENT, TRAINING ROOM, 7700 COUNTY LINE ROAD, VILLAGE OF BURR RIDGE, DUPAGE COUNTY, ILLINOIS.

1. CALL TO ORDER

The meeting was called to order at the hour of 6:30 p.m. by Mayor Frank Trilla.

2. ROLL CALL

Those present at roll call were Mayor Frank Trilla, Village Clerk Leroy Hansen, Trustees Sue Berglund, Umberto Davi, Terrence Kelly, Michael Mistele, Gayle Neal, and Paul Oggerino.

ABSENT: None

Also present were Village Attorney Thomas Bastian, Village Administrator Timothy Halik, Chief Mark Shelton, Director of Finance Carrie Dittman, Assistant to the Village Administrator Garrett Hummel, and Deputy Clerk Cindy Stuchl.

A QUORUM WAS DECLARED

3. PLEDGE OF ALLEGIANCE

Mayor Trilla asked High School Student Xavier Ortiz to lead everyone in saying the Pledge of Allegiance.

4. VISITORS' BUSINESS

Willowbrook residents Zoltan Baksay, Edward and Sue Kamuda, and Jeff Collins expressed their opposition to a proposed indoor shooting range that was recommended for approval by the Plan Commission, and is set to be located in an empty lot along Frontage Road and 79<sup>th</sup> Street.

5. OMNIBUS VOTE AGENDA

- a. Waive Reading of Minutes (APPROVE)
- b. Minutes - Special Board Meeting - Budget Workshop - March 20, 2017 (APPROVE)
- c. Minutes - Regular Board Meeting - March 27, 2017 (APPROVE)
- d. Warrants - \$162,936.25 (APPROVE)
- e. Monthly Financial Report - March 31, 2017 (APPROVE)

- f. Ordinance - An Ordinance Amending Title 3, Chapter 12, Section 3-12-5(B) of the Village Code - Classifications, Class B License - Ordinance No. 17-O-09 (PASS)
- g. Resolution - A Resolution Authorizing the Mayor and Village clerk to Enter into an Employment Agreement Between the Village of Willowbrook and Timothy J. Halik as its Village Administrator and Director of Municipal Services - Resolution No. 17-R-21 (ADOPT)
- h. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Enter into an Employment Agreement Between the Village of Willowbrook and Caroline A. Dittman as its Director of Finance - Pulled for separate voice vote.
- i. Resolution - A Resolution Authorizing the Mayor and Village Clerk to Accept a Proposal to Conduct the 2017 Village-Wide Spring Brush Collection Program - R.J. Ryan Tree & Landscape, LLC - Resolution No. 17-R-22 (ADOPT)
- j. Motion - Motion to Approve - Lake Hinsdale Park Renovation: Payout #3 - Final Payment - George's Landscaping, Inc. (APPROVE)
- k. Proclamation - A Proclamation Recognizing the Week of May 21<sup>st</sup> Through May 27<sup>th</sup>, 2017 as National Emergency Medical Services (EMS) Week Within the Village of Willowbrook (APPROVE)
- l. Proclamation - A Proclamation Recognizing the Week of April 9<sup>th</sup> Through April 15<sup>th</sup>, 2017 as National Public Safety Telecommunicators Week Within the Village of Willowbrook (APPROVE)
- m. Plan Commission Recommendation - Public Hearing No. 17-01: Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approve of a Plat of Subdivision to consolidate the two-lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code - The Chicago Gun Club, Illinois Route 83 Frontage Road and 79<sup>th</sup> Street (RECEIVE)

Mayor Trilla asked the Board if there were any items to be removed from the Omnibus Vote Agenda. Trustee Davi requested that Item 5h be removed for separate vote.

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund to approve the Omnibus Vote Agenda as amended.



ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

MOTION: Made by Trustee Kelly and seconded by Trustee Oggerino to adopt Item 5h - Resolution No. 17-R-23 as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSTENTIONS: Trustee Davi. ABSENT: None.

MOTION DECLARED CARRIED

NEW BUSINESS

6. RESOLUTION - A RESOLUTION AUTHORIZING THE VILLAGE ADMINISTRATOR'S ACCEPTANCE OF PROJECT CHANGE ORDER NO. 35 - THE INSTALLATION OF VIDEO AND AUDIO EQUIPMENT WITHIN INTERVIEW ROOMS - POLICE BUILDING EXPANSION/RENOVATION PROJECT AND RATIFYING AND CONFIRMING THE VILLAGE ADMINISTRATOR'S PRIOR EXECUTION OF SAID CHANGE ORDER

Administrator Halik advised that as of this date, change orders have totaled approximately 4.1% of construction costs, or a sum of \$129,000. Renovation change orders for an existing building can typically reach 5% of construction costs.

Administrator Halik related that this change order is an additional cost of \$29,482 to install video and audio equipment within three (3) interview rooms in the police building. This equipment is required by state law and was inadvertently omitted from the security and communication consultant's bid documents.

MOTION: Made by Trustee Mistele and seconded by Trustee Davi to adopt Resolution No. 17-R-24 as presented.

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRIOR BUSINESS

7. COMMITTEE REPORTS

Trustee Neal had no report.

Trustee Kelly had no report.

Trustee Mistele had no report.

Trustee Berglund had no report.

Trustee Davi had no report.

Trustee Oggerino had no report.

8. ATTORNEY'S REPORT

Attorney Bastian had no report.

9. CLERK'S REPORT

Clerk Hansen had no report.

10. ADMINISTRATOR'S REPORT

Administrator Halik advised that the next Village Board meeting on April 24<sup>th</sup> may be relocated to Ashton Place due to the expected increase in attendance by residents because of the Gun Club proposal.

11. MAYOR'S REPORT

Mayor Trilla congratulated Clerk Hansen, and Trustees Davi, Kelly, and Mistele on their reelection victories.

12. CLOSED SESSION

Mayor Trilla stated that there was no need for Closed Session during tonight's meeting.

13. ADJOURNMENT

MOTION: Made by Trustee Mistele and seconded by Trustee Berglund, to adjourn the Regular Meeting at the hour of 6:55 p.m.

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Village Board Minutes  
April 10, 2017

ROLL CALL VOTE: AYES: Trustees Berglund, Davi, Kelly, Mistele, Neal, and Oggerino. NAYS: None. ABSENT: None.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED.

April 24, 2017.

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Mayor

Minutes transcribed by Deputy Clerk Cindy Stuchl.

## WARRANTS

April 24, 2017

GENERAL CORPORATE FUND	-----	\$70,813.33
WATER FUND	-----	126,013.74
HOTEL/MOTEL TAX FUND	-----	32,787.55
WATER CAPITAL IMPROVEMENT FUND	-----	4,904.87
DEBT SERVICE FUND	-----	344.50
L.A.F.E.R FUND	-----	23,274.27
 TOTAL WARRANTS	 -----	 \$258,138.26

  
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 Carrie Dittman, Director of Finance

APPROVED:

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 Frank A. Trilla, Mayor

CHECK DISBURSEMENT REPORT FOR WILLOWBROOK  
CHECK DATE FROM 04/12/2017 - 04/25/2017

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/14/2017	APCHK	90346	ADV 4/20/17	DEBBIE HAHN	COMMODITIES	670-331	30	300.00
04/19/2017	APCHK	90347	4-26-17 MTG	FBINAA - ILLINOIS CHAPTER	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	50.00
04/19/2017	APCHK	90348#	17 SPR BRUSH 17 SPR BRUSH	U.S. POSTMASTER	FAMILY SPECIAL EVENT - RACE - CRED POSTAGE & METER RENT	585-154 710-311	20 35	(52.56) 408.96
				CHECK APCHK 90348 TOTAL FOR				356.30
04/25/2017	APCHK	43(E)	150632MHS APR17	PCS CLOUD SOLUTIONS	EDP LICENSES	615-263	25	120.35
04/25/2017	APCHK	90349	9943503213	AIRGAS USA LLC	EQUIPMENT RENTAL	750-290	35	77.05
04/25/2017	APCHK	90350#	48947 48946	AMERICAN FIRST AID SERVICE I	OPERATING EQUIPMENT MAINTENANCE - PW BUILDING	630-401 725-418	30 35	29.50 43.85
				CHECK APCHK 90350 TOTAL FOR				73.35
04/25/2017	APCHK	90351	24248 MAR17 24248 MAR17	AMERICAN TRAFFIC SOLUTIONS	RED LIGHT - CAMERA FEES RED LIGHT - MISC FEE	630-247 630-249	30 30	13,485.00 2,542.50
				CHECK APCHK 90351 TOTAL FOR				16,027.50
04/25/2017	APCHK	90352	7/14/17	AMG/SOUND MEMORIES	FAMILY SPECIAL EVENT - MOVIE NIGHT	585-151	20	447.50
04/25/2017	APCHK	90354	130682 130703 130714 130732 130730 130734 130740 130743 130745 130767 130775 130786 130792 130797	B & E AUTO REPAIR & TOWING	MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES MAINTENANCE - VEHICLES	630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409 630-409	30 30 30 30 30 30 30 30 30 30 30 30 30 30	57.07 868.48 71.55 57.07 57.07 83.60 57.07 464.45 57.07 57.07 777.55 23.00 833.01 100.00
				CHECK APCHK 90354 TOTAL FOR				3,564.06
04/25/2017	APCHK	90355	130806	B & E AUTO REPAIR & TOWING	MAINTENANCE - VEHICLES	630-409	30	85.00
04/25/2017	APCHK	90356	13694 APR 17	BLACK GOLD SEPTIC	MAINTENANCE - PW BUILDING	725-418	35	310.00

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/25/2017	APCHK	90357	234424 234693	BUTTREY RENTAL SERVICE, INC.	EQUIPMENT RENTAL - REIMB. EQUIPMENT RENTAL	750-290 750-290	35 35	335.50 374.00 <u>709.50</u>
04/25/2017	APCHK	90358**	12144321139753 APR 12144321139753 APR	CALL ONE INC	PHONE - TELEPHONES PHONE - TELEPHONES	455-201 630-201	10 30	158.06 28.89 <u>186.95</u>
04/25/2017	APCHK	90359	3/1/17-3/31/17	CHICAGO SUN-TIMES, INC	PRINTING & PUBLISHING	610-302	25	36.50
04/25/2017	APCHK	90360**	135573 135572 135574 135586 135568 135569 135571 135575 135576	CHRISTOPHER B. BURKE	PLAN REVIEW - ENGINEER - REIMB. PLAN REVIEW - ENGINEER - REIMB. PRINTING & PUBLISHING FEES - ENGINEERING FEES - ENGINEERING FEES - DRAINAGE ENGINEER - REIMB. FEES - DRAINAGE ENGINEER - REIMB. PLAN REVIEW - DRAINAGE ENGINEER - PLAN REVIEW - DRAINAGE ENGINEER	520-254 520-254 550-302 720-245 720-245 820-246 820-246 820-259 820-259	15 15 20 35 35 40 40 40 40	220.00 110.00 1,299.37 2,236.00 1,069.49 615.00 450.00 309.50 364.50 <u>6,673.86</u>
04/25/2017	APCHK	90361	3283 APR 17	CITY WIDE OF ILLINOIS	MAINTENANCE - BUILDING	466-228	10	2,515.74
04/25/2017	APCHK	90362**	7494249014 APR 17 0423085170 APR 17 6863089003 APR 17 0791026027 APR17 7432089030 APR 17 4403140110 APR17	COMMONWEALTH EDISON	ENERGY/COMED (835 MIDWAY) RED LIGHT - COM ED RED LIGHT - COM ED RED LIGHT - COM ED ENERGY - STREET LIGHTS ENERGY - STREET LIGHTS	466-240 630-248 630-248 630-248 745-207 745-207	10 30 30 30 35 35	201.09 46.03 31.28 39.04 436.44 46.37 <u>800.25</u>
04/25/2017	APCHK	90363	7235	CUSTOM METAL PRODUCTS LLC	MAINTENANCE - VEHICLES	630-409	30	285.00
04/25/2017	APCHK	90364	MTG 4-5-17	CYNTHIA STUHL	SCHOOLS/CONFERENCES/TRAVEL	455-304	10	37.39
04/25/2017	APCHK	90365	APR-63108	DATAMATION IMAGING SERVICES	DOCUMENT STORAGE/SCANNING	815-267	40	5,300.00
04/25/2017	APCHK	90366#	743489 MAR17 743489 MAR17	DISCOVERY BENEFITS SIMPLIFY	EMP DEP PAY - FSA FEE HEALTH/DENTAL/LIFE INSURANCE	210-221 455-141	00 10	46.20 3.80

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
CHECK APCHK 90366 TOTAL FOR								
04/25/2017	APCHK	90368#	9863	DUPAGE MAYORS AND MGRS. CONF	SCHOOLS/CONFERENCES/TRAVEL	410-304	05	50.00
			9863		SCHOOLS/CONFERENCES/TRAVEL	455-304	10	40.00
CHECK APCHK 90368 TOTAL FOR								
04/25/2017	APCHK	90370	4-28-17	F.I.A.T.	SCHOOLS/CONFERENCES/TRAVEL	630-304	30	80.00
CHECK APCHK 90371 TOTAL FOR								
04/25/2017	APCHK	90371	257112	FIRESTONE TIRE & SERVICE	MAINTENANCE - VEHICLES	630-409	30	493.72
			257110		MAINTENANCE - VEHICLES	630-409	30	493.72
			257111		MAINTENANCE - VEHICLES	630-409	30	493.72
			257241		MAINTENANCE - VEHICLES	630-409	30	718.40
			255894		MAINTENANCE - VEHICLES	630-409	30	1,062.23
CHECK APCHK 90371 TOTAL FOR								
04/25/2017	APCHK	90372	5142.900-3	GEWALT HAMILTON ASSOCIATES I	PLAN REVIEW - TRAFFIC CONSULTANT	520-258	15	3,261.79
CHECK APCHK 90373 TOTAL FOR								
04/25/2017	APCHK	90373	15477	H AND R CONSTRUCTION INC.	MAINTENANCE - SAW MILL CREEK	750-329	35	2,184.00
			15478		OPERATING SUPPLIES	755-331	35	2,470.50
CHECK APCHK 90374 TOTAL FOR								
04/25/2017	APCHK	90374	173878	HEAT ENGINEERING CO	MAINTENANCE - BUILDING	466-228	10	450.00
CHECK APCHK 90375 TOTAL FOR								
04/25/2017	APCHK	90375#	2031770	HOME DEPOT CREDIT SERVICES	MAINTENANCE - BUILDING	466-228	10	137.00
			9171112		MAINTENANCE - GARAGE	725-413	35	34.98
			7020697		STREET & ROW MAINTENANCE	750-328	35	137.73
CHECK APCHK 90375 TOTAL FOR								
04/25/2017	APCHK	90376	50966 APR 17	HR SIMPLIFIED	HEALTH/DENTAL/LIFE INSURANCE	455-141	10	309.71
04/25/2017	APCHK	90377	REIMB 171182-01	I.R.M.A.	MAINTENANCE - VEHICLES	630-409	30	100.00
04/25/2017	APCHK	90378	1N275827	IMPACT NETWORKING LLC	OFFICE SUPPLIES	455-301	10	88.00
04/25/2017	APCHK	90379*#	248245	INDUSTRIAL ELECTRICAL SUPPL	BUILDING MAINTENANCE SUPPLIES	466-351	10	450.86
04/25/2017	APCHK	90381	60/MAR 17	KING CAR WASH	FUEL/MILEAGE/WASH	630-303	30	370.50
04/25/2017	APCHK	90382	9003395432	KONICA MINOLTA BUSINESS SOLU	COPY SERVICE	455-315	10	325.00
04/25/2017	APCHK	90383	1-118508	LA FASTENERS INC	STREET & ROW MAINTENANCE	750-328	35	206.82
CHECK APCHK 90383 TOTAL FOR								
04/25/2017	APCHK	90383	1-118508	LA FASTENERS INC	STREET & ROW MAINTENANCE	750-328	35	14.39

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Fund: 01 GENERAL FUND								
			1-118358	CHECK APCHK 90383 TOTAL FOR	STREET & ROW MAINTENANCE	750-328	35	9.51
								23.90
04/25/2017	APCHK	90384	MARCH 2017	LAW OFFICES STORINO RAMELLO&	FEES - VILLAGE ATTORNEY	470-239	10	6,570.42
04/25/2017	APCHK	90386	28597312017 APR17	MOTOROLA SOLUTIONS INC	PHONE - TELEPHONES	630-201	30	68.00
04/25/2017	APCHK	90387#	954796110002 MAR17	NICOR GAS	NICOR GAS (7760 QUINCY)	466-235	10	576.02
			20624315113 MAR17		NICOR GAS (835 MIDWAY)	466-236	10	359.66
			68455237617 MAR17		NICOR GAS (825 MIDWAY)	466-237	10	7.37
			63406845402 MAR17		NICOR GAS (825 MIDWAY)	466-237	10	177.64
			92553430791 MAR17		NICOR GAS (825 MIDWAY)	466-237	10	243.86
			39303229304 MAR17		NICOR GAS	729-415	35	303.76
				CHECK APCHK 90387 TOTAL FOR				1,668.31
04/25/2017	APCHK	90388	27583483 APR17	ORKIN EXTERMINATING	MAINTENANCE - BUILDING	466-228	10	89.86
04/25/2017	APCHK	90389	172087	P.F. PETTIBONE & CO.	PRINTING & PUBLISHING	630-302	30	165.35
			172066		PRINTING & PUBLISHING	670-302	30	12.80
				CHECK APCHK 90389 TOTAL FOR				178.15
04/25/2017	APCHK	90390	2017 MEDALS/RIBBON	PLAQUES PLUS, INC.	FAMILY SPECIAL EVENT - RACE	585-154	20	545.00
04/25/2017	APCHK	90391	05715997	POSITIVE PROMOTIONS INC	COMMODITIES	670-331	30	314.93
04/25/2017	APCHK	90392	90119	PUBLIC SAFETY DIRECT INC	MAINTENANCE - VEHICLES	630-409	30	100.00
04/25/2017	APCHK	90393**#	15229	RAGS ELECTRIC, INC	MAINTENANCE - STREET LIGHTS	745-223	35	244.50
04/25/2017	APCHK	90394	17013-201703058	RATHS, RATHS & JOHNSON, INC.	PLAN REVIEW - STRUCTURAL - REIMB.	820-255	40	1,150.00
04/25/2017	APCHK	90395	1720444	RAY O'HERRON CO., INC.	AMMUNITION	630-346	30	352.00
			1712334		AMMUNITION	630-346	30	150.00
				CHECK APCHK 90395 TOTAL FOR				502.00
04/25/2017	APCHK	90396	782711	ROCK RIVER ARMS INC	OPERATING EQUIPMENT	630-401	30	30.00
04/25/2017	APCHK	90397	17 ICC DUES	ROY GIUNTOLI	FEES/DUES/SUBSCRIPTIONS	810-307	40	55.00
04/25/2017	APCHK	90398#	786372334 MAR17	SATELLITE PHONE STORE	PHONE - TELEPHONES	455-201	10	65.76
			786372334 MAR17		PHONE - TELEPHONES	630-201	30	65.76
				CHECK APCHK 90398 TOTAL FOR				131.52



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Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 01 GENERAL FUND								
04/25/2017	APCHK	90399	7305096 7320361	SERVICE SANITATION INC	RENT - EQUIPMENT	570-234	20	51.44
				CHECK APCHK 90399 TOTAL FOR	RENT - EQUIPMENT	570-234	20	160.00
								211.44
04/25/2017	APCHK	90400*#	8043805803	STAPLES	OFFICE SUPPLIES	455-301	10	42.03
			8043805803		COMMISSARY PROVISION	455-355	10	49.99
			8043805803		OFFICE SUPPLIES	510-301	15	129.99
			8043805803		OFFICE SUPPLIES	610-301	25	129.68
				CHECK APCHK 90400 TOTAL FOR				351.69
04/25/2017	APCHK	90401	IN485960	SUBURBAN DOOR CHECK & LOCK S	MAINTENANCE - BUILDING	466-228	10	63.80
04/25/2017	APCHK	90402	2017-058	SUNSET SEWER & WATER	STORM WATER IMPROVEMENTS MAINTENAN	750-381	35	4,037.23
04/25/2017	APCHK	90403#	TG5 MAR 17	TAMELING GRADING	LANDSCAPE MAINTENANCE SERVICES	565-342	20	270.00
			TG5 MAR 17		STREET & ROW MAINTENANCE	750-328	35	440.00
			TG5 MAR 17		STORM WATER IMPROVEMENTS MAINTENAN	750-381	35	135.00
				CHECK APCHK 90403 TOTAL FOR				845.00
04/25/2017	APCHK	90404	114792	TAMELING INDUSTRIES	STREET & ROW MAINTENANCE	750-328	35	299.43
			115052		STREET & ROW MAINTENANCE	750-328	35	76.10
				CHECK APCHK 90404 TOTAL FOR				375.53
04/25/2017	APCHK	90406	17-1020 17-1095	THOMPSON ELEV. INSPECT. SERV	ELEVATOR INSPECTION - REIMB.	830-117	40	43.00
					ELEVATOR INSPECTION	830-117	40	344.00
				CHECK APCHK 90406 TOTAL FOR				387.00
04/25/2017	APCHK	90407	835908023	THOMSON REUTERS - WEST	FEES/DUES/SUBSCRIPTIONS	630-307	30	147.00
04/25/2017	APCHK	90408	835957264	THOMSON WEST	FEES/DUES/SUBSCRIPTIONS	630-307	30	804.00
04/25/2017	APCHK	90409	17 UNIFORMS	TIMOTHY KOBLER	UNIFORMS	630-345	30	12.95
04/25/2017	APCHK	90410	54071	TOM & JERRY'S SHELL SERVICES	MAINTENANCE - VEHICLES	735-409	35	218.75
04/25/2017	APCHK	90411	7343	TRITON ELECTRONICS INC	MAINTENANCE - VEHICLES	630-409	30	336.00
04/25/2017	APCHK	90414#	0611038134 0611035216	UNIFIRST	MAINTENANCE - BUILDING	466-228	10	241.25
					MAINTENANCE - PW BUILDING	725-418	35	87.09

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Fund: 01 GENERAL FUND								
04/25/2017	APCHK	90415*#	9783107548 APR 17	VERIZON WIRELESS	PHONE - TELEPHONES	410-201	05	62.62
			9783107548 APR 17		PHONE - TELEPHONES	455-201	10	24.21
			9783107548 APR 17		PHONE - TELEPHONES	630-201	30	830.98
			9783107548 APR 17		TELEPHONES	710-201	35	164.40
			9783107548 APR 17		TELEPHONES	810-201	40	102.12
				CHECK APCHK 90415 TOTAL FOR				1,184.33
04/25/2017	APCHK	90416	26312 APR 17	WILD GOOSE CHASE INC	LANDSCAPE MAINTENANCE SERVICES	565-342	20	960.00
04/25/2017	APCHK	90418	PRIBLE 4/26/17	WLBK BURR RIDGE CHAMBER OF C	SCHOOLS/CONFERENCES/TRAVEL	810-304	40	27.00
				Total for fund 01 GENERAL FUND				70,813.33
Fund: 02 WATER FUND								
04/25/2017	APCHK	42(E)	11718 MAR 17	DUPAGE WATER COMMISSION	PURCHASE OF WATER	420-575	50	120,043.20
04/25/2017	APCHK	90353	826930710 APR 17	AT & T MOBILITY	PHONE - TELEPHONES	401-201	50	62.01
04/25/2017	APCHK	90358*#	12144321139753 APR	CALL ONE INC	PHONE - TELEPHONES	401-201	50	214.91
04/25/2017	APCHK	90362*#	4651111049 APR17	COMMONWEALTH EDISON	ENERGY - ELECTRIC PUMP	420-206	50	1,033.93
			5071072051 MAR17		ENERGY - ELECTRIC PUMP	420-206	50	1,338.15
				CHECK APCHK 90362 TOTAL FOR				2,372.08
04/25/2017	APCHK	90369	17-132310 FEB 17	ETP LABS INC	SAMPLING ANALYSIS	420-362	50	90.00
			17-132369 MAR 17		SAMPLING ANALYSIS	420-362	50	90.00
				CHECK APCHK 90369 TOTAL FOR				180.00
04/25/2017	APCHK	90379*#	248439	INDUSTRIAL ELECTRICAL SUPPL	REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	36.72
			248438		REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	147.73
				CHECK APCHK 90379 TOTAL FOR				184.45
04/25/2017	APCHK	90385	30382	MARQUARDT PRINTING CO.	OFFICE SUPPLIES	401-301	50	207.00
04/25/2017	APCHK	90393*#	15222	RAGS ELECTRIC, INC	WELLHOUSE REPAIRS & MAIN - WB EXEC	425-474	50	1,810.02
			15227		REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	150.00
			15228		REPAIRS & MAINTENANCE-STANDPIPE/PU	425-485	50	310.94
				CHECK APCHK 90393 TOTAL FOR				2,270.96

Check Date	Bank	Check #	Invoice	Payee	Description	Account	Dept	Amount
Fund: 02 WATER FUND								
04/25/2017	APCHK	90400*#	8043805803	STAPLES	OFFICE SUPPLIES	401-301	50	9.69
04/25/2017	APCHK	90413	21046		UNDERGROUND PIPE & VALVE, CO MATERIAL & SUPPLIES - DISTRIBUTION	430-476	50	305.04
04/25/2017	APCHK	90415*#	9783107548	APR 17	VERIZON WIRELESS	401-201	50	164.40
					Total for fund 02 WATER FUND			126,013.74
Fund: 03 HOTEL/MOTEL TAX FUND								
04/25/2017	APCHK	90367	3365 NOV 16	DUPAGE CONVENTION	FEE DUES SUBSCRIPTIONS	401-307	53	1,000.00
			3366 DEC 16		FEE DUES SUBSCRIPTIONS	401-307	53	1,000.00
			3367 JAN 17		FEE DUES SUBSCRIPTIONS	401-307	53	1,000.00
			3368 FEB 17		FEE DUES SUBSCRIPTIONS	401-307	53	1,000.00
			3369 MAR 17		FEE DUES SUBSCRIPTIONS	401-307	53	500.00
			3370		ADVERTISING	435-317	53	28,287.55
				CHECK APCHK 90367 TOTAL FOR				32,787.55
Fund: 09 WATER CAPITAL IMPROVEMENTS FUND								
04/25/2017	APCHK	90360*#	135567	CHRISTOPHER B. BURKE	WATER TANK REPAIRS	440-604	65	4,904.87
					Total for fund 09 WATER CAPITAL IMPROVEMENTS F			4,904.87
Fund: 11 DEBT SERVICE FUND								
04/25/2017	APCHK	90412	WLB5 2017	UMB BANK N.A.	BOND ISSUANCE COSTS	550-404	70	344.50
					Total for fund 11 DEBT SERVICE FUND			344.50
Fund: 14 LAND ACQUISITION, FACILITY, EXPANSION &								
04/25/2017	APCHK	90360*#	135570	CHRISTOPHER B. BURKE	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	414.00
04/25/2017	APCHK	90380	49334 MAR 17	INTERGRATED PROJECT MANAGMEN	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	6,615.00
04/25/2017	APCHK	90405	INI05741	TESTING SERVICE CORPORATION	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	5,355.59
04/25/2017	APCHK	90417	17698 MAR 17	WILLIAMS ARCHITECTS	POLICE DEPT REMODEL (7760 QUINCY)	930-411	75	10,889.68
					Total for fund 14 LAND ACQUISITION, FACILITY,			23,274.27
				TOTAL - ALL FUNDS				258,138.26

'\*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND  
 '#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF WILLOWBROOK AND ROBERT J. PAVELCHIK, JR. AS ITS CHIEF OF POLICE

AGENDA NO. **5d**

AGENDA DATE: 4/24/17

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: 

LEGAL REVIEW: Thomas Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Mayor Frank Trilla

SIGNATURE: 

REVIEWED & APPROVED BY COMMITTEE: YES ☐ NO ☐ N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

Mayor Trilla hereby appoints Robert J. Pavelchik, Jr. to the position of Chief of Police, effective after Chief Shelton retires in July of 2017. The attached Agreement provides terms for employment between Mr. Pavelchik and the Village to serve in the capacity of Chief of Police.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Chief Pavelchik previously served as the Chief of Police for the Village of Villa Park, and prior to that, the Chief of Police for the City of Darien. He holds a Master of Arts degree in police psychology from the Adler School of Professional Psychology, Chicago, and is a 2005 graduate of the FBI National Academy in Quantico, Virginia. He is a member of the International Association of Chiefs of Police, Illinois Association of Chiefs of Police, and the DuPage County Chiefs of Police Association. He is former Policy Board Chairman of the DuPage Metropolitan Enforcement Group (Narcotics Task Force), and Executive Board Chairman of the Felony Investigative Assistance Team. He also served as a policy board member on the DuPage County Major Crimes Task Force. He continues to serve as an adjunct instructor of criminal justice for the College of DuPage, Glen Ellyn. His volunteer experience includes the Knights of Columbus, Naperville, and the Rotary Club of Villa Park.

Chief Pavelchik will start on June 6, 2017. He will then work from that time through July 14, 2017 to work with the Village police department's administrative staff to familiarize himself with the department, its policies, procedures, and acquaint himself with police department personnel in an effort to ensure an orderly transition to the office of police chief. Effective July 15, 2017, Chief Pavelchik will assume all duties of the office of Chief of Police of the Village.

### ACTION PROPOSED:

Confirm the Mayor's appointment of Robert J. Pavelchik, Jr. and adopt a resolution authorizing the acceptance and execution of the Employment Agreement.

RESOLUTION NO. 17-R-\_\_\_\_\_

A RESOLUTION AUTHORIZING THE MAYOR AND VILLAGE CLERK  
TO ENTER INTO AN EMPLOYMENT AGREEMENT BETWEEN THE VILLAGE OF  
WILLOWBROOK AND ROBERT J. PAVELCHIK, JR. AS ITS CHIEF OF POLICE

---

**WHEREAS**, the Village of Willowbrook has retained the services of ROBERT J. PAVELCHIK, JR. as its CHIEF OF POLICE; and,

**WHEREAS**, the Mayor and Board of Trustees of the Village of Willowbrook have determined that it is in the best interests of the Village to enter into an Employment Agreement with ROBERT J. PAVELCHIK, JR. to define the services to be rendered, and the compensation to be paid for same, all in accordance with the copy of the Agreement attached hereto as Exhibit "A" and by this reference incorporated herein.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, that the Mayor is hereby authorized to execute and the Village Clerk is hereby directed to attest to the Agreement appended hereto as Exhibit "A", defining the Village's employment relationship with ROBERT J. PAVELCHIK, JR. as its CHIEF OF POLICE.

**ADOPTED AND APPROVED** on this 24<sup>th</sup> day of APRIL, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE:

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

## **EMPLOYMENT AGREEMENT**

**THIS AGREEMENT**, made and entered into this 24<sup>th</sup> day of April, 2017, by and between the VILLAGE OF WILLOWBROOK, an Illinois municipal corporation (sometimes hereinafter referred to as the "VILLAGE") and ROBERT J. PAVELCHIK, JR. (sometimes hereinafter referred to as the "CHIEF OF POLICE"):

### **WITNESSETH:**

**WHEREAS**, the VILLAGE, to the extent permitted by law, desires to employ the services of ROBERT J. PAVELCHIK, JR. as the Chief of Police of the VILLAGE, as such position is provided for by the Village Code of Ordinances of the Village of Willowbrook; and,

**WHEREAS**, it is the desire of the VILLAGE to provide certain benefits, to establish certain conditions of employment and to set working conditions of ROBERT J. PAVELCHIK, JR. as the Chief of Police; and,

**WHEREAS**, ROBERT J. PAVELCHIK, JR. desires to be employed by the Village as CHIEF OF POLICE of the VILLAGE upon the terms and conditions hereinafter set forth.

**NOW, THEREFORE**, in consideration of the foregoing recitals and of the mutual covenants and promises hereinafter contained, the adequacy and sufficiency of which the parties acknowledge, the parties hereto agree as follows:

**SECTION ONE: EMPLOYMENT:** Subject to the terms and conditions of this Agreement, the VILLAGE agrees to appoint ROBERT J. PAVELCHIK, JR. to the



office of CHIEF OF POLICE of the VILLAGE to perform the functions and duties of said office in accordance with Title 5, Chapter 1, Section 5-1-4 of the Village Code of the Village of Willowbrook and any other ordinances, resolutions, rules and regulations, policies of the VILLAGE, and professional codes of ethics in effect as of the effective date of this Agreement, and those hereafter adopted or instituted by the VILLAGE as the case may be, pertaining to the duties and responsibilities of the Chief of Police. The CHIEF OF POLICE shall periodically attend such meetings and make such written and oral reports and recommendations as the Mayor or Village Administrator may require. The CHIEF OF POLICE shall report to and follow such directions as the Mayor or Village Administrator may from time to time provide, and he shall maintain regular office hours as may from time to time be approved by the Mayor or Village Administrator.

**SECTION TWO: TERM, EXTENSION & REVISION:** The term of this Agreement shall commence on June 6, 2017, and shall terminate on July 14, 2019, unless sooner terminated by operation of law, as otherwise provided for in this Agreement or pursuant to Title 2, Chapter 4, Section 2-4-8 of the Village Code of Ordinances of the Village of Willowbrook. For the period June 6, 2017 through July 14, 2017, Robert J. Pavelchik, Jr. shall be employed by the Village as a civilian employee of the police department and during the period June 6, 2017 through July 14, 2017, ROBERT J. PAVELCHIK, JR. shall work with the Village police department's administrative staff to familiarize himself with the department, its policies, procedures, and acquaint himself with police department personnel in an effort to ensure an orderly transition to the office of police chief. Effective July 15, 2017, ROBERT J. PAVELCHIK, JR. shall assume all



duties of the office of Chief of Police of the Village. The parties hereby agree that the said term of employment set forth herein may, by executed, written Addendum to this Agreement, be extended for an additional period not to exceed sixty (60) calendar days following the date of termination of this Agreement. Any such sixty (60) day extension of this Agreement shall be executed by the Mayor upon majority vote of the Village Board of Trustees. In the absence of any such extension or new employment agreement, the employment of ROBERT J. PAVELCHIK, JR. as CHIEF OF POLICE shall, without more, terminate on July 14, 2019.

**SECTION THREE: TERMINATION AND SEVERANCE PAY:**

A. It is expressly understood and agreed that Title 12, Chapter 2, of the Village Code of Ordinances of the Village of Willowbrook shall not apply to the employment position of CHIEF OF POLICE of the VILLAGE and it is further expressly understood and agreed that the employment position of CHIEF OF POLICE is not subject to the jurisdiction of the Board of Police Commissioners of the Village of Willowbrook.

B. Notwithstanding any provision in this Agreement to the contrary, the VILLAGE shall have the absolute right to terminate the services of the CHIEF OF POLICE with or without cause at any time and for any reason whatsoever, and without any due process hearing that might be required by law or otherwise, subject only to Title 2, Chapter 4, Section 2-4-8 of the Village Code of Ordinances of the Village of Willowbrook and subparagraph C of this Section Three.

For the purposes of this paragraph B, the following events shall be deemed to be cause for termination of the services of the CHIEF OF POLICE on the day of such occurrence:





1. Should the VILLAGE expressly terminate or otherwise remove the CHIEF OF POLICE from his position or substantially relieve the CHIEF OF POLICE of all of his responsibilities;
2. Should the VILLAGE, without the CHIEF OF POLICE'S consent, at any time during the term of this Agreement, reduce the salary or other benefits, financial or otherwise of the CHIEF OF POLICE in a greater percentage than that applicable across the board for all VILLAGE employees;
3. Should the VILLAGE, upon the written demand of the CHIEF OF POLICE, fail or refuse to comply with any terms of this Agreement; or,
4. Should the CHIEF OF POLICE resign or be terminated without cause, in accord with Title 2, Chapter 4, Section 2-4-8 of the Village Code of Ordinances following a recommendation by the corporate authorities that he resign.

C. If the CHIEF OF POLICE is terminated by the VILLAGE pursuant to the provisions of subparagraph B above, the VILLAGE agrees to pay the CHIEF OF POLICE as severance pay, within thirty (30) days of termination, a lump sum cash payment equal to three (3) months of the CHIEF OF POLICE'S annual salary at the time of termination. In addition, the VILLAGE agrees to maintain, in full force and effect and to the extent permitted by law, all benefits identified in Sections Eight and Ten of this Agreement for a period of three (3) months from and after the date of termination. Notwithstanding the foregoing, the VILLAGE shall not be obligated to pay the severance



pay and severance benefits provided for herein if any such termination is preceded by six (6) months prior written notice of termination to the CHIEF OF POLICE by the VILLAGE. The severance and benefit provisions of this subparagraph C do not apply should the Mayor and Board of Trustees elect not to renew this Agreement.

D. Notwithstanding the provisions contained in subparagraphs B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the CHIEF OF POLICE should the CHIEF OF POLICE abandon his position. The term "abandon his position" shall, for purposes of this agreement, mean actions by the CHIEF OF POLICE evidencing his voluntary, intentional relinquishment of the position. The term "abandon his position" shall not be interpreted to mean the CHIEF OF POLICE'S:

- Inability to perform the duties and responsibilities of his position due to illness or injury;
- Refusal to take any action or perform any duty or responsibility of his position due to his good faith belief that doing so would violate any law, ordinance, regulation, moral or ethical obligation; or
- Unauthorized or unexcused absence from Village Hall, unless such absence exceeds three (3) consecutive days.

In addition, it is expressly understood that this subparagraph is not intended to authorize the termination of the CHIEF OF POLICE due to differences in management style or philosophy. In the event of termination pursuant to abandonment as set forth in this subparagraph D, the VILLAGE shall not be obliged to pay the severance pay nor provide the severance benefits provided herein.



E. Notwithstanding the provisions contained in subparagraphs B and C above, the Village Mayor, subject to the advice and consent of the Board of Trustees of the VILLAGE, shall have the right to terminate the CHIEF OF POLICE should the CHIEF OF POLICE be convicted or found liable either criminally or administratively of an illegal act involving personal gain to himself or otherwise, dishonestly, or malfeasance if, in the opinion of the Village Mayor and Board of Trustees, such charge, as sustained, would reflect unfavorably upon the VILLAGE. In the event of such a termination, the VILLAGE shall not be obliged to pay the CHIEF OF POLICE the severance pay nor provide the benefits provided herein.

In the event the CHIEF OF POLICE shall be indicted or arrested for a violation of any criminal law or statute, which, in the opinion of the Mayor and Board of Trustees of the VILLAGE, would reflect unfavorably upon the VILLAGE, or in any way interfere with his ability to discharge the duties of his position, then the VILLAGE may request and, upon such a request, the CHIEF OF POLICE shall accept a leave of absence without pay pending a final determination of the criminal charges brought against the CHIEF OF POLICE. Should the CHIEF OF POLICE be cleared of all wrongdoing in connection therewith, either by a finding of not guilty or the charges being dropped or dismissed by the prosecuting authority, he shall be restored to his position, all amounts of pay withheld shall be promptly paid to him and all other benefits contemplated herein restored. Should the CHIEF OF POLICE plead or be found guilty of any such violation, or should any such violation be dismissed or otherwise compromised in consideration for testimony or other evidence, then the CHIEF OF POLICE shall forfeit his position as the Chief of Police of the VILLAGE OF WILLOWBROOK together with any right or privilege



attendant thereto, including the forfeiture of any back pay which may have been withheld subsequent to his indictment or arrest.

F. Notwithstanding any provision in this Agreement to the contrary, the CHIEF OF POLICE shall have the right to voluntarily resign any time from his position with the VILLAGE. In the event the CHIEF OF POLICE voluntarily resigns his position as CHIEF OF POLICE with the VILLAGE before the expiration of this Agreement, the CHIEF OF POLICE shall provide the VILLAGE no less than thirty (30) days prior written notice of his intent to resign. Further, having voluntarily resigned, the CHIEF OF POLICE shall not be entitled to severance pay or severance benefits as set forth in subparagraph C of this Section Three.

G. Notwithstanding the provisions contained in subparagraphs B and C above, the Mayor and Board of Trustees of the VILLAGE shall have the right to terminate the CHIEF OF POLICE should any complaint of sexual harassment filed against the CHIEF OF POLICE during the term of this Agreement be substantiated.

In the event of such termination, the VILLAGE shall not be obligated to pay the severance pay nor provide the benefits provided in this Agreement.

**SECTION FOUR: SALARY:** The VILLAGE agrees to pay the CHIEF OF POLICE for services rendered pursuant to this Agreement an annual base gross salary of ONE HUNDRED TWENTY THOUSAND DOLLARS (\$120,000.00) per year, minus all usual and customary payroll deductions, payable in installments at the same pay periods other employees of the VILLAGE are paid. The VILLAGE agrees to review and consider increasing CHIEF OF POLICE'S base salary in accordance with the salary guidelines set forth in the Village "Personnel Manual".



**SECTION FIVE: EXTENT OF SERVICES - OUTSIDE ACTIVITIES:**

The CHIEF OF POLICE shall devote his entire time, attention and energies to the VILLAGE'S business and that of the police department and shall not during the term of this Agreement be engaged in any other business or consulting activity whether or not such activity is pursued for gain, profit or other pecuniary advantage, without the expressed prior approval of the Village Mayor. For purposes of this Section, teaching shall not be considered a business or consulting activity.

**SECTION SIX: AUTOMOBILE:** The CHIEF OF POLICE'S duties require that he shall have the exclusive and unrestricted use at all time during his employment with the VILLAGE, of an automobile which shall be provided to him by the VILLAGE. Personal use of the automobile shall be consistent with the Village "Personnel Manual", as amended from time to time. The particular vehicle to be made available to the CHIEF OF POLICE shall be within the discretion of the Village Mayor.

The VILLAGE shall be responsible for paying for liability, property damage and comprehensive insurance, as well as for the purchase, operation, maintenance, repair and regular replacement of said automobile.

**SECTION SEVEN: EXPENSES:** The VILLAGE shall annually appropriate and budget an amount of money for the purpose of defraying the hereinafter detailed itemized expenses of the CHIEF OF POLICE, including but not limited to, business expenses, professional dues and subscriptions, educational expenses, travel expenses, registration fees, lodging and meals, etc., consistent with the rules and regulations contained in the VILLAGE'S Village "Personnel Manual" and "Expense Reimbursement Policy". In addition, the VILLAGE agrees to provide the CHIEF OF POLICE with an



annual clothing allowance for duty-related apparel in the amount of Seven Hundred Fifty Dollars (\$750.00). Expense reimbursement shall be in addition to the base salary of the CHIEF OF POLICE.

**SECTION EIGHT: BENEFITS:** The CHIEF OF POLICE shall have the option to elect to accept the health insurance benefits coverage typically afforded to other full-time Village employees and their dependents, including, major medical and dependents coverage, hospitalization, surgical and comprehensive medical, etc. as contained within the policies established by the VILLAGE in its Village "Personnel Manual".

**SECTION NINE: PERFORMANCE EVALUATION:** The Village Mayor shall establish an annual goal setting session and an annual evaluation session consistent with the VILLAGE "Personnel Evaluation Handbook".

**SECTION TEN: RETIREMENT BENEFIT:** The CHIEF OF POLICE shall be enrolled in the Illinois Municipal Retirement Fund (IMRF). The CHIEF OF POLICE shall be entitled to the same benefits and consideration granted by the VILLAGE with respect to all other employees as provided by law.

**SECTION ELEVEN: VACATION & SICK LEAVE:** The Village agrees to provide the CHIEF OF POLICE fifteen (15) vacation days per year throughout the term of this Agreement, as follows: Fifteen (15) days of vacation leave time shall be made available to the CHIEF OF POLICE upon the Agreement start date of June 6, 2017. An additional fifteen (15) days of vacation leave shall be made available to the CHIEF OF POLICE on July 15, 2018. Sick leave shall be provided for in accordance with the "Village Personnel Manual".



**SECTION TWELVE: RESIDENCY:** It is hereby acknowledged that ROBERT J. PAVELCHIK, JR. currently resides at [REDACTED]

The VILLAGE expressly acknowledges that his current residence is of such proximity to the VILLAGE that he can adequately perform all the duties of his office. During the term of this Agreement and any extensions thereof, the VILLAGE agrees that the CHIEF OF POLICE'S current residence shall be deemed to satisfy any future residency requirements that the VILLAGE may adopt.

Notwithstanding the foregoing, the CHIEF OF POLICE agrees not to relocate his permanent residence a further distance from the corporate limits of the VILLAGE OF WILLOWBROOK than his current residence at [REDACTED] without the approval of the Mayor.

**SECTION THIRTEEN: GENERAL PROVISIONS:**

A. This Agreement sets forth the entire understanding of the parties and may only be amended, modified or terminated by a written instrument signed by the parties except as herein otherwise provided.

B. The CHIEF OF POLICE acknowledges that the services to be rendered by him are unique and personal. Accordingly, the CHIEF OF POLICE may not assign any of his rights or delegate any of his duties or obligations under this Agreement. This Agreement shall be binding upon and inure to the benefit of any successor governmental legal entity or successor elected VILLAGE officials which may assume and perform the duties of the VILLAGE and/or the elected officials thereof.

C. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of



competent jurisdiction to be unenforceable, that provision will be deemed severable and the Agreement may be enforced with that provision severed or as modified by a court of competent jurisdiction.

D. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

E. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

1. **VILLAGE at:**

Village Mayor  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527

**With a Copy to:**

Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, Illinois 60527

2. **CHIEF OF POLICE at:**

Robert J. Pavelchik, Jr.



3. To such other person or place which either party hereto by its prior written notice shall designate for notice to it from the other party hereto.

F. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

A handwritten signature in the bottom right corner of the page.



**SECTION FOURTEEN.** The CHIEF OF POLICE acknowledges that he has had the opportunity to review the terms of this Agreement with an attorney of his own choosing, prior to the execution of this Agreement.

**IN WITNESS WHEREOF**, the parties hereto have set their hands and seal this 27<sup>th</sup> day of April, 2017.

**VILLAGE OF WILLOWBROOK,  
an Illinois Municipal Corporation**

By: \_\_\_\_\_

**Village Mayor**

**ATTEST:**

\_\_\_\_\_  
**Village Clerk**

**CHIEF OF POLICE**

  
\_\_\_\_\_  
**Robert J. Pavelchik, Jr.**

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

MOTION TO APPROVE – POLICE RENOVATION PROJECT: PAYOUT #6 –  
PARTIAL PAYMENT, L.J. MORSE CONSTRUCTION COMPANY

AGENDA NO. 5e

AGENDA DATE: 4/24/17

STAFF REVIEW: Tim Halik, Village Administrator

SIGNATURE: 

LEGAL REVIEW: Thomas Bastain, Village Attorney

SIGNATURE: 

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: 

REVIEWED BY COMMITTEE: YES ☒ via telephone NO ☐ N/A ☐

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

At its regular meeting on October 10, 2016, the Village Board awarded a construction contract to L.J. Morse Construction Company to complete the expansion/renovation of the Village Police Building located at 7760 Quincy Street. Construction work began on October 19, 2016 and, since that time, various work has occurred including demolition, pouring of the addition foundation, underground plumbing, interior framing, electrical and plumbing rough-in, erection of CMU walls, roofing and HVAC demo, interior floor demolition, exterior masonry, the installation of drywall and ceiling grid, priming and painting, and the installation of low-voltage electrical. The project is currently ahead of schedule with an anticipated substantial completion date in June.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

Given this portion of work is now completed and paid by the contractor, a request for partial payment was received. The request was forwarded to the Architect of Record to review. Williams Architects has reviewed the request and has provided their approval of a partial payout in the amount of \$376,001.02. The release of the payment will be withheld pending receipt of a new partial waiver of lien from the general contractor, and trailing waivers from all sub-contractors. Also, copies of certified payroll accounting from each of the sub-contractors must be submitted as well. A copy of the Application and Certification for Payment for Payment #6 – Partial Payment Request is attached.

Staff would recommend that the Mayor and Board of Trustees authorize Payout #5 – Partial Payment to L.J. Morse Construction Company in the amount of \$376,001.02. The authorized payment amount would be expended from the following funds:

<u>FUND</u>	<u>ACCOUNT</u>	<u>DESCRIPTION</u>	<u>UNEXPENDED</u>
L.A.F.E.R.	14-75-930-411	Police Dept. Remodel	\$969,675.19
Gen Fund	01-10-485-643	9/11 Artifact Display	\$20,000.00
Gen Fund	01-10-485-602	Building Improvements	\$52,500.00

### ACTION PROPOSED:

Approve motion.

# Application and Certificate for Payment

**To Owner:** Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

**Project:** Willowbrook Police Facility  
Renovation/Expansion  
7760 Quincey Street  
Willowbrook, IL 60527

**Application No:** 6  
**Period To:** 3/31/2017  
**Contract For:** General Construction

**Contract Date:** 9/26/2016  
**Project Nos:** 2014-052

**From Contractor:** L.J. Morse Construction Co.  
128 S. Broadway  
Aurora, IL 60505

**Via Architect:** Williams Architects  
500 Park Boulevard  
Suite 800  
Itasca, IL 60143



## CONTRACTOR'S APPLICATION FOR PAYMENT

- 1) **ORIGINAL CONTRACT SUM** ..... \$3,152,000.00
- 2) Net change by Change Orders ..... \$127,340.00
- 3) **CONTRACT SUM TO DATE** ..... \$3,279,340.00
- 4) **TOTAL COMPLETED & STORED TO DATE** ..... \$2,307,549.30
- 5) **Retainage:**
  - a. Completed Work ..... \$230,754.93
  - b. Stored Material ..... \$0.00
- 6) **Total Retainage** ..... \$230,754.93
- 7) **Total Earned less Retainage** ..... \$2,076,794.37
- 8) **Less Previous Certificates for Payment** ..... \$1,700,793.35
- 9) **CURRENT PAYMENT DUE** ..... \$376,001.02
- 10) **Balance to Finish, including Retainage** ..... \$1,202,545.63

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

### CONTRACTOR:

By:  Date: 3/31/17  
State of: Illinois

County of: DeKalb

Subscribed and sworn to before me this 31st day of March 2017



Notary Public:   
My Commission expires: 3/24/2020

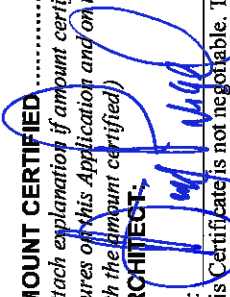
## ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

### AMOUNT CERTIFIED

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified)

### ARCHITECT:

By:  Date: 4/18/17  
This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

\$ 376,001.02

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	111,467.00	17,268.00
Total approved this Month	38,210.00	5,069.00
<b>TOTALS</b>	<b>149,677.00</b>	<b>22,337.00</b>
<b>NET CHANGES by Change Order</b>	<b>127,340.00</b>	

# CONTINUATION SHEET

## AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATE FOR PAYMENT, Containing Contractor's signed Certification, is attached.  
In tabulations below, amounts are stated to the nearest dollar.  
Use Column I on Contracts where variable retainage for line items may apply.

Application No: 6  
Application Date: 3/31/2017  
Period To: 3/31/2017  
Architect's Project No: 2014-052

A	B	C	D	E	F	G	H	I
ITEM No.	DESCRIPTION	SCHEDULED VALUE	WORK COMPLETED		STORED MATERIALS	TOTAL	%	RETAINAGE
			PREVIOUS	THIS PERIOD				
1	General Conditions	98,405.00	63,963.25	14,760.68	0.00	78,723.93	80	7,872.39
2	Site Layout/DLZ	6,850.00	5,480.00	0.00	0.00	5,480.00	80	548.00
3	Demolition/LJM	97,000.00	97,000.00	0.00	0.00	97,000.00	100	9,700.00
4	Excavating/Schwartz	72,000.00	27,879.82	0.00	0.00	27,879.82	39	2,787.98
5	Asphalt/Beverly	61,000.00	0.00	0.00	0.00	0.00	0	0.00
6	Site Utilities/Kane County	13,030.00	13,030.00	0.00	0.00	13,030.00	100	1,303.00
7	Concrete/Mid Valley	122,800.00	74,414.00	9,000.00	0.00	83,414.00	68	8,341.40
8	Masonry/Piazza	168,500.00	168,500.00	0.00	0.00	168,500.00	100	16,850.00
9	Brick Staining/NawKaw	33,257.00	0.00	0.00	0.00	0.00	0	0.00
10	Steel/Hillstone	84,000.00	74,250.00	0.00	0.00	74,250.00	88	7,425.00
11	Alum Carpet/Arming	77,250.00	4,119.18	0.00	0.00	4,119.18	5	411.92
12	Carpentry/LJM	133,103.00	99,000.00	8,000.00	0.00	107,000.00	80	10,700.00
13	Casework/Hearthland	55,070.00	0.00	41,302.50	0.00	41,302.50	75	4,130.25
14	Waterproofing/Kremer	6,400.00	6,400.00	0.00	0.00	6,400.00	100	640.00

## AIA DOCUMENT G703

**Application No:** 6  
**Application Date:** 3/31/2017  
**Period To:** 3/31/2017  
**Architect's Project No:** 2014-052

A	B	C	D	E	F	G	H	I
ITEM No.	DESCRIPTION	SCHEDULED VALUE	WORK COMPLETED		STORED MATERIALS	TOTAL	BALANCE	RETAINAGE
			PREVIOUS	THIS PERIOD				
			0.00	41,500.00				
15	Metal Wall Panels/Weisbrook	162,000.00			0.00	41,500.00	120,500.00	4,150.00
16	Roofing/JL Adler	242,200.00	194,620.00	0.00	0.00	194,620.00	47,580.00	19,462.00
17	Doors/Frames/Hdwr/LaForce	65,000.00	16,102.00	1,151.00	0.00	17,253.00	47,747.00	1,725.30
18	OH Coiling Doors/Amer Door&Dock	20,000.00	0.00	0.00	0.00	0.00	20,000.00	0.00
19	Glass/Glazing/Mark Ind	65,724.00	51,000.00	14,724.00	0.00	65,724.00	0.00	6,572.40
20	Drywall & ACT/LJM	203,859.00	193,700.00	10,159.00	0.00	203,859.00	0.00	20,385.90
21	Flooring/Douglas	147,500.00	29,500.00	52,103.97	0.00	81,603.97	65,896.03	8,160.40
22	Resinous Flooring/CCS	25,000.00	0.00	0.00	0.00	0.00	25,000.00	0.00
23	Painting/McGinness	28,500.00	10,500.00	12,500.00	0.00	23,000.00	5,500.00	2,300.00
24	Signage/Corpro	21,613.00	0.00	0.00	0.00	0.00	21,613.00	0.00
25	Toilet Part/Access/FEC/Comm Spec	12,500.00	0.00	0.00	0.00	0.00	12,500.00	0.00
26	Lockers/Bradford Systems	79,000.00	0.00	0.00	0.00	0.00	79,000.00	0.00
27	Window Treatments/Insolar	2,016.00	0.00	0.00	0.00	0.00	2,016.00	0.00
28	Sprinklers/Fire Control	20,000.00	12,000.00	0.00	0.00	12,000.00	8,000.00	1,200.00
29	Plumbing/Cryer & Olsen	125,000.00	95,000.00	9,000.00	0.00	104,000.00	21,000.00	10,400.00
30	HVAC/Design Mech	92,800.00	67,387.00	0.00	0.00	67,387.00	25,413.00	6,738.70

# CONTINUATION SHEET

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Period To: 3/31/2017  
Architect's Project No: 2014-052

A	B	C	D	E		F	G	H	I
ITEM No.	DESCRIPTION	SCHEDULED VALUE	WORK COMPLETED		STORED MATERIALS	TOTAL	%	BALANCE	RETAINAGE
			PREVIOUS	THIS PERIOD					
31	Electrical/Valley Elec	619,760.00	390,696.75	160,487.75	0.00	551,184.50	89	68,575.50	55,118.45
32	LJM Insurance	21,500.00	21,500.00	0.00	0.00	21,500.00	100	0.00	2,150.00
33	LJM Bonds	36,118.00	36,118.00	0.00	0.00	36,118.00	100	0.00	3,611.80
34	LJM OH/P	133,245.00	77,300.00	22,650.00	0.00	99,950.00	75	33,295.00	9,995.00
35	-----	0.00	0.00	0.00	0.00	0.00	***	0.00	0.00
36	CO# 1 PCO# 1 Rework due to demo	6,901.00	6,901.00	0.00	0.00	6,901.00	100	0.00	690.10
37	CO# 2 PCO# Carport Change	-7,453.00	-1,490.60	0.00	0.00	-1,490.60	20	-5,962.40	-149.06
38	CO# 3 PCO# 5 Plaster Reconst	13,562.00	13,562.00	0.00	0.00	13,562.00	100	0.00	1,356.20
39	CO# 4 PCO# 7 Add Exc/Stone	1,391.00	1,391.00	0.00	0.00	1,391.00	100	0.00	139.10
40	CO# 5 PCO# 8 DW/Frame Conf Rm	1,984.00	1,984.00	0.00	0.00	1,984.00	100	0.00	198.40
41	CO# 6 PCO# 9 Delete Conc Infills	-4,371.00	0.00	-4,371.00	0.00	-4,371.00	100	0.00	-437.10
42	CO# 7 PCO# 4 Plaque Logo	2,166.00	0.00	0.00	0.00	0.00	0	2,166.00	0.00
43	CO# 8 PCO# 6 Relocate Ductwork	1,999.00	1,999.00	0.00	0.00	1,999.00	100	0.00	199.90
44	CO# 9 PCO# 11 Borrowed Light Frame	720.00	720.00	0.00	0.00	720.00	100	0.00	72.00
45	CO# 10 PCO# 12 IC Cores	1,342.00	0.00	0.00	0.00	0.00	0	1,342.00	0.00

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Architect's Project No: 2014-052

A	B	C	D	E	F	G	H	I	
ITEM NO.	DESCRIPTION	SCHEDULED VALUE	WORK COMPLETED		STORED MATERIALS	TOTAL	%	BALANCE	RETAINAGE
			PREVIOUS	THIS PERIOD					
46	CO# 11 PCO# 13 RFI# 10 Dr 131A	2,119.00	2,119.00	0.00	0.00	2,119.00	100	0.00	211.90
47	CO# 12 PCO# 14 RFI# 19 Wall Location	1,665.00	1,665.00	0.00	0.00	1,665.00	100	0.00	166.50
48	CO# 13 PCO# 19 Delete Soffits	-194.00	-194.00	0.00	0.00	-194.00	100	0.00	-19.40
49	CO# 14 PCO# 20 Ext Doors	18,995.00	0.00	6,859.00	0.00	6,859.00	36	12,136.00	685.90
50	CO# 15 PCO# 21 Added Conduit	1,721.00	0.00	1,721.00	0.00	1,721.00	100	0.00	172.10
51	CO# 16 PCO# 18 RFI 28 Glass Wall	5,289.00	5,289.00	0.00	0.00	5,289.00	100	0.00	528.90
52	CO# 17 PCO# 22 RFI 28.1 DW Piers	528.00	528.00	0.00	0.00	528.00	100	0.00	52.80
53	CO# 18 PCO# 26 Coverbd Credit	-5,250.00	-5,250.00	0.00	0.00	-5,250.00	100	0.00	-525.00
54	CO# 19 PCO# 23 Floor Infill	13,213.00	13,213.00	0.00	0.00	13,213.00	100	0.00	1,321.30
55	CO# 20 PCO# 25 RFI 37 Floor Boxes	4,271.00	4,271.00	0.00	0.00	4,271.00	100	0.00	427.10
56	CO# 21 PCO# 28 FO#6 Outlet Chgs	383.00	383.00	0.00	0.00	383.00	100	0.00	38.30
57	CO# 22 PCO# 27 RTU Conduits	3,839.00	3,839.00	0.00	0.00	3,839.00	100	0.00	383.90
58	CO# 23 PCO# Ins @ Exist CMU Walls	3,073.00	3,073.00	0.00	0.00	3,073.00	100	0.00	307.30
59	CO# 24 PCO# 31 Insulate Exist Walls	6,308.00	6,308.00	0.00	0.00	6,308.00	100	0.00	630.80
60	CO# 25 PCO# 32 Locker Rm Floor	5,922.00	0.00	5,922.00	0.00	5,922.00	100	0.00	592.20
61	CO# 26 PCO# 34 Exhaust Fans	1,349.00	0.00	0.00	0.00	0.00	0	1,349.00	0.00

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Period To: 3/31/2017  
Architect's Project No: 2014-052

A	B	C	D	E		F	G	H	I
ITEM No.	DESCRIPTION	SCHEDULED VALUE	WORK COMPLETED		STORED MATERIALS	TOTAL	%	BALANCE	RETAINAGE
			PREVIOUS	THIS PERIOD					
62	CO# 27 PCO# 30 Artifact Rail	6,077.00	0.00	0.00	0.00	0.00	0	6,077.00	0.00
63	CO# 28 PCO# 37 4" Conduit ComEd	6,650.00	0.00	6,650.00	0.00	6,650.00	100	0.00	665.00
64	CO# 29 PCO# 16 RFI's 29/34	3,581.00	0.00	3,581.00	0.00	3,581.00	100	0.00	358.10
65	CO# 30 PCO# 35 Brick Replacmnt	2,040.00	0.00	2,040.00	0.00	2,040.00	100	0.00	204.00
66	CO# 31 PCO# 33 REV Pipe Bollards	1,616.00	0.00	1,616.00	0.00	1,616.00	100	0.00	161.60
67	CO# 32 PCO# 38 Change FDC	561.00	0.00	561.00	0.00	561.00	100	0.00	56.10
68	CO# 33 PCO# Credit Artifact Support	-5,069.00	0.00	-5,069.00	0.00	-5,069.00	100	0.00	-506.90
69	CO# 34 PCO# 41 Ext Masonry Patch	930.00	0.00	930.00	0.00	930.00	100	0.00	93.00
70	CO# 35 PCO# Added Cameras	29,482.00	0.00	0.00	0.00	0.00	0	29,482.00	0.00
		\$ 3,279,340.00	\$ 1,889,770.40	\$ 417,778.90	\$ 0.00	\$ 2,307,549.30	70%	\$ 971,790.70	\$ 230,754.93





# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:**

MOTION TO APPROVE - FY 2017-18 BUDGET

**AGENDA NO.**

5f

**AGENDA DATE:** 04/24/2017**STAFF REVIEW:** Carrie Dittman, Director of Finance**SIGNATURE:****LEGAL REVIEW:** Thomas Bastian, Village Attorney**SIGNATURE:**

THOMAS BASTIAN TH

**RECOMMENDED BY:** Timothy Halik, Village Administrator**SIGNATURE:****REVIEWED & APPROVED BY COMMITTEE:** YES ☐NO ☐N/A ☒**ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)**

We are pleased to present the FY 2017-18 Budget for your approval. The final budget incorporates all items discussed during the Board Budget Workshop held on March 20, 2017, including the four (4) discretionary items, along with subsequent budget related discussions. The Village's General Fund balance is now projected to be at \$3,619,086 at April 30, 2018, which represents **150 days** of operating reserves, which exceeds the target of 120 days.

The Village is required to comply with the State Appropriation Act and each year must adopt an appropriation ordinance. While the appropriation ordinance provides the Village legal authority to expend funds, the annual budget represents the Village's spending plan for the year. The appropriation ordinance must be passed within the first quarter of the fiscal year and a copy must be filed with the DuPage County Clerk within thirty (30) days of passage of the ordinance. The FY 2017-18 Appropriation Ordinance will be placed on the Board's agenda in June for consideration.

**ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)**

Staff will be submitting the FY 2017-18 Budget to the Government Finance Officers Association (GFOA) as part of our application for the Distinguished Budget Presentation Award at a later date.

**ACTION PROPOSED:** APPROVE THE MOTION

# VILLAGE OF WILLOWBROOK

## BOARD MEETING

### AGENDA ITEM - HISTORY/COMMENTARY

**ITEM TITLE:** A PROCLAMATION RECOGNIZING THE WEEK OF MAY 20<sup>TH</sup> THROUGH MAY 26<sup>TH</sup>, 2017 AS NATIONAL SAFE BOATING WEEK WITHIN THE VILLAGE OF WILLOWBROOK

**AGENDA NO.** 5g

**AGENDA DATE:** 4/24/17

**STAFF REVIEW:** Cindy Stuchl

**SIGNATURE:** Cindy Stuchl

**LEGAL REVIEW:** Thomas Bastian

**SIGNATURE:** THOMAS BASTIAN TH

**RECOMMENDED BY VILLAGE ADMIN.:**

**SIGNATURE:** TEHLO

**REVIEWED & APPROVED BY COMMITTEE:** YES ☐ NO ☐ N/A ☒

#### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER PERTINENT HISTORY)

For nearly 90 million Americans, boating continues to be a popular recreational activity. From coast to coast, and everywhere in between, people are taking to the water and enjoying time together boating, sailing, paddling, and fishing. During National Safe Boating Week, we want to bring special attention to this pastime and remind recreational boaters of a few tips to ensure that they and their loved ones are safe and responsible while exploring our nation's waterways.

Proper planning for a day of boating begins even before leaving the home. Getting a free vessel safety check and taking a safe boating course at the beginning of the boating season, filing a float plan with a trusted family member or friend, and checking the weather before boating are key steps to an enjoyable time boating. Every boater should wear a U.S. Coast Guard-approved life jacket at all times while boating. Drowning remains the number one cause of death for recreational boaters each year, and the majority of drowning victims in recreational boating accidents are not wearing a life jacket. Safe and responsible boating includes never operating a boat while under the influence of drugs or alcohol and knowing basic navigation rules.

Year-round, people continue to enjoy all that our nation's waterways have to offer through the joy of boating. National Safe Boating Week is observed to bring attention to important life-saving tips for recreational boaters so that they can have a safer, more fun experience out on the water.

#### ITEM COMMENTARY (BACKGROUND, DISCUSSION, KEY POINTS, RECOMMENDATIONS, ETC.)

None.

**ACTION PROPOSED:** APPROVE THE PROCLAMATION

# Village of Willowbrook

## Proclamation

**WHEREAS**, on average, 650 people die each year in boating-related accidents in the United States; approximately three-fourths of these are fatalities caused by drowning; and

**WHEREAS**, the vast majority of these accidents are caused by human error or poor judgement and not by the boat, equipment, or environmental factors; and

**WHEREAS**, a significant number of boaters who lose their lives by drowning each year would be alive today had they worn their life jackets; and

**WHEREAS**, today's life jackets are more comfortable, lightweight, and more wearable than styles of years past.

**NOW, THEREFORE, I, FRANK A. TRILLA**, Mayor of the Village of Willowbrook, do hereby support the goals of the North American Safe Coating Campaign and proclaim the week of May 20<sup>th</sup> through 26<sup>th</sup>, 2017 as National Safe Boating Week and the start of the year-round effort to promote safe boating and urge all those who boat to "Wear It!" and practice safe boating habits.

Proclaimed this 24<sup>th</sup> day of April, 2017.

**Attest:**

---

Mayor

---

Village Clerk





Frank Trilla  
Mayor  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60427

14 April 2017

Dear President Trilla:

My name is Ronald Carlson, Flotilla Commander of United States Coast Guard Auxiliary, Flotilla 25, which meets at the U.S.C.G. Marine Safety Unit in Willowbrook, IL.

The National Safe Boating Council (NSBC), in partnership with the U.S. Coast Guard and the National Association of State Boating Law Administrators (NASBLA), will launch the annual North American Safe Boating Campaign during National Safe Boating Week. The Campaign is designed to reach more than 70 million boaters around North America and communicates this year's lifesaving message. We are asking you to support this cause by the issuance of a proclamation in the effect proclaiming **May 20 – 26, 2017 as National Safe Boating Week for the Village of Willowbrook, IL.**

Life jackets can be the deterring factor between life and death in many boating safety accident. Each year, on average 700 people die in boating-related accidents, 8 out of 10 victims were not wearing a life jacket. According to Virgil Chambers, Executive Director of the National Safe Boating Council, "Thousands of people would be alive today had they taken the simple precaution of wearing a life jacket when they went out on the water.

In an effort to combat these statistics, we will again stress the importance of wearing life jackets. The Coast Guard has a goal to eliminate deaths, injuries and property damage associated with recreational boating. The Coast Guard and its partners are committed to a Safe Boating Campaign that reaches from shore to shore across the North American Continent. Our neighbors to the north, the Canadian Safe Boating Council and the Canadian Coast Guard will also observe Safe Boating Week on May 20-26, 2017. Boating Smart is an essential part of any day on the water regardless of where you boat.

Thank you in advance for your assistance in getting the word out on boating safety and the use of life jackets.

Respectfully,

A handwritten signature in black ink, appearing to read "Ronald B. Carlson".

Ronald B. Carlson  
Flotilla Commander  
Flotilla 095-37-25  
USCG Auxiliary  
708-717-6254 ©  
708-301-1436 (h)



# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

## Mayor

Frank A. Trilla

## Village Clerk

Leroy R. Hansen

## Village Trustees

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

## Village Administrator

Tim Halik

## Chief of Police

Mark Shelton

## Director of Finance

Carrie Dittman

March 29, 2017

CIASTKO, LESLIE  
6543 STOUGH ST  
WILLOWBROOK IL 60527

Re: Account 250320.006

PIN #: [REDACTED]

Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$181.68. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before April 24, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bill and all penalties thereon before water service will be reinstated.

You may pay your bill online by visiting [ww.willowbrookil.org](http://ww.willowbrookil.org) and select "Pay a Bill." You will need your account number and PIN as listed above. A convenience fee will apply.

If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

*T. J. Halik*

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

## Mayor

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Tim Halik

## Chief of Police

Mark Shelton

## Director of Finance

Carrie Dittman

March 29, 2017

ESPERANZA, GUZMAN  
617 68TH ST  
WILLOWBROOK, IL 60527

Re: Account 213420.000

PIN #: [REDACTED]

Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 185.35. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before April 24, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

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If you have any questions concerning your water bill, or if you wish to arrange a hearing before the Mayor and Board of Trustees to contest the termination of your water service, please contact me at the Village of Willowbrook by writing to 835 Midway Drive, Willowbrook, IL 60527 or call 630-323-8215 not later than five (5) days prior to the scheduled termination date.

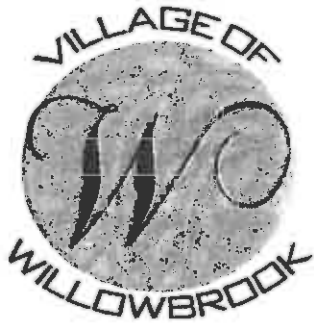
If you do not satisfy the bill or contact me, your water service will be automatically terminated.

Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway



EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

**Mayor**

Frank A. Trilla

**Village Clerk**

Leroy R. Hansen

**Village Trustees**

Sue Berglund

Umberto Davi

Terrence Kelly

Michael Mistele

Gayle Neal

Paul Oggerino

**Village  
Administrator**

Tim Halik

**Chief of Police**

Mark Shelton

**Director of  
Finance**

Carrie Dittman

March 29, 2017

SEGRETTO, ANTHONY  
6513 RODGERS DR  
WILLOWBROOK, IL 60527

Re: Account 250720.000

PIN #: [REDACTED]

Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 384.32. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before April 24, 2017, will result in the immediate termination of your water service.

Should your water service be terminated, Section 6-8-8 of the Village Code provides that a \$70.00 non-refundable reinstatement fee be charged. Said \$70.00 reinstatement fee shall be paid in addition to all delinquent bills and all penalties thereon before water service will be reinstated.

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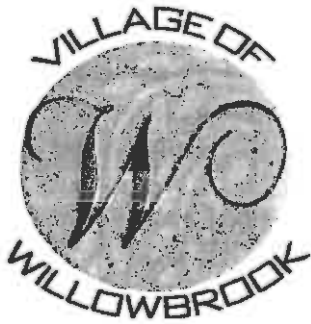
Sincerely,

Timothy J. Halik  
Director of Municipal Services



Proud Member of the  
Illinois Route 66 Scenic Byway





EST. 1960

# Willowbrook

835 Midway Drive  
Willowbrook, IL 60527-5549

Phone: (630) 323-8215 Fax: (630) 323-0787 [www.willowbrookil.org](http://www.willowbrookil.org)

## Mayor

Frank A. Trilla

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## Village Administrator

Tim Halik

## Chief of Police

Mark Shelton

## Director of Finance

Carrie Dittman



Proud Member of the  
Illinois Route 66 Scenic Byway

March 29, 2017

ZENNER, RICHARD  
125 WATERFORD DR  
WILLOWBROOK, IL 60527

Re: Account 250850.001

PIN #: [REDACTED]

Delinquent Water Bill

Dear Sir or Madam,

Please be advised that your water bill is now delinquent in the amount of \$ 213.66. This amount now includes a \$25.00 fee pursuant to Section 6-8-5 of the Village of Willowbrook Code. This \$25.00 is added to all accounts delinquent 45 or more days after the billing date. This amount also includes all other penalties pursuant to Section 6-8-5 of the Village Code. Your failure to satisfy the total amount of this delinquency on or before April 24, 2017, will result in the immediate termination of your water service.

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Sincerely,

Timothy J. Halik  
Director of Municipal Services

# VILLAGE OF WILLOWBROOK

## BOARD MEETING AGENDA ITEM - HISTORY/COMMENTARY

### ITEM TITLE:

AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE ~ PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET – THE CHICAGO GUN CLUB

### AGENDA NO.

7

### AGENDA DATE:

04/24/17

STAFF REVIEW: Anna Franco, Planning Consultant

SIGNATURE: Anna E. Franco

LEGAL REVIEW: Tom Bastian, Village Attorney

SIGNATURE: THOMAS BASTIAN TH.

RECOMMENDED BY: Tim Halik, Village Administrator

SIGNATURE: T. Halik

REVIEWED & APPROVED BY COMMITTEE:

YES ☐ NO ☐ N/A ☒

### ITEM HISTORY (PREVIOUS VILLAGE BOARD REVIEWS, ACTIONS RELATED TO THIS ITEM, OTHER HISTORY)

Please see below for a timeline of actions related to the petition for The Chicago Gun Club.

1. **March 24, 2014** The Village Board approves a text amendment to allow firearms stores as a permitted use and indoor firing ranges as a special use in the B-4 Zoning District.
2. **April 13, 2016** The Plan Commission first reviewed concept plans for the Chicago Gun Club
3. **January 6, 2017** The petitioner submitted preliminary plans/final plans.
4. **February 22, 2017** The Plan Commission held a public hearing for the petition.
5. **April 5, 2017** The public hearing was continued to the April Plan Commission meeting.
6. **April 5, 2017** The Plan Commission made a positive recommendation to the Village Board.
7. **April 10, 2017** The Village Board received the Plan Commission's positive recommendation.

### ITEM COMMENTARY (BACKGROUND, DISCUSSION, RECOMMENDATIONS, ETC.)

The attached ordinance will rezone the subject property from B-3 Zoning District to the B-4 Zoning District and grant The Chicago Gun Club (and TCGC as property owner) a special use permit for a "Firing Range, Indoor" so that they may develop and operate a 31,000-square foot gun club facility that would include a 32-bay firing range, firearm and jeep retail, educational classroom space, two membership lounges (including one bar), offices, and other accessory uses related to the operation of the facility. The subject property, which is vacant and has been on the market for a long time, is located at the northeast corner of Frontage Road and 79th Street, just south of Willowbrook Inn and west of the EconoLodge.

The business team anticipates a top of the line facility at the location in terms of building appearance and functionality, as well as personnel skilled at providing necessary training and service to its customers. The gun club is intended to function similar to a private country club, requiring paid membership and having different tiers of membership. They propose using state of the art air handling systems which lack in many existing local facilities, and promise the look and feel of a high end, luxury facility. They are also looking to emulate the "club like" atmosphere offered by a facility in Frisco Texas called the Frisco Gun Club.

The Plan Commission voted a unanimous vote of 5-0 of the members present to forward a positive recommendation to the Village Board. The Board received this motion on April 10, 2017. The Plan Commission's motion included numerous conditions for approval which have been incorporated into the attached ordinance.

**ACTION PROPOSED:** Consideration of Attached Ordinance.

ORDINANCE NO. 17-O-\_\_\_\_\_

AN ORDINANCE APPROVING A REZONING FROM THE B-3 ZONING DISTRICT TO THE B-4 ZONING DISTRICT AND GRANTING A SPECIAL USE FOR A "FIRING RANGE, INDOOR", INCLUDING APPROVAL OF A PRELIMINARY AND FINAL PLAT OF SUBDIVISION AND CERTAIN VARIATIONS FROM THE ZONING ORDINANCE - PC 17-01: ROUTE 83 FRONTAGE ROAD AND 79TH STREET - THE CHICAGO GUN CLUB

---

WHEREAS, on or about January 6, 2017, The Chicago Gun Club LLC, as applicant, and TCGC Property LLC, as property owner, filed an application with the Village of Willowbrook ("VILLAGE") with respect to the property legally described on Exhibit "A", attached hereto and incorporated herein by reference ("SUBJECT REALTY"). Said application requested that the Village rezone the SUBJECT REALTY from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, grant a special use permit for a "Firing Range, Indoor" for the construction development and operation of a 31,000 square foot gun club facility that includes thirty-two (32) tactical shooting bays, training/educational classrooms, members only lounges, retail and vehicle retail, and office uses on the SUBJECT REALTY ("Project"), grant certain variation from the requirements of the Zoning Ordinance of the Village, and authorize off-site improvements to adjoining Route 83 Frontage Road, and related matters; and,

WHEREAS, Notice of Public Hearing on said application was published on or about February 3, 2017, in a newspaper having

general circulation within the Village, to-wit, The Sun Times newspaper, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, pursuant to said Notice, the Plan Commission of the Village of Willowbrook conducted a Public Hearing on or about February 22, 2017, which was continued on April 5, 2017, all as required by the statutes of the State of Illinois and the ordinances of the Village; and,

WHEREAS, at said Public Hearing, the applicant presented testimony in support of said application for the Project and requested relief and all interested parties had an opportunity to be heard; and,

WHEREAS, the Plan Commission forwarded its recommendations, including its Findings of Fact for the Project, in a report dated April 6, 2017 to the Mayor and Board of Trustees on or about April 6, 2017, a copy of which is attached hereto as Exhibit "B" which is, by this reference, made a part hereof; and,

WHEREAS, all other public hearings required by law have been conducted, in all respects conforming to law and pursuant to notice duly given in accordance with law.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Willowbrook, DuPage County, Illinois, as follows:

SECTION ONE: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION TWO: That the SUBJECT REALTY be and the same is hereby rezoned from the B-3 General Business zoning classification to the B-4 Highway and Service Business zoning classification of the Village of Willowbrook.

SECTION THREE: That the Zoning Map of the Village of Willowbrook be amended to reflect the rezoning of the SUBJECT REALTY from the B-3 General Business zoning classification to the B-4 Highway and Service Business zoning classification of the Village of Willowbrook.

SECTION FOUR: That a special use permit is hereby granted on the SUBJECT REALTY, pursuant to Section 9-6D-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit the operation of a "Firing Range, Indoor", subject to the terms and conditions set forth in Section Nine, Section Ten, and Section Eleven of this ordinance.

SECTION FIVE: That the Zoning Map of the Village of Willowbrook be amended to reflect the granting of a special use permit on the SUBJECT REALTY, pursuant to Section 9-6D-2 of the Zoning Ordinance of the Village of Willowbrook, so as to permit the operation of a "Firing Range, Indoor" on the SUBJECT REALTY,

subject to the terms and conditions set forth in Section Nine, Section Ten, and Section Eleven of this ordinance.

SECTION SIX: That the Findings of Fact for the Project pursuant to 9-14-4.5, 9-14-5.2, and 10-8-6 of the Village Code of the Village of Willowbrook made by the Plan Commission in its recommendation attached hereto as Exhibit "B" are hereby adopted by the Mayor and Board of Trustees.

SECTION SEVEN: That passage of this Ordinance shall constitute approval of the Preliminary and Final Plat of Subdivision, pursuant to the "Preliminary Plat of Subdivision for TCGC Subdivision" plan, as prepared by Roake and Associates, Inc., consisting of one (1) sheet, with a latest revision date of April 12, 2017 for the Project and pursuant to the "Final Plat of Subdivision for TCGC Subdivision" plan, as prepared by Roake and Associates, Inc., consisting of two (2) sheets, with a latest revision date of April 17, 2017 for the Project attached hereto as

SECTION EIGHT: That the Mayor and Village Clerk are hereby authorized to execute the Improvement Agreement strictly for the Project in substantially the form attached hereto as Exhibit "E".

SECTION NINE: That pursuant to Section 9-14-4 of the Village Code, the following variations from the provisions of the Zoning Ordinance be and the same are hereby granted for the Subject Realty:

- A. That Section 9-6D-3D(D) "Required Setbacks", be varied to reduce the front yard building setback from one-hundred feet (100') to ninety-six point nine three feet (96.93'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- B. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the southeast property line from ten feet (10') to five point one seven feet (5.17'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- C. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the interior side yard parking lot setback from the north property line from ten feet (10') to nine point one four feet (9.14'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- D. That Section 9-10-5(G) "Off Street Parking In Yards", be varied to reduce the front yard parking lot setback from the north property line from fifteen feet (15') to nine point one two nine (9.29'), per the "Chicago Gun Club Engineering Plans", attached hereto as Exhibit "D".
- E. That Section 9-6-1(E)2 "Building Facade Materials", be varied to allow metal siding as an architectural accent per the "Chicago Gun Club Architectural Plans", attached hereto as Exhibit "D".

SECTION TEN: That pursuant to Section 10-8-6 of the Village Code, the following variations from the provision of the Subdivision Regulations be and the same are hereby granted:

- A. That Section 10-7-2(C) of the Village Code of the Village of Willowbrook, establishing a requirement for curb and gutter, be varied to eliminate the requirement that the applicant construct curbs and gutters for the required street improvements along IL Route 83 Frontage Road and 79<sup>th</sup> Street.

SECTION ELEVEN: That the relief granted in Section Nine and Section Ten of this Ordinance is expressly conditioned upon the SUBJECT REALTY at all times being constructed, used, operated and

maintained strictly for this Project in accordance with the following terms, conditions and provisions:

- (A) That all construction, use, development and maintenance of the site be in substantial accordance with the "APPROVED PLANS" attached hereto as EXHIBIT "D", except as noted or except as may be required and approved by the Village in writing prior to the issuance of construction permits.
- (B) Construction on the SUBJECT REALTY is subject to the issuance of building permits, which shall not be authorized by the Village until the Owner submits the following:
  - 1. An executed Improvement Agreement in substantially the form attached hereto and incorporated herein as Exhibit "E", and tender the security required by such Agreement.
  - 2. Executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs approved by the Village Engineer.
  - 3. An executed "Traffic Regulation Agreement", attached hereto as Exhibit "F".
  - 4. Mylars of the Plat of PUD, including all signatures except Village Signatures.
- (C) The gun club facility shall only operate with the hours of 10:00 A.M. to 9:00 P.M. Monday through Thursday, 9:00 A.M. to 9:00 P.M. Friday through Saturday, and 10:00 A.M. to 8:00 P.M. on Sunday.
- (D) The sale and consumption of alcohol on the premises shall be restricted to the interior of the one (1) second floor proposed members only lounge, as designated on the "Chicago Gun Club Architectural Plans", attached hereto as EXHIBIT "D".
- (E) Any alcoholic beverages consumed on the premises should be sold on the premises. The consumption of alcohol beverages in the form of BYOB shall be prohibited anywhere on the premises.



- (F) Anyone consuming alcohol on the premises shall be restricted from the shooting range for twenty-four (24) hours after the consumption of alcoholic beverages.
- (G) Any smoking conducted on the premises must be conducted in strict compliance with the Smoke Free Illinois Act [410 ILCS 82/1 Sec.]
- (H) The proposed building must be fire sprinkled and fully fire alarmed.
- (I) The Owner shall gain approval from the Tri-State Fire Protection District that the building's sprinkler system is adequate for the proposed use.
- (J) There shall be no outdoor storage of materials or vehicles of any kind.
- (K) There will be no testing driving of vehicles for sale on the subject property.
- (L) All sales of vehicles at the subject property shall be consummated and completed on the subject property.
- (M) The petitioner shall sign a sales tax disclosure agreement with the Village of Willowbrook.
- (N) The trash enclosure shall be constructed to look like masonry and shall appear similar to the color and style of the building.
- (O) The proposed metal material, shown on the "Chicago Gun Club Architectural Plans", attached hereto as EXHIBIT "D", shall be used as an architectural accent feature only, and shall not represent more than 50% of the building's façade.
- (P) The construction and use of the gun club facility shall at all times be in substantial compliance with the Architectural floor plans shown on the "Chicago Gun Club Architectural Plans", attached hereto as EXHIBIT "D".
- (Q) All mechanical equipment located on the roof that is not screened by a parapet extension or is taller than the parapet extension in that area shall be screened as approved by the Village Administrator. Furthermore, noise from the rooftop mechanicals must conform with the Village's noise standards outlined in Section 9-9-2

entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.

- (R) The gun club facility shall at all times conform with all applicable noise standards pursuant to Section 9-9-2 entitled "Noise Standards," of Chapter 9 entitled "Performance Standards", of Title 9 entitled "Zoning" of the Village Code of Ordinances of the Village of Willowbrook.
- (S) All landscaped areas shall be constructed and landscape material installed prior to the issuance of any permanent occupancy permit for the SUBJECT REALTY, or such earlier time as is reasonably practical.
- (T) The owner shall install one (1) streetlight at the intersection of 79th Street and Frontage Road once the specific location has been provided by the Village Engineer.
- (U) The owner shall install or pay a fee equal to the cost of the installation of the sidewalk gap near the intersection of Quincy Street and Joliet Road as determined by the Village Administrator.
- (V) The owner shall provide the Village Administrator with a copy of their safety and security plan prior to receiving an occupancy permit.
- (W) Construction of any off-site improvements to the adjoining Illinois Route 83 Frontage Road right-of-way is subject to final written approval by the Illinois Department of Transportation and the Village of Willowbrook, payment of any related fees, and shall not be authorized by the Village until the Owner supplies the Village with an executed security in a form approved by the Village Attorney in the amount of 110 percent (110%) of the Engineer's Estimate of Costs for the off-site improvements, approved by the Village Engineer.
- (X) A permit is required from DuPage County Public Works for the sanitary sewer connection prior to the Village issuing a building permit.
- (Y) A separate sign permit shall be obtained for the monument signage near the entry driveway for the

property and for the proposed building signage, pursuant to the Village Code.

- (Z) Prior to the issuance of any final certificate of occupancy, the Owner shall complete the improvements to the IL Route 83 Frontage Road along the frontage of the SUBJECT REALTY as shown in the "Chicago Gun Club Engineering Plans" attached hereto as EXHBIT "D".
- (AA) The Special Use Permit for the proposed development shall be null and void if construction for the proposed use is not commenced within eighteen (18) months of the date of any approval of the Special Use by the Village Board.

SECTION TWELVE: That all ordinances and resolutions, or parts thereof, in conflict with the provisions of this Ordinance are, to the extent of such conflict, expressly repealed.

SECTION THIRTEEN: That this Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED and APPROVED this 24<sup>th</sup> day of April, 2017.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

ROLL CALL VOTE: AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTENTIONS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

EXHIBIT "A"

LEGAL DESCRIPTION OF SUBJECT REALTY

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN AMVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTH EAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLINOIS

EXHIBIT "B"

PLAN COMMISSION RECOMMENDATION AND FINDINGS OF FACT

Recommendation Letter

M E M O R A N D U M

MEMO TO: Frank A.Trilla, Mayor  
Board of Trustees

MEMO FROM: Dan Kopp, Chairman, Plan Commission

DATE: April 6, 2017

**SUBJECT:** Zoning Hearing Case 17-01: The Chicago Gun Club, Northeast corner of Route 83 Frontage Road and 79th Street. Consideration of a petition to rezone the subject property from the B-3 Zoning District to the B-4 Zoning District, a petition for a Special Use Permit for a "Firing Range, Indoor", a petition for approval of a Plat of Subdivision to consolidate the two lot property, and consideration of other such relief, exceptions, and variations from Title 9 and Title 10 of the Village Code.

At the regular meeting of the Plan Commission held on April 5, 2017, the above referenced application was discussed and the following motion was made:

**MOTION:** Made by Soukup seconded by Kaucky that based on the submitted petition and testimony provided, I move that the Plan Commission approve and adopt the Standards for Special Use and Standards for Variations outlined in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting; and that the Plan Commission recommend to the Village Board approval of a rezoning of the subject property from the B-3 General Business Zoning District to the B-4 Highway & Service Business Zoning District, a special use for an "Indoor Firing Range", a final plat of subdivision, and associated variations, subject to the "Conditions of Approval" listed in the Staff Report prepared for PC 17-01 for the April 5, 2017 Plan Commission meeting.

**ROLL CALL:** AYES: Chairman Kopp, Commissioners Kaucky, Lacayo, Ruffolo, and Soukup  
NAYS: None.  
ABSENT: Vice Chairman Wagner, Commissioner Remkus.

MOTION DECLARED CARRIED

Should any member of the Board have any questions regarding this matter, please do not hesitate to contact me.

DK:jp

## EXHIBIT "B" (CONTINUED)

### Findings of Fact

#### **Standards for Special Use Permit**

Section 9-14-5.2 of the Willowbrook Zoning Ordinance establishes seven (7) standards for a Special Use Permit that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the Special Use Permit. A list of the Special Use standards is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

**Finding:** The applicant will ensure EPA, NIOSH, and OSHA standard air quality through the installation of a state-of-the-art range air filtration and ventilation system designed to eliminate 99.9% of all airborne pollutants through HEPA filtration. Lead management of dust and other particles from traffic in and through the range space will be addressed using commonly available anti-lead wet wipes, anti-lead soap in restrooms and adhesive rugs at the range doors. Lastly, the range will be cleaned regularly using specialized HEPA filtered wet-vac systems to ensure floor contamination is mitigated. Filters will be properly disposed through local lead recycling companies and in compliance with all local, state, and federal guidelines. Brass and lead from the bullet traps will also be locally recycled. Special construction elements will ensure that no projectiles exit unintentionally and that noise levels remain at acceptable levels. Ballistic rated masonry range walls and ballistic rated steel baffle and trap systems will prevent all projectiles from existing designated areas. Special insulation will be installed to minimize noise pollution and keep noise emissions at acceptable levels.



The gun club facility will also have a range safety and security plan to ensure public safety will not be compromised. Their safety practices will include (1) opening and closing procedures; (2) employee training; (3) client/member/use requirements regarding age, absence of mental/physical impairment, etc.; (4) specific safety related construction elements such as bullet -proof windows, security doors, concrete bollards, warning signage, doors, lighting and motion detectors; (5) alarms; (6) surveillance cameras and digital recordings; (7) key access/control doors and codes; and (8) ammunition and firearm storage.

- (B) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

**Findings:** The proposed special use for an indoor firing range will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighbor

The petitioner has requested that the property be zoned B-4 to allow a special use for an indoor firing range. Property immediately adjacent to the subject property is already zoned B-4 and will align with the existing and permitted uses within that district.

Furthermore, the proposed gun club will provide attractive landscaping that will improve the general appearance of the perimeter of the property and provide screening for the gun club's parking area, loading area, and trash enclosure. The gun club is also proposing to keep some existing and mature perimeter trees to promote additional screening with adjacent properties.

Additionally, a Traffic Impact Study has also been submitted by the petitioner, which states that the development will not significant effect traffic in the immediate vicinity.

Finally, the proposed development will not be injurious to the use and enjoyment of property in the immediate vicinity and may actually provide additional business to three (3) hotels within seventy (70) feet of the subject property.

- (C) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

**Findings:** The proposed development will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. The area has already been found to be appropriate for this special use and consistent with the Comprehensive Plan when the special use of "Firing Range, Indoor" was added as a special use to the B-4 Zoning District of the Village's Zoning Ordinance. The proposed standalone commercial facility is consistent with the goals of the B-4 zoning district and therefore consistent with the goals of surrounding property also located in the B-4 zoning district.

- (D) That adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

**Findings:** The petitioner has submitted detailed civil engineering design plans that address existing and proposed utilities, access roads, drainage, and other necessary facilities on the development site.

The proposed gun club development will provide adequate utility infrastructure to serve the site. A Traffic Impact Study has confirmed that one full access to the property will be adequate to serve the traffic needs of the proposed development.

The development will also provide two large bio-retention areas at the east and southern areas of the property that will meet the development's stormwater requirements. Additionally, the petitioner will be installing curb and gutter, public sidewalk, and street lighting along their frontage of IL Route 83 Frontage Road in accordance with Village standards that will promote increased stormwater control, pedestrian connectivity, and pedestrian and vehicular safety.

- (E) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**Findings:** Access to the proposed gun club is to be provided via on full access drive on the east side of Frontage Road, approximately 375' south of the Willowbrook Inn southern access drive. The access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This proposed access drive will be sufficient to accommodate the gun club-generated traffic.

The detailed traffic study performed by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA) concludes that the existing infrastructure and development ingress/egress design "has sufficient reserve capacity to accommodate the traffic to be generated by the gun club and no roadway improvements are required." The Village's traffic consultant has confirmed these findings.

- (F) That the special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

**Findings:** The proposed special use shall in all other respects conform to the applicable regulations of the district in which it is located (to be rezoned in the B-4 Zoning District) except as such regulation may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Plan Commission is allowing relief from the Village zoning requirements for minimum parking setbacks and building materials.

- (G) Conditions in the area have substantially changed, and at least one year has elapsed since any denial by the Village Board of any prior application for a special use permit that would have authorized substantially the same use of all or part of the site. (Ord. 97-O-05, 1-27-1997)

**Findings:** The proposed special use has never been applied for (or denied) with respect to this specific location.

#### **Standards for Variations**

Section 9-14-4.5 of the Willowbrook Zoning Ordinance establishes seven (7) standards for variations that must be evaluated by the Plan Commission and Village Board. Recommendations may include conditions of approval if appropriate to mitigate any negative impacts created by the variance. A list of the Standards for Variations is provided below, along with the proposed findings to be incorporated in the Plan Commission's recommendation and the Village Board's ordinance if approved.

- (A) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations of the district in which it is located.

**Finding:** The property cannot yield a reasonable return is the number of parking spaces provided are not adequate for the proposed gun club facility. In order to allow the required number of parking spaces, a variance to the minimum parking setbacks requirements of the Village's Zoning Ordinance are necessary. The proposed variation to allow metal siding as an architectural accent will allow the petitioner to construct a luxurious and modern building, which is instrumental to the petitioner's business model.

- (B) The proposed variation will not merely serve as a convenience to the applicant, but will alleviate some demonstrable and unusual hardship which will result if the strict letter of the regulations were carried out and which is not generally applicable to property within the same district.

**Findings:** The proposed variations will not merely serve as a convenience to the applicant. The applicant will not be able to provide an adequate number of parking spaces to support his proposed use if variations to reduce the rear, interiors side, and front yard parking setbacks are not supported. Additionally, the applicant may not be able to construct a modern, luxurious facility if a variation to allow metal siding as an architectural accent feature is not supported. The applicant may also not be able to provide proper landscaping at the front of the building if an approximate three foot (3') variation to the front yard building setback is not supported.

- (C) The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

**Findings:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.

- (D) The proposed variation will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

**Findings:** The proposed variations to reduce the minimum rear yard and interior side yard parking setback from ten feet (10') to 5.17', to reduce the minimum front yard parking setback from fifteen feet (15') to 9.29', and to allow metal siding as an architectural accent, will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood.

The reduction to the minimum parking setbacks will affect the area where the proposed gun club parking will abut the Willowbrook Inn parking lot at north side of the subject property and the Econolodge parking lot on the south/east side of the subject property. The area between these the gun club's parking areas and the adjacent business's parking areas will be adequately screened with new landscaping, as shown on the petitioner landscape plan. Additionally, a variance of approximately three feet (3') from the required one hundred foot (100') front yard building setback will not alter the intended character and will not be materially detrimental to the public welfare of injurious to other property or improvements in the neighborhood.

- (E) The proposed variation will not impair an adequate supply of light and air to adjacent property, substantially increase congestion in the public streets, increase the danger of fire, or endanger the public safety.

**Findings:** The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will have little to no effect on the surrounding traffic patterns and therefore will not substantially increase congestion in the public street.

The proposed variations to reduce parking setbacks, the front yard building setback, and add metal siding will not increase the danger of fire as metal is not a flammable substance. Neither the variation to the parking setback or the metal siding will endanger public safety.

- (F) The proposed variation will not alter the essential character of the locality. (Ord. 77-O-4, 2-14-1977).

**Findings:** The proposed variations will not alter the essential character of the locality. The parking setback and front yard building setback reductions are not substantially and will not visibly alter the character of the locality. The proposed metal siding will be used as an architectural accent only, and not as a primary building material, and will not alter the essential character of the locality.

- (G) The proposed variation is in harmony with the spirit and intent of this title. (Ord. 97-O-05, 1-27-1997)

**Findings:** The proposed variations are in harmony with the spirit and intent of this title. The proposed variation to reduce parking setbacks will allow the petitioner to construct an adequate number of parking spaces for his proposed and the approximate three foot (3') relief from the required one hundred foot (100') building setback will not alter the intended character of the B-4 Zoning District. The variation to allow metal siding as an architectural feature will allow the petitioner to construct a luxurious and modern looking facility, which is an instrumental part of his business model.

#### **Standards for Variation from Subdivision Regulations**

The board of trustees may authorize a variation from the subdivision regulations after review and recommendation by the plan commission when, in its opinion, undue hardship may result from strict compliance and provided the variation applies only to the requirements of this title. The board may take such action only upon receipt from the plan commission of a written recommendation specifying the manner in which the findings required in this section have or have not been met by the facts pertinent to the requested variation.

No variation shall be granted unless the board of trustees finds:

- (A) That there are special circumstances or conditions affecting said property, such that the strict application of the provisions of this title would deprive the applicant of the reasonable use of his land.

**Finding:** The current roadway system that comprises IL Route 83 Frontage Road (79th Street and Joliet Road) is currently a rural cross section for the vast majority of the roadway. The proposed variation to relieve the petitioner of the requirement to install curb and gutter will maintain the rural cross section and overall character of the roadway system.

- (B) That the variation is necessary for the preservation and enjoyment of a substantial property right of the petitioner.

**Finding:** The variation to relieve the petitioner of the requirement to install curb and gutter will allow the property owner to maintain the successful stormwater drainage ditch along the property Frontage.

- (C) That the granting of the variation will not be detrimental to the public welfare or injurious to other property in the area in which said property is located.

**Finding:** The proposed variation to relieve the petitioner of the requirement to install curb and gutter will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. The absence of curb and gutter along the property's frontage will maintain the status quo of a rural cross section for the 79th Street/Joliet Road/Route 83 Frontage Road.

- (D) The alleged hardship has not been created by any person having a present proprietary interest in the property. (Ord. 79-O-43, 11-26-1979).

**Finding:** The alleged hardship has not been created by any person presently having a proprietary interest in the premises.





EXHIBIT "C"

Preliminary and Final Plat of Subdivision

FINAL PLAT OF SUBDIVISION  
FOR  
TCGC SUBDIVISION  
WILLOWBROOK, ILLINOIS

PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

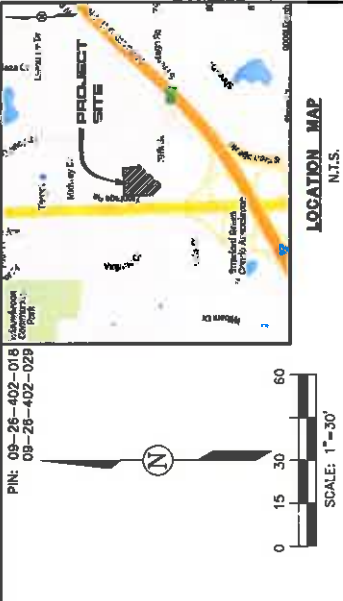
ABBREVIATIONS

000.00' M	MEASURED DATA
000.00' C	COMPUTED DATA
000.00' R	RECORD DATA
R=	RADIUS
A=	ARC LENGTH
PN	PERMANENT INDEX NUMBER

LINE TYPE LEGEND

—	BOUNDARY LINE
- - -	ADJOINER LOT LINE
- - -	CENTER LINE
- - -	RIGHT OF WAY
- - -	EASEMENT LINE
- - -	BUILDING LINE
- - -	SECTION LINE
- - -	UNDERLYING LOT LINE

GROSS BOUNDARY AREA  
BOUNDARY AREA = 146,971 S.F. OR 3.420 ACRES



P.L.N.: 09-26-402-028

374.84' MEAS.  
375.0' REC.

N88°21'25"E MEAS.  
S88°45'E REC.

10' PUBLIC UTILITY  
EASEMENT HEREBY  
GRANTED

15' PUBLIC UTILITY  
EASEMENT HEREBY GRANTED

P.L.N.: 09-26-402-029

P.L.N.: 09-26-402-028

S01°41'01"E MEAS.  
S00°15'W REC.

212.57' REC.

403.11' REC.  
403.66' MEAS.

7' UTILITY EASEMENT  
PER DOC. R78-96734

212.57' REC.  
N00°15'E REC.  
N01°36'27"W MEAS.

382.57' REC.  
382.45' MEAS.

170.0' REC.

37.56'

28.53' MEAS.  
28.11' REC.  
S88°45'E REC.  
S88°24'56"W MEAS.

212.58' MEAS.  
212.57' REC.

403.11' REC.  
403.66' MEAS.

7' UTILITY EASEMENT  
PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

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PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

28.53' MEAS.  
28.11' REC.  
S88°45'E REC.  
S88°24'56"W MEAS.

212.58' MEAS.  
212.57' REC.

403.11' REC.  
403.66' MEAS.

7' UTILITY EASEMENT  
PER DOC. R78-96734

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PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

THE WEST LINE OF THE SOUTHEAST QUARTER OF  
26-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

FRONTAGE ROAD  
CONDEMNED FOR HIGHWAY PURPOSES

P.L.N.: 09-26-402-018

P.L.N.: 09-26-402-030

10' PUBLIC UTILITY  
EASEMENT HEREBY  
GRANTED

7' UTILITY EASEMENT  
PER DOC. R87-34536

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

28.53' MEAS.  
28.11' REC.  
S88°45'E REC.  
S88°24'56"W MEAS.

212.58' MEAS.  
212.57' REC.

403.11' REC.  
403.66' MEAS.

7' UTILITY EASEMENT  
PER DOC. R78-96734

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PER DOC. R87-34536

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S88°45'E REC.  
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212.58' MEAS.  
212.57' REC.

403.11' REC.  
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PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

100'

70'

37.56'

19.34' REC. & MEAS.  
S88°03'05"W REC.  
S87°11'43"W MEAS.

28.53' MEAS.  
28.11' REC.  
S88°45'E REC.  
S88°24'56"W MEAS.

212.58' MEAS.  
212.57' REC.

403.11' REC.  
403.66' MEAS.

7' UTILITY EASEMENT  
PER DOC. R78-96734

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PER DOC. R78-96734

15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

EAST LINE OF ROUTE 83

HERETOFORE DEDICATED PER DOC. R78-12193

79TH STREET

SOUTH LINE OF THE SOUTHEAST  
QUARTER OF 26-38-11

19.34' REC. & MEAS.  
S88°03'05"W REC.  
S87°11'43"W MEAS.

28.53' MEAS.  
28.11' REC.  
S88°45'E REC.  
S88°24'56"W MEAS.

212.58' MEAS.  
212.57' REC.

403.11' REC.  
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15' UTILITY EASEMENT  
PER DOC. R87-34536

7' UTILITY EASEMENT  
PER DOC. R78-96734

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS  
COUNTY OF DUPAGE }

I, DOUGLAS R. MCCLINTIC, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR,  
HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED  
PROPERTY AND THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION THEREOF.  
ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1:  
LOT 4 IN ANVAN'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST  
QUARTER OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD  
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9,  
1976 AS DOCUMENT R70-96734, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:  
LOT 2 IN ANVAN'S SUBDIVISION OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST  
ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A SUBDIVISION OF  
PART OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE  
11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID  
ANVAN'S RESUBDIVISION RECORDED MARCH 31, 1988 AS DOCUMENT R86-26791, IN  
DUPAGE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED  
WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF WILLOWBROOK, WHICH HAS ADOPTED AN  
OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY  
THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-8, AS HERETOFORE AND HEREAFTER  
AMENDED, AND THAT THE SAME IS LOCATED IN ZONE X AREAS DETERMINED TO  
BE OUTSIDE THE 500-YEAR FLOODPLAIN ACCORDING TO MAP NO. 17043C0608H  
WITH EFFECTIVE DATE OF DECEMBER 16, 2004.

THIS PLAT HAS BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS  
LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2017.  
UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED  
HEREON.

GIVEN UNDER MY HAND AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_

ILLINOIS LICENSED PROFESSIONAL LAND  
SURVEYOR NO. 035-002882  
LICENSE VALID THROUGH NOVEMBER 30, 2016



ROAKE AND ASSOCIATES, INC.  
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS  
1684 QUINCY STREET, SUITE 200  
TEL: (630) 866-3282 • FAX: (630) 866-3287

PREPARED FOR:  
CHICAGO GUN CLUB LLC  
4825 LEE AVENUE  
DOWNERS GROVE, ILLINOIS 60515  
TEL: (630) 670-5412

REVISIONS		DESCRIPTION	
NO.	DATE	REVISIONS PER WILLOWBROOK COMMENTS	
1	02-7-17	REVISIONS PER WILLOWBROOK COMMENTS	
2	03-30-17	REVISIONS PER WILLOWBROOK COMMENTS	
3	04-17-17	REVISIONS PER WILLOWBROOK COMMENTS	

DIR./C.D. BY: SPM/DRM	FILE: 6341FS	F.L.D. BK./PC: 284/75-77	SHEET NO. 2
SCALE: 1"=30'	DATE: 3/09/17	JOB NO.: 634.001	1 OF 2

ROUTE 83 & 79TH STREET - WILLOWBROOK, ILLINOIS  
FINAL PLAT OF SUBDIVISION



Exhibit "D"

APPROVED PLANS

1. Preliminary Plat of Subdivision, prepared by Roake and Associates, Inc., latest revision dated 4/12/17, (1 Sheet)
2. Final Plat of Subdivision, prepared by Roake and Associates, Inc., latest revision dated 4/17/17, (2 Sheets)
3. Chicago Gun Club Final Engineering Plans, prepared by Morris Engineering, Inc., latest revision dated 4/18/17, (9 Sheets).
4. The Chicago Gun Club Architectural Plans, prepared by Damian Farrell Design Group PLLC, latest revision dated 3/13/17 (6 Sheets).
5. The Chicago Gun Club Final Landscape Plans, prepared by David R. McCallum Associates, Inc., latest revision dated 4/18/17 (1 Sheet).
6. The Chicago Gun Club Tree Inventory, prepared by David R. McCallum Associates, Inc., latest revision dated 4/18/17 (1 Sheet).
7. Chicago Gun Club Photometric Plan, prepared by KSA Lighting & Controls, latest revision dated 1/3/17 (3 Sheets).
8. Chicago Gun Club Shooting Range, prepared by Fusion Targets Inc., dated 3/10/17 (14 Sheets).
9. Construction Schedule, dated 4/24/17 (1 Sheet).
10. Engineer's Opinion of Probable Cost, prepared by Morris Engineering, Inc., dated 4/18/17 (1 Sheet).

Please see Exhibit "C" of this Ordinance for  
The Preliminary and Final Plat of Subdivision

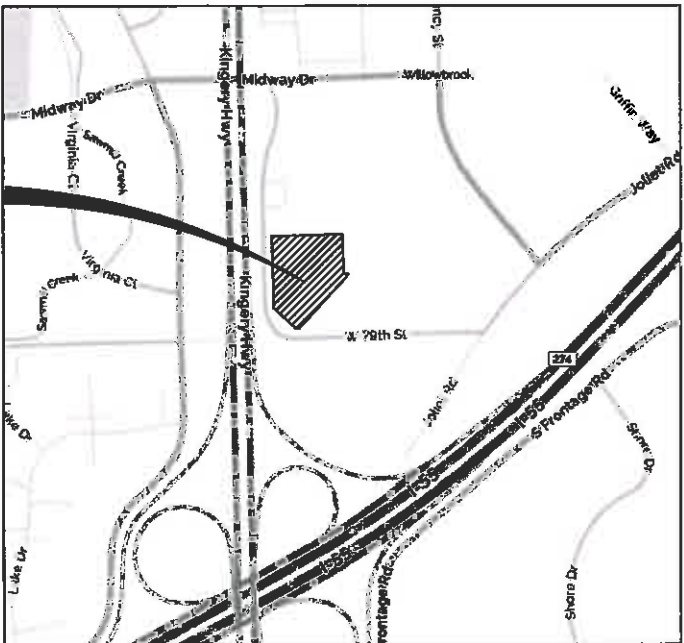
# CHICAGO GUN CLUB

## WILLOWBROOK, ILLINOIS

### LEGEND

EXISTING	PROPOSED	
		MANHOLE
		CATCH BASIN
		INLET
		CLEANOUT
		FLARED END SECTION
		WATER VALVE BOX
		BUFFALO BOX (B.BOX)
		WATER VALVE & VAULT
		FIRE HYDRANT
		WELL
		GAS VALVE
		GAS METER
		COMMUNICATION CANISTER
		COMMUNICATION HANDHOLE
		ELECTRIC CANISTER
		ELECTRIC HANDHOLE
		ELECTRIC METER
		TRAFFIC SIGNAL
		TRAFFIC HANDHOLE
		TRAFFIC CONTROL BOX
		UTILITY POLE
		UTILITY POLE W/ LIGHT
		STREET LIGHT
		STREET SIGN
		BORING LOCATION
		MAILBOX
		SPOT ELEVATIONS
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		EASEMENT LINE
		SETBACK LINE
		RIGHT OF WAY LINE
		STORM SEWER LINE
		SANITARY SEWER LINE
		WATERMAIN LINE
		UNDERGROUND GAS LINE
		UNDERGROUND COMM. LINE
		OVERHEAD ELECTRIC
		FENCE LINE
		GUARDRAIL LINE
		CONTOUR LINE
		DECIDUOUS TREE
		EVERGREEN TREE
		OVERLAND FLOOD ROUTE
		DRAINAGE ROUTE
		DOWNSPOUT
		SILT FENCE LINE
		DEPRESSED CURB
		SOIL EROSION GEOTEXTILE PROTECTION
		CONCRETE
		BRICK
		ASPHALT
		BUILDING
		GRAVEL
		STONE

### PROJECT LOCATION



### PROJECT LOCATION MAP

### PREPARED FOR

CHICAGO GUN CLUB, LLC.  
and TCGC PROPERTY, LLC.  
WILLOWBROOK, ILLINOIS

### INDEX OF SHEETS

1. COVER SHEET
2. GENERAL NOTES & SPECIFICATIONS
3. EXISTING CONDITIONS & DEMOLITION PLAN
4. GRADING PLAN
5. SWPPP & EROSION CONTROL PLAN
6. SITE PLAN
7. DETAILS
8. DETAILS
9. DETAILS

### SHEET TITLE

CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering - Consulting  
Land Surveying  
515 Warrenville Road, Suite 100, IL 60552  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Website: www.edi.com



FILED BY:	GR
DRAWN BY:	CJS
CHECKED BY:	AS
APPROVED BY:	AR
DATE:	11/07/2016
SCALE:	HORIZ - VERT -
SHEET	1
OF 9 SHEETS	
PROJ # 16-PR-2003	

SOURCE BENCHMARK
DUPAGE COUNTY, ILLINOIS MONUMENT (GPS) BENCHMARK STATION NO. DK32F9  DESCRIPTION: A GPS MONUMENT LOCATED AT THE NORTHWEST CORNER OF MADISON STREET AND 63RD STREET.  ELEVATION: 732.93 NAVD83
SITE BENCHMARK #1
CUT CROSS ON TOP OF CURB 212 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER.  ELEVATION = 712.07
SITE BENCHMARK #2
WAG NAIL IN THE EAST EDGE OF PAVEMENT ON THE FRONTAGE ROAD AND 45 NORTH OF THE NORTH-WEST PROPERTY CORNER.  ELEVATION = 710.85



### NOTICE TO CONTRACTORS

#### EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF OVERHEAD AND/OR UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL PUBLIC AND PRIVATE UTILITY COMPANIES WHICH MAY HAVE OVERHEAD OR UNDERGROUND FACILITIES IN THE AREA BEFORE CONSTRUCTION BEGINS. (SEE SPECIFICATIONS)

#### ENGINEER'S CERTIFICATION

STATE OF ILLINOIS)  
SS  
COUNTY OF DuPAGE)

I, ALGIS J. RUGENIUS, A REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY MORRIS ENGINEERING, INC. 515 WARRENVILLE ROAD, SUITE 100, ILLINOIS, 60552 UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. I FURTHER STATE THAT THE PROPOSED IMPROVEMENTS WILL NOT CAUSE PONING OR FLOODING ON THE PROPERTY OR ADJACENT PROPERTIES.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

ILLINOIS REGISTERED PROFESSIONAL ENGINEER NO. 062-047342  
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2017





PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES

THE PROJECT SPECIFICATIONS AND GENERAL CONSTRUCTION NOTES SHALL INCLUDE THE FOLLOWING PROVISIONS:

- ALL ON-SITE AND OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE "VILLAGE OF WILLOWBROOK";
- PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION;
- ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED IN CONFORMANCE WITH THE MOST RECENT VILLAGE STANDARD;
- EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE EITHER INTEGRATED INTO THE SITE DRAINAGE SYSTEM, REMOVED OR PLUGGED IN A MANNER DEEMED APPROPRIATE BY THE VILLAGE ENGINEER;
- THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF WILLOWBROOK;
- THE VILLAGE MUST HAVE FORTY- EIGHT (48) HOURS NOTICE PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITY;
- THE TESTING AND STERILIZATION OF ALL NEW WATER DISTRIBUTION FACILITIES SHALL BE COMPLETED PRIOR TO MAKING WATER SERVICE TAPS BY AN OUTSIDE TESTING SERVICE;
- MATERIAL SPECIFICATIONS COMPLY WITH VILLAGE STANDARDS AND INCLUDE:
  - PAVING BASE MATERIALS
  - PAVING SURFACE MATERIALS
  - CONCRETE MATERIALS
  - PIPE MATERIALS.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THE FOLLOWING PRINCIPLES SHALL APPLY TO ALL MOVEMENT OF EARTH AND STORM DRAINAGE, SEDIMENT, AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON SITE.
- THE SMALLEST PRACTICAL AREA OF LAND IS TO BE EXPOSED AT ANY GIVEN TIME DURING CONSTRUCTION. EXPOSURE SHALL BE KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WHERE EXPOSED AREAS REQUIRE PROTECTION TO CONTROL SOIL EROSION AND SEDIMENTATION DURING CONSTRUCTION AS SPECIFIED HEREIN AND AS DIRECTED BY THE OWNER OR ENGINEER. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE. PERMANENT STABILIZATION SHALL BE DONE WITHIN 15 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SOIL.
- THE CONTRACTOR SHALL INSTALL SEDIMENT BASINS OR SILT TRAPS IF SPECIFIED ON THE DRAWINGS TO CONTROL SEDIMENT FROM LEAVING THE SITE.
- STABILIZE AND PROTECT DISTURBED AREAS. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. MECHANICAL, STRUCTURAL, AND/OR VEGETATIVE CONTROL METHODS SHALL BE USED IN ORDER TO RETARD SOIL EROSION IF DIRECTED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
- KEEP RUN-OFF VELOCITIES LOW WITH SHORT SLOPES AND LOW GRADIENTS. THE INSTALLATION OF NATURAL VEGETATIVE COVER HELPS TO KEEP STORM WATER VELOCITIES LOW, AND THUS LIMIT SOIL EROSION EFFECTS.
- PROTECT DISTURBED AREAS FROM STORM WATER RUN-OFF. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF UPLAND DISTURBANCE. PROTECTIVE MEASURES SHALL BE UTILIZED TO DIVERT RUN-OFF FROM DISTURBED AREAS.
- RETAIN SEDIMENT WITHIN THE SITE AREA - SEDIMENT BASINS SHALL BE CONSTRUCTED IN ORDER TO DETAIN SEDIMENT LADEN RUN-OFF SO THAT THE SOIL PARTICLES SETTLE OUT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS SHALL BE PERMANENTLY STABILIZED.
- NATURAL PLANT COVER SHALL BE MAINTAINED AND PROTECTED AND ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION.
- PROTECTION OF EXISTING FACILITIES AND UTILITIES - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY FACILITIES FOR THE PROTECTION OF ALL EXISTING UTILITIES ON OR ADJACENT TO THE PROJECT. ALL STORM SEWER FACILITIES THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED, FILTERED, OR OTHERWISE TREATED TO REMOVE SEDIMENT. FURTHERMORE, ANY DAMAGE DONE BY HIM, HIS AGENTS, OR ASSIGNS SHALL BE REPAIRED AT NO ADDITIONAL COMPENSATION.
- DIRT ON PAVEMENT - WHERE A CONTRACTOR'S EQUIPMENT IS OPERATED UPON AN EXISTING PAVEMENT USED BY TRAFFIC THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL DIRT AND DEBRIS IMMEDIATELY AND AT OTHER TIMES AS DIRECTED BY THE OWNER, THE ENGINEER, OR THE GOVERNING MUNICIPALITY. THE CLEANING WORK SHALL BE CONSIDERED AS INCIDENTAL AND INCLUDED IN THE COST OF THE CONTRACTOR'S CONTRACT FOR THE WORK TO BE PERFORMED.
- DUST CONTROL - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF EXCESSIVE DUST BY WATERING DURING THE CONSTRUCTION PERIOD UNTIL THE ROAD PAVEMENT IS INSTALLED BY THE PAVING CONTRACTOR. THE REQUIREMENT FOR DUST CONTROL SHALL BE AS DIRECTED BY THE LOCAL APPROVING AUTHORITIES OR THE ENGINEER, AND SUCH DUST CONTROL (IF REQUIRED) SHALL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- NO FILTER FABRIC ALLOWED UNDER FRAMES OR GRATES. ALL STRUCTURES, EXCLUDING CURB STRUCTURES, SHALL HAVE INLET FILTERS INSTALLED.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR VILLAGE OF WILLOWBROOK.
- WHEN A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE (3) DAYS, SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED.
- THE CONTRACTOR SHALL MAKE AN EFFORT TO MINIMIZE USE OF HEAVY EQUIPMENT WITHIN THE DESIGNATED DRAINAGE FACILITIES.
- NO STOCKPILING WITHIN DRIP LINE OF TREES. MAINTAIN TWENTYFIVE (25) FEET MINIMUM DISTANCE BETWEEN STOCKPILES AND DRAINAGE WAY, AND SILT FENCE OR VEGETATIVE COVER ON DOWNHILL SIDE.
- EROSION CONTROL MEASURES INSPECTION SHALL BE CONDUCTED WEEKLY OR AFTER EVERY 1/2 INCH OF RAIN.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED WHERE DEFICIENCIES FOUND AND NOTED ON INSPECTION REPORT. DEFICIENCIES SHALL BE CORRECTED WITHIN 24 HOURS.
- A GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING CONSTRUCTION OF THE BIO-RETENTION SWALE TO VERIFY THAT THE UNDERLYING SOILS WILL ALLOW INFILTRATION.

EXCAVATION

- ALL SITE CLEARING, EXCAVATION, GRADING, COMPACTION, SUBGRADE PREPARATION, BASE COURSE, SURFACE COURSE, PCC CURB AND GUTTER AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- EARTHWORK UNDER THIS CONTRACT SHALL INCLUDE THE FOLLOWING:
  - REMOVAL OF EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS FROM THE SITE.
  - PROTECTION OF CERTAIN TREES AS DIRECTED BY THE OWNER'S REPRESENTATIVE WITH APPROVED FENCING.
  - STRIPPING OF ALL TOPSOIL AND OTHER UNSUITABLE MATERIALS FROM BUILDING AND/OR PAVEMENT AREAS AND REMOVAL FROM SITE OF ALL EXCESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL APPLICABLE SOIL EROSION AND SEDIMENT CONTROL ORDINANCES. THE COST OF ALL WORK NECESSARY TO MEET THESE REQUIREMENTS SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT, AND NO SEPARATE PAYMENT SHALL BE MADE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF PROPER COMPACTION CANNOT BE OBTAINED SO THAT THE OWNER'S REPRESENTATIVE MAY DETERMINE WHAT REMEDIAL MEASURES MAY BE NEEDED.
- EXISTING SEWER AND WATERTAIN TRENCHES UNDER DRIVEWAYS IN PARKWAYS SHALL BE EXCAVATED TO THE TOP OF PIPE AND BACKFILLED WITH COMPACTED TRENCH BACKFILL.
- EXISTING GRAVEL COMPACTION TO BE TESTED OR SOIL BORINGS TO BE MADE TO VERIFY SUITABILITY OF EXISTING GRAVEL AS SUBGRADE.

GENERAL NOTES

- ALL EARTHWORK, GRADING, UTILITIES, AND STREET IMPROVEMENTS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, AND ALL REVISIONS THERETO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND HEALTHFUL WORKING CONDITIONS IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE URBAN COMMITTEE OF THE ASSOCIATION OF ILLINOIS SOIL AND WATER CONSERVATION DISTRICTS' PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS AND ALL REVISIONS THERETO AND IN ACCORDANCE WITH THE DETAILS ON THE PLANS.
- THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL EXCAVATE AROUND UTILITIES TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING EACH OF THE UTILITY COMPANIES BEFORE ANY WORK COMMENCES. ALL UTILITIES SHALL BE STAKED PRIOR TO CONSTRUCTION.
- THE OWNER WILL FURNISH THE CONTRACTOR WITH LINES, GRADES AND ELEVATIONS NECESSARY TO THE PROPER PROSECUTION AND CONTROL OF THE WORK ONCE.
- THE CONTRACTOR SHALL GIVE THE ENGINEER AT LEAST SEVENTY-TWO (72) HOURS NOTICE FOR ANY STAKING TO BE DONE. EACH OF THE VARIOUS ITEMS OF WORK COVERED BY THIS CONTRACT WILL BE STAKED ONCE. ADDITIONAL STAKING REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE IN PRESERVING THE STAKES SHALL BE PAID FOR BY THE CONTRACTOR AT THE CURRENT HOURLY RATE.
- THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE VILLAGE OF WILLOWBROOK AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - TELEPHONE NUMBERS: MORRIS ENGINEERING - (630) 271-0770
  - VILLAGE OF WILLOWBROOK PUBLIC WORKS - (630) 920-2238
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PLANS AND SPECIFICATIONS AND SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE BIDDING PERIOD. SAID DISCREPANCIES WILL BE CLARIFIED BY THE ENGINEER TO THE BEST OF HIS ABILITY PRIOR TO RECEIPT OF BIDS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK ITEMS BECAUSE OF CONTRACTOR'S LACK OF COMPLIANCE WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY LATENT DISCREPANCIES THAT THE CONTRACTOR DISCOVERS DURING THE CONSTRUCTION PROCESS. THE ENGINEER WILL BE UNRECEPTIVE TO CLAIMS FOR ADDITIONAL COMPENSATION FOR WORK PERFORMED TO CORRECT A LATENT CONDITION NOT BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS (UNDERGROUND STRUCTURES AND CONDUITS) SHALL DISPOSE OF ALL SURPLUS EXCAVATED MATERIAL FROM TRENCHES OR STRUCTURE EXCAVATIONS AND SHALL DEPOSIT SAID SURPLUS MATERIALS ON THE SITE IN ACCORDANCE WITH THE GRADING PLAN OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT PLACE ANY EXCAVATED MATERIAL UPON ANY TOPSOIL. THE TOPSOIL SHALL BE REMOVED FROM ALL AREAS TO BE FILLED AND SHALL BE STOCKPILED IN AREAS AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT DISCHARGE INTO STREAMS, PONDS, WETLANDS OR ITS TRIBUTARIES ANY MOTOR OIL, TRANSMISSION FLUID, LUBRICANTS OR ANY OTHER PETROLEUM DISTILLATES. ANY PETROLEUM DISTILLATES DISCHARGED ON THE GROUND SURFACE SHALL BE PROMPTLY AND PROPERLY REMOVED PRIOR TO THE RESUMPTION OF ANY WORK ON THE PROJECT.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING FIELD TILES. ANY FIELD TILES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS SOLE EXPENSE. INVESTIGATION SHALL BE MADE TO INSURE THAT FIELD TILES DO NOT CONVEY OFF SITE WATER. TILES THAT CONVEY OFF SITE WATER SHALL BE REROUTED THROUGH THE SITE. TILES THAT DO NOT CONVEY OFF SITE WATER SHALL BE ABANDONED IN AN APPROPRIATE MANNER APPROVED BY THE VILLAGE. FIELD TILES WITHIN A RIGHT-OF-WAY SHALL BE REMOVED AND BACKFILLED WITH CA-6 COMPACTED IN EIGHT INCH LIFTS TO THE BOTTOM OF THE ROADWAY BASE. EXISTING FIELD TILES SHALL BE REMOVED BY SLIT TRENCHING.
- THE CONTRACTOR RESPONSIBLE FOR DRAINAGE IMPROVEMENTS SHALL BE RESPONSIBLE TO PLACE ALL FIRE HYDRANTS, FRAMES AND LIDS OR GRATES, AND ALL GRATES FOR MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS AT THE ELEVATIONS SHOWN AND SPECIFIED ON THE PLANS. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR SAID ADJUSTMENT AND THE COST OF SAID ADJUSTMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE VARIOUS DRAINAGE STRUCTURES MENTIONED ABOVE.
- ALL MANHOLES SHALL HAVE CONCRETE INVERTS CONFORMING TO THE SHAPE OF THE PIPE. CONCRETE INVERTS SHALL BE PLACED IN THE FIELD AND THE COST OF CONCRETE INVERTS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE VARIOUS INLETS AND MANHOLES.
- WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE UNTIL FINAL ACCEPTANCE BY THE OWNER OR MUNICIPALITY.
- THE CONTRACTOR SHALL KEEP PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, SHALL ON A DAILY BASIS CLEAN THE PAVEMENT OF SUCH DIRT AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE PIPE BEDDING IN ACCORDANCE WITH THE DETAIL ON THE PLANS. THE COST OF THE BEDDING SHALL BE INCLUDED IN THE UNIT PRICE PER LINEAL FOOT OF THE VARIOUS SIZES OF STORM SEWER. NO ADDITIONAL COMPENSATION WILL BE MADE FOR PIPE BEDDING.
- THE CONTRACTOR SHALL PLACE TOPSOIL AT A 6" MINIMUM DEPTH AND SEED OR SOD ALL AREAS DESIGNATED BY THE ENGINEER.
- THE CONTRACTOR SHALL EXAMINE THE DRAINAGE PATTERNS SHOWN ON THE PLANS AND MAKE CERTAIN THAT ALL OVERFLOW POINT ELEVATIONS AND CROSS SECTIONS ARE CONSTRUCTED STRICTLY IN ACCORDANCE WITH THOSE SHOWN ON THE PLANS.
- ALL CONSTRUCTION SHALL CONFORM WITH THE PERMIT PLANS AND REVISIONS THERETO APPROVED BY THE VILLAGE AND UTILITIES COMPANIES.

- THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-882-0123) PRIOR TO ANY WORK IN THE RIGHT-OF-WAY OR EASEMENTS TO LOCATE UTILITIES, AND CONTACT THE OWNER'S REPRESENTATIVE SHOULD PUBLIC UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
- ALL WORK HEREIN PROPOSED SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, THE MUNICIPALITY, AND ALL PERTINENT LAWS, DIRECTIVES, ORDINANCES AND THE LIKE SHALL BE CONSIDERED TO BE A PART OF THESE SPECIFICATIONS.
- ALL NEW CURB THAT MEETS EXISTING CURB WILL HAVE THREE DRILLED AND GROUTED #5 REINFORCING BARS OR EXPANSION TIE ANCHORS, 5/8" DIAMETER FOR EACH NEW CURB ADJACENT TO EXISTING CURB.
- FOR STRUCTURE ADJUSTMENT - MINIMUM OF 6" (2 @ 3") ADJUSTING RINGS (10" MAX) CONCRETE RINGS WILL BE 2" MINIMUM. RUBBER CAN BE 1" - 3" AND MUST BE USED FOR TOP ADJUSTING RING IN PAVED AREAS. "E/JW INTRA-RISER RUBBER COMPOSITE ADJUSTMENT RISERS" OR APPROVED EQUIV.
- ADD AN INTERNAL/EXTERNAL ADAPTOR SEAL ON THE ADJUSTED SANITARY MANHOLE. THE "VE A" SEAL STOPS INFLOW BETWEEN THE MANHOLE FRAME AND THE TOP ADJUSTING RING AND IT ALSO SEALS THE MANHOLE CHIMNEY FROM THE FRAME TO THE CORBEL. ONE VENDOR OF THIS SEAL IS ADAPTOR INC.
- OFF-SITE SIDEWALK AT LOCATION TO BE DETERMINED BY VILLAGE, TO BE COMPLETED AS PART OF THIS PROJECT.

GENERAL NOTES AND SPECIFICATIONS

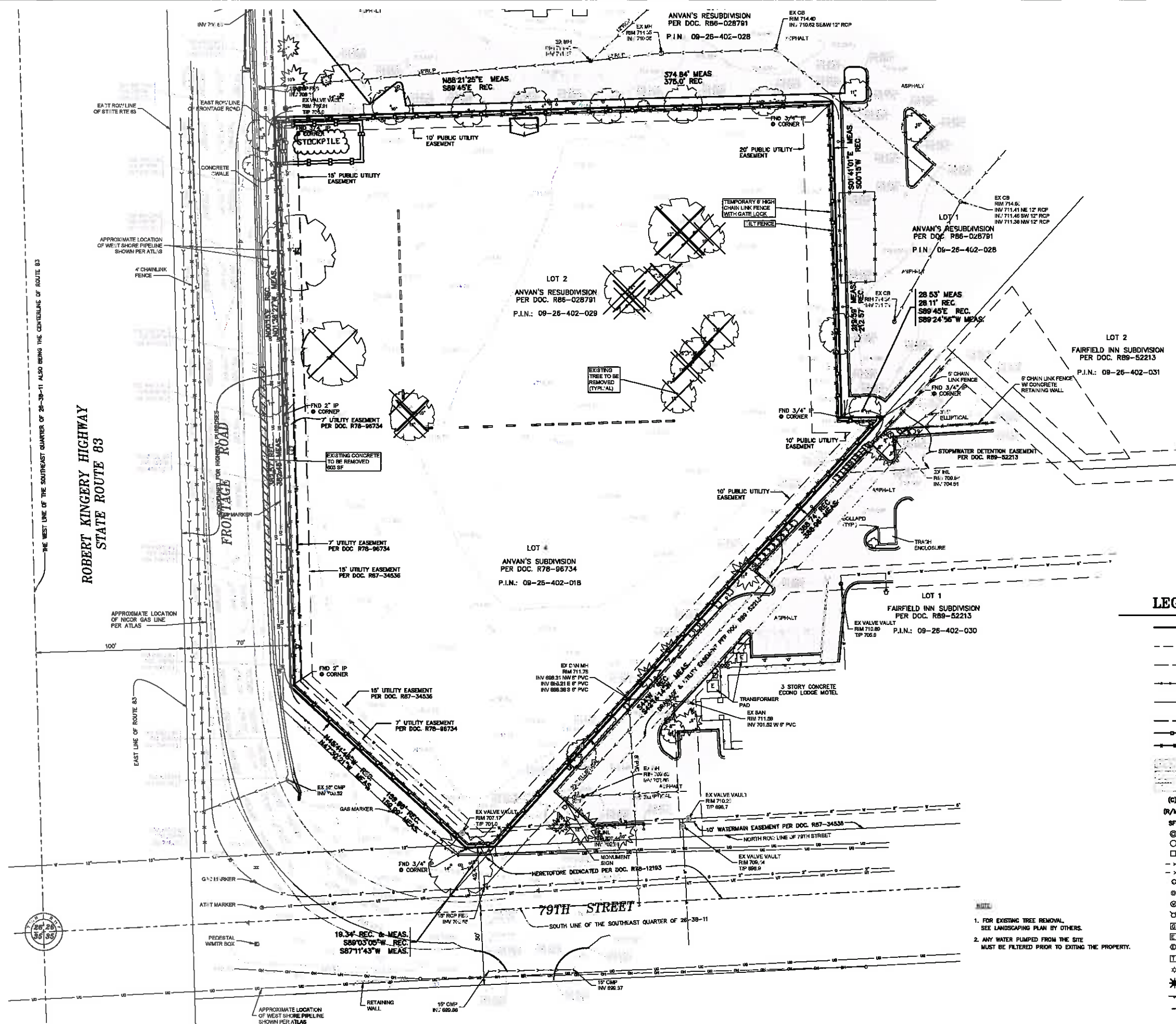
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

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Pleasant Hill, IL 60557  
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OF 9 SHEETS  
PROJ # 16-PR-2003



LEGEND

- EXISTING BOUNDARY
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING FENCE
- EXISTING BUILDING
- CENTER LINE
- SILT FENCE
- CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- CALCULATED
- RECORD/MEASURED
- SQUARE FEET
- EXIST. MANHOLE
- EXIST. CATCH BASIN
- EXIST. CURB INLET
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- BUFFALO BOX (B-BOX)
- WATER VALVE & VAULT
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- ELECTRIC PEDESTAL
- PHONE PEDESTAL
- LIGHT POST
- PROPOSED LIGHT POST
- STREET SIGN
- DOWNSPOUT

NOTE:  
1. FOR EXISTING TREE REMOVAL, SEE LANDSCAPING PLAN BY OTHERS.  
2. ANY WATER PUMPED FROM THE SITE MUST BE FILTERED PRIOR TO EXITING THE PROPERTY.

EXISTING CONDITIONS AND DEMOLITION PLAN

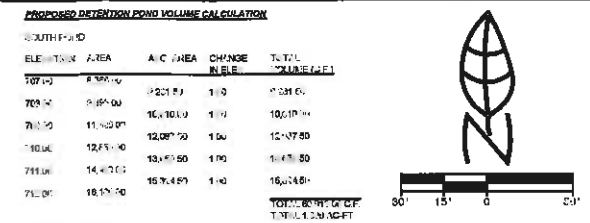
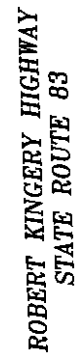
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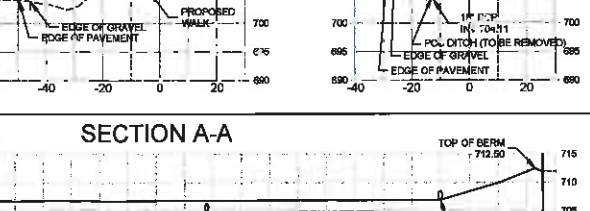
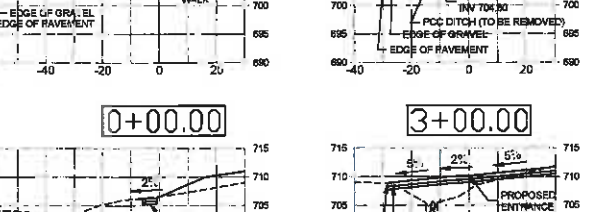
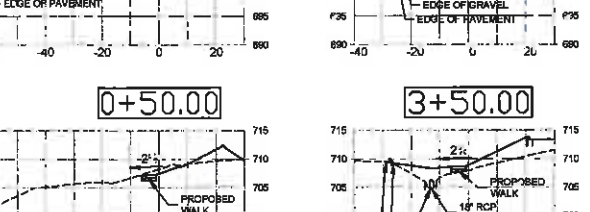
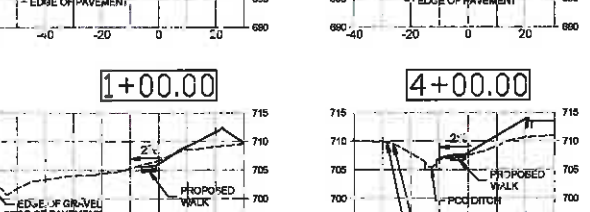
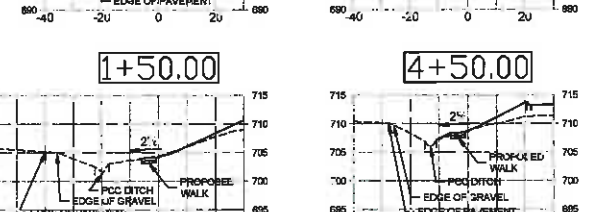
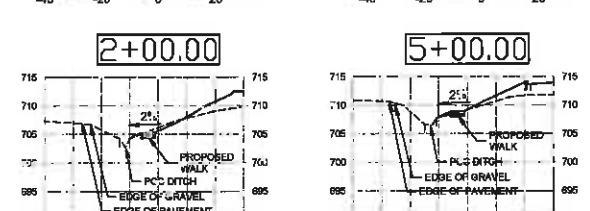
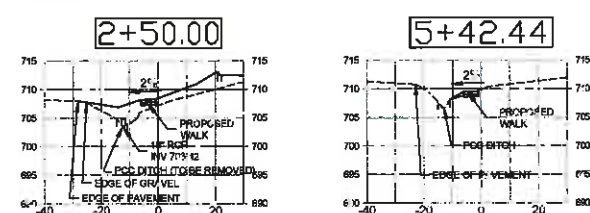
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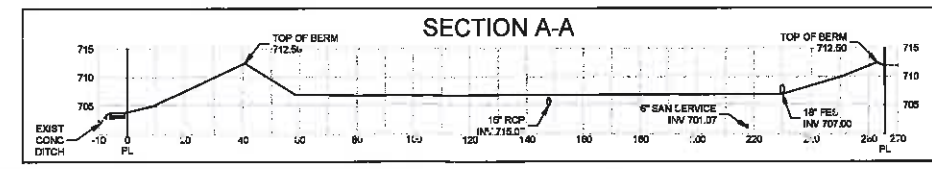


NORTHEAST POND				
ELEVATION	AREA	AFTER	CHANGE	TOTAL
			IN ELEV	VOLUME
701.00	3.2400			
701.00	4.3300	0.0900	1.00	0.0900
710.00	5.7300	0.0000	0.00	0.0000
711.00	7.1500	0.4200	1.00	0.4200
712.00	8.5500	1.4000	1.00	0.0000
				TOTAL 2,785.00 CFS

VOLUME PROVIDED 1.97AC-FT  
VOLUME REQUIRED 1.78AC-FT



- |   |                     |
|---|---------------------|
|  | EXISTING BOUNDARY   |
|  | EXISTING EASEMENT   |
|  | EXISTING SETBACK    |
|  | EXISTING FENCE      |
|  | EXISTING BUILDING   |
|  | CENTER LINE         |
|  | SILT FENCE          |
|  | CONSTRUCTION FENCE  |
|  | ASPHALT SURFACE     |
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| (C)   | CALCULATED          |
| (N/M)   | RECORD/MEASURED     |
| SF  | SQUARE FEET         |
|  | EXIST. MANHOLE      |
|  | EXIST. CATCH BASIN  |
|  | EXIST. CURB INLET   |
|  | STORM SEWER         |
|  | SANITARY SEWER      |
|  | WATER VALVE         |
|  | BUFFALO BOX (B-BOX) |
|  | WATER VALVE & VAULT |
|  | FIRE HYDRANT        |
|  | GAS METER           |
|  | ELECTRIC METER      |
|  | ELECTRIC PEDESTAL   |
|  | PHONE PEDESTAL      |
|  | LIGHT POST          |
|  | PROPOSED LIGHT POST |
|  | STREET SIGN         |
|  | DOWNSPOUT           |
|  | OVERFLOW ROUTE      |



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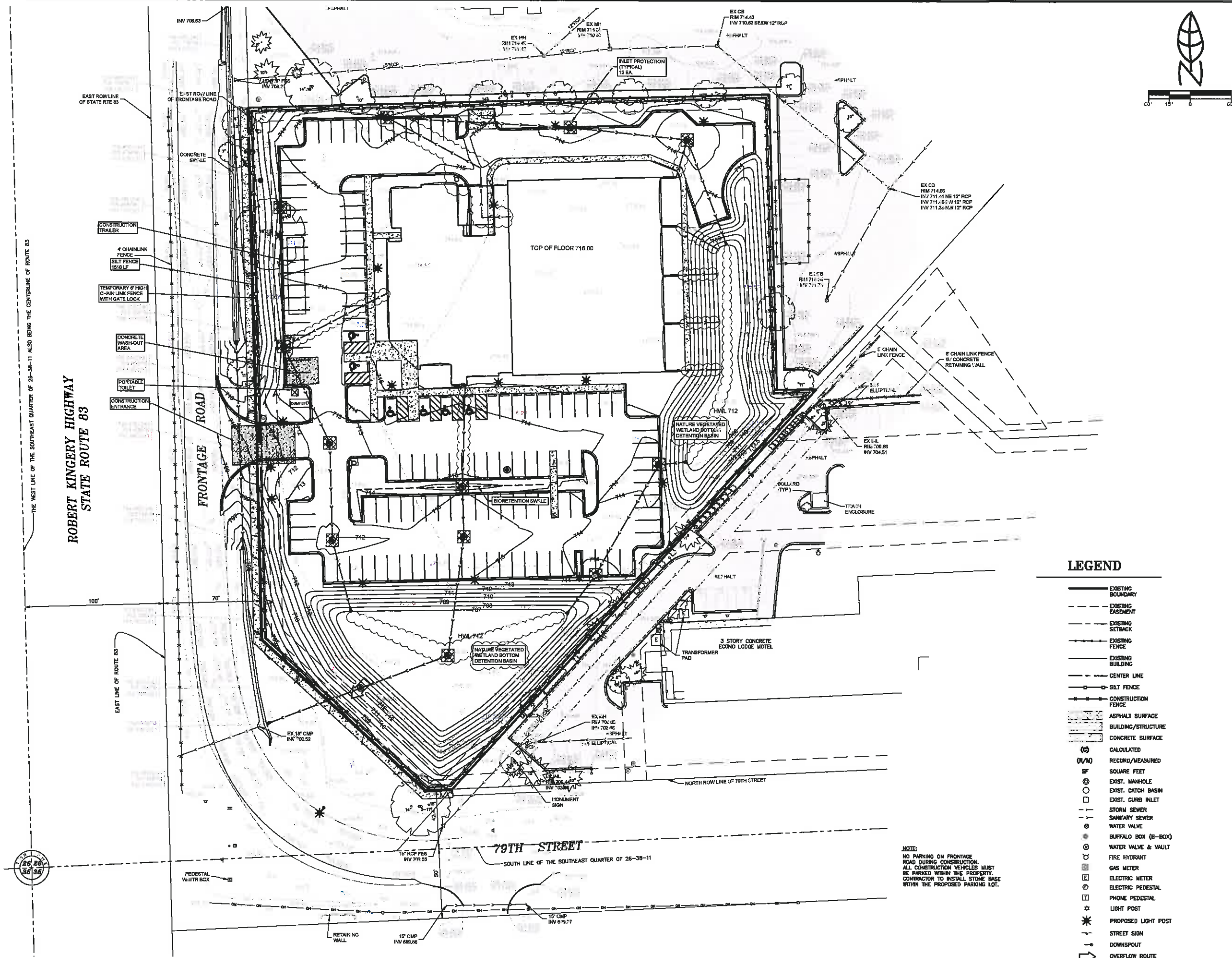
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SHEET  
**4**  
OF 9 SHEETS  
PROJ # 16-PR-2008

NOTE: DOWNSPOUT LOCATIONS SHOWN FROM PRELIMINARY ARCHITECTURE PLANS. FINAL LOCATION: TO BE PROVIDED FOR PERMITTING.

4/18/2017 4:07:05 PM  
HA16-PR12003 - Chicago Gun Club,  
WILLOWDALE PLANS-ENVOI REV. 4/18/PR-2003-SITE-PLAN-2017-04-18.dwg





DATE	
1	3/14/2017
2	3/20/2017
3	4/12/2017
4	4/19/2017
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## SWPPP &amp; EROSION CONTROL PLAN

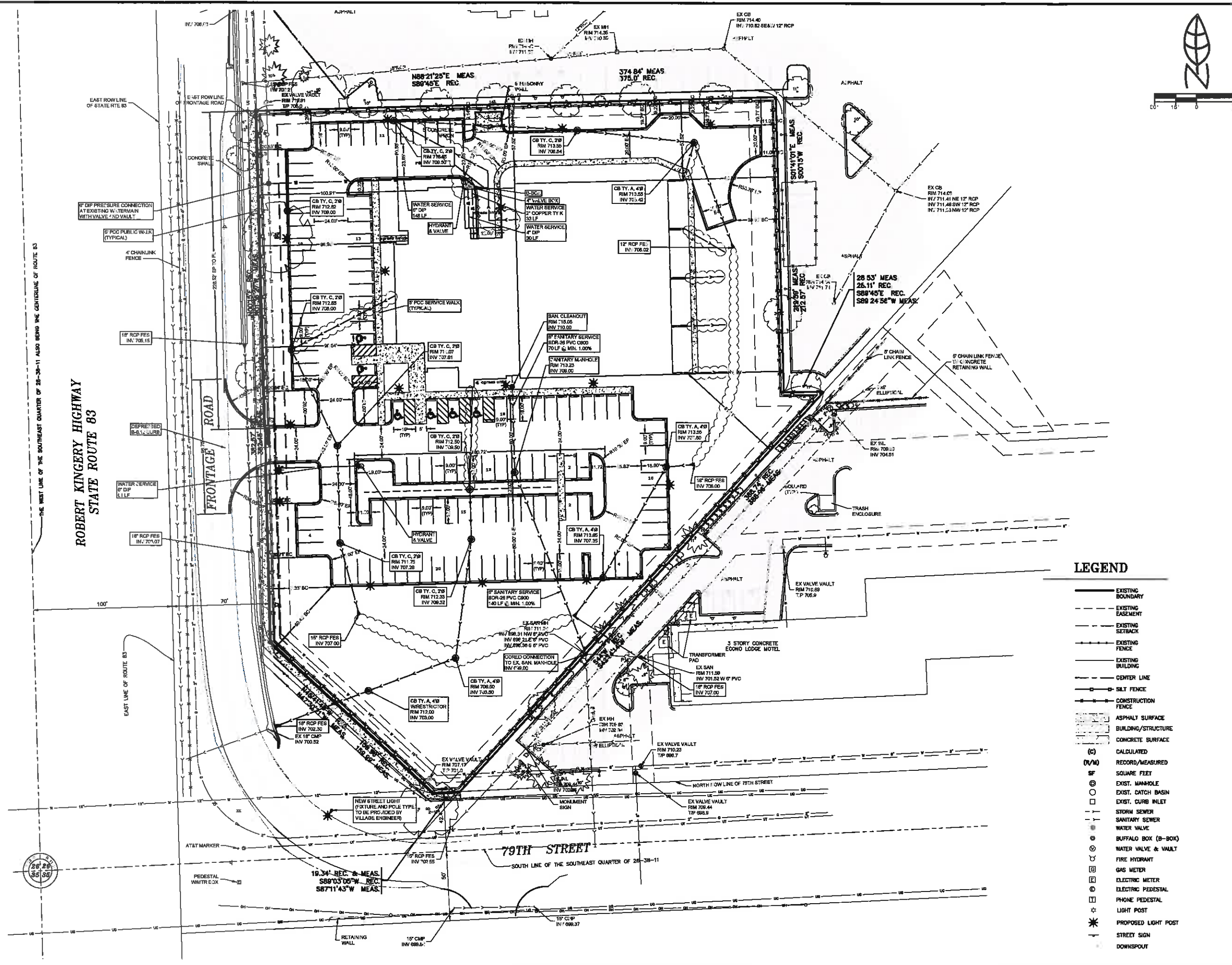
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Phone: (830) 271-0770  
Survey: (830) 271-0599  
Fax: (830) 271-0774  
V. J. Abalta, P.E., L.S., F.C.E.I.V.I. com



FIELD CHECK	GB
DESIGN BY:	CJS
CHECKED BY:	AJ
APPROVED BY:	AR
DATE	11/07/2016
SCALE:	HORIZ 1"=30' VERT NONE
<p>SHEET</p> <p><b>5</b></p> <p>OF 9 SHEETS</p> <p>PROJ # 16-PR-2003</p>	



LEGEND

- EXISTING BOUNDARY
- EXISTING EASEMENT
- EXISTING SETBACK
- EXISTING FENCE
- EXISTING BUILDING
- CENTER LINE
- SILT FENCE
- CONSTRUCTION FENCE
- ASPHALT SURFACE
- BUILDING/STRUCTURE
- CONCRETE SURFACE
- CALCULATED
- RECORD/MEASURED
- SQUARE FEET
- EXIST. MANHOLE
- EXIST. CATCH BASIN
- EXIST. CURB INLET
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- BUFFALO BOX (B-BOX)
- WATER VALVE & VAULT
- FIRE HYDRANT
- GAS METER
- ELECTRIC METER
- ELECTRIC PEDESTAL
- PHONE PEDESTAL
- LIGHT POST
- PROPOSED LIGHT POST
- STREET SIGN
- DOWNSPOUT

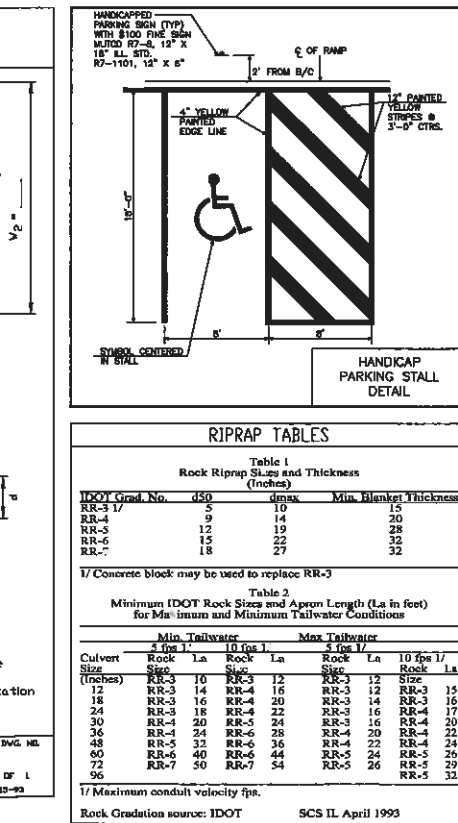
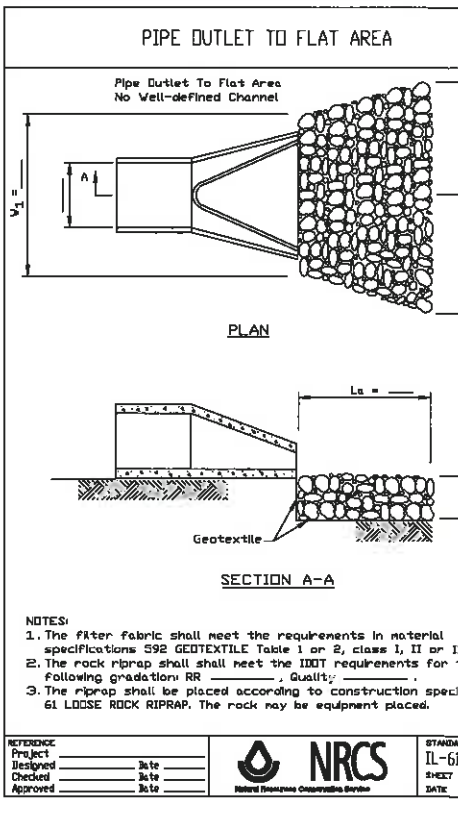
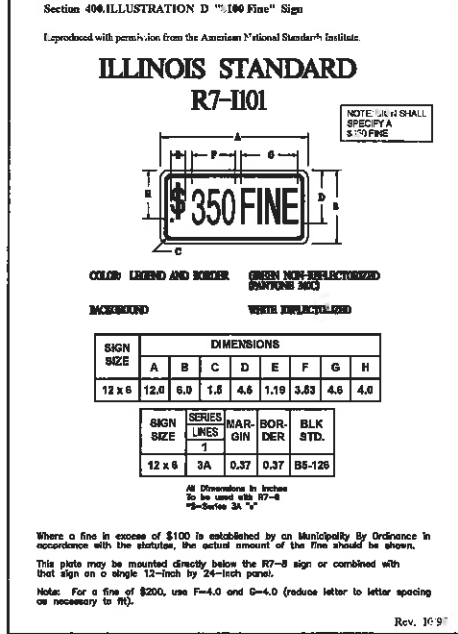
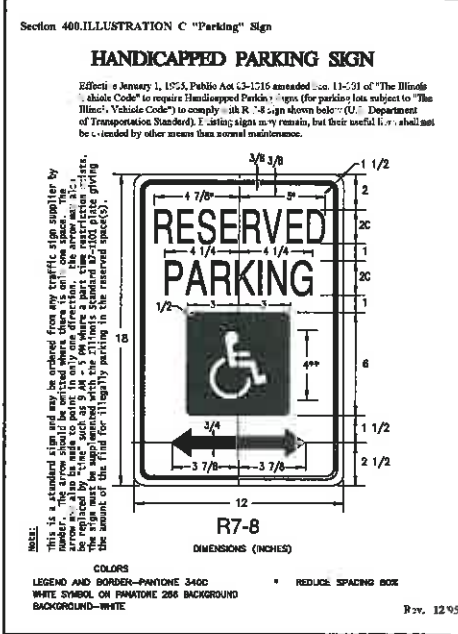
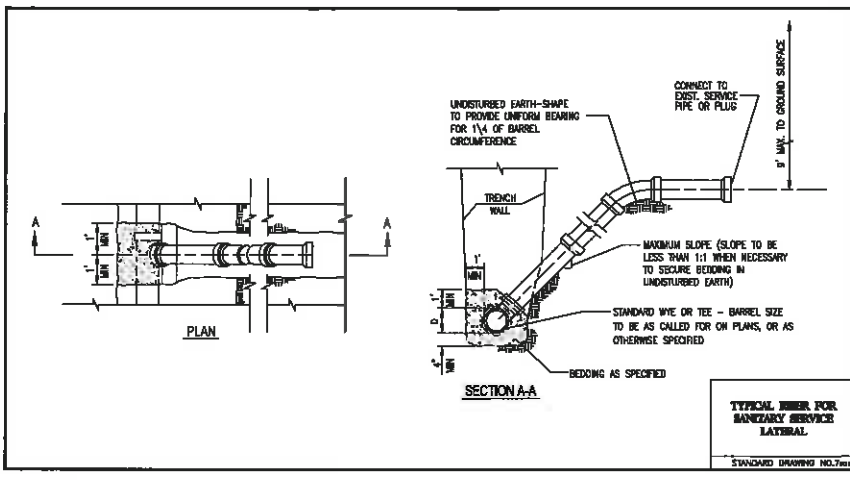
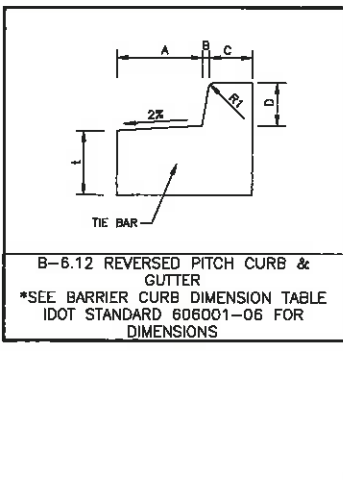
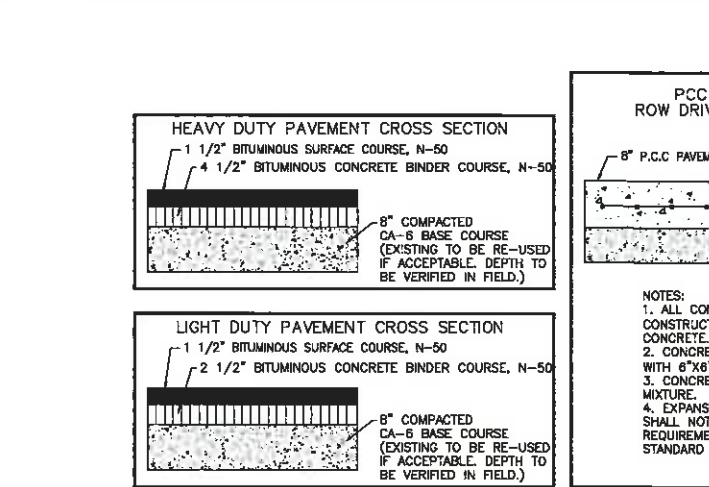
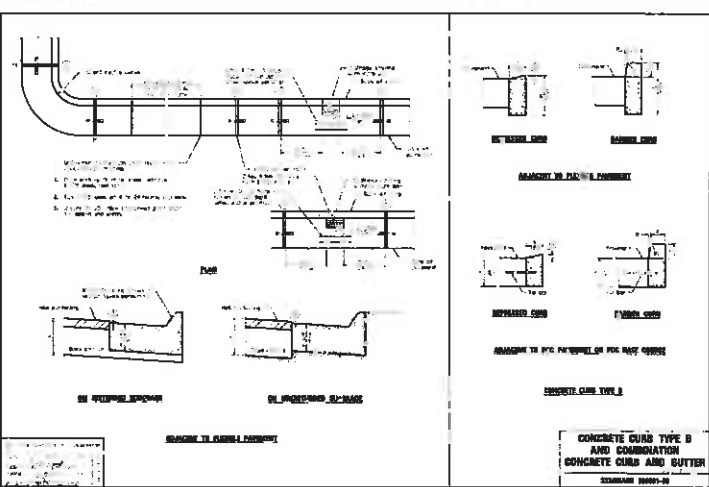
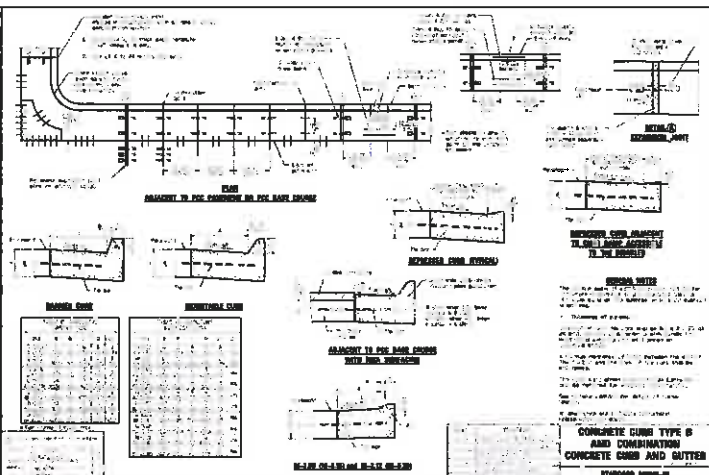
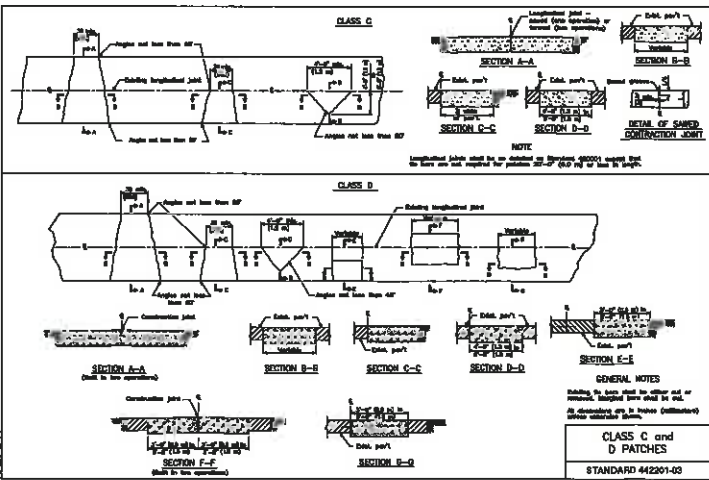
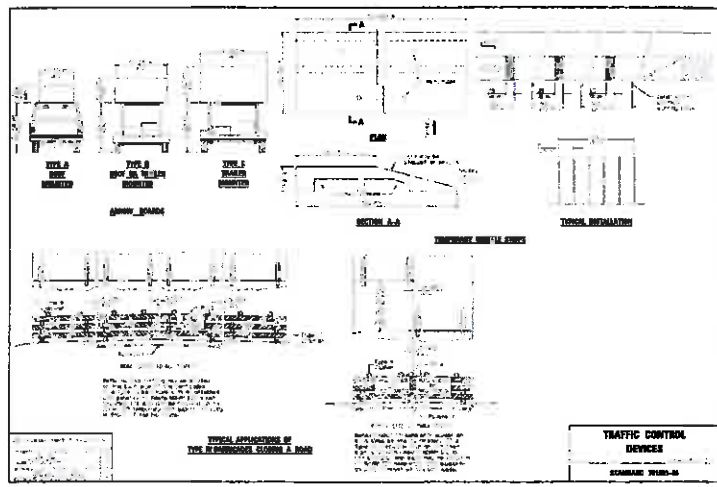
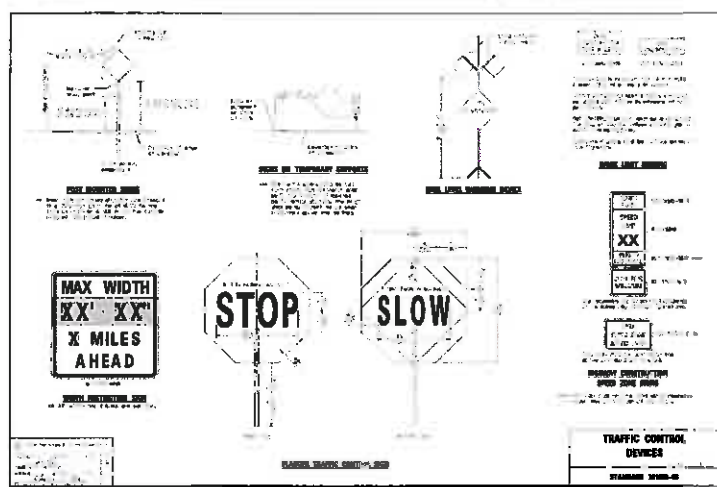
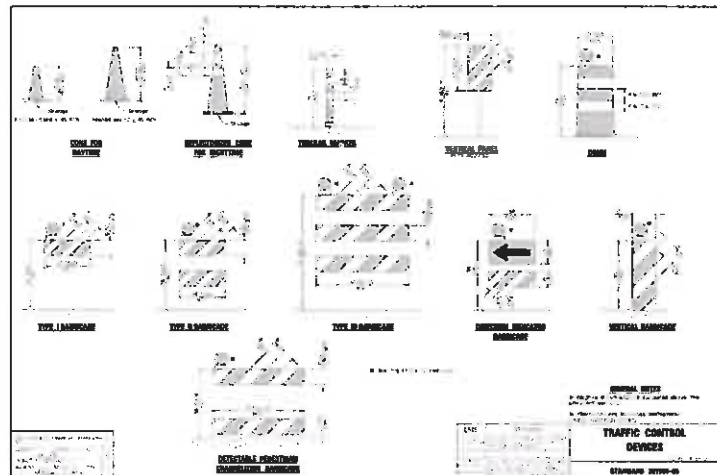
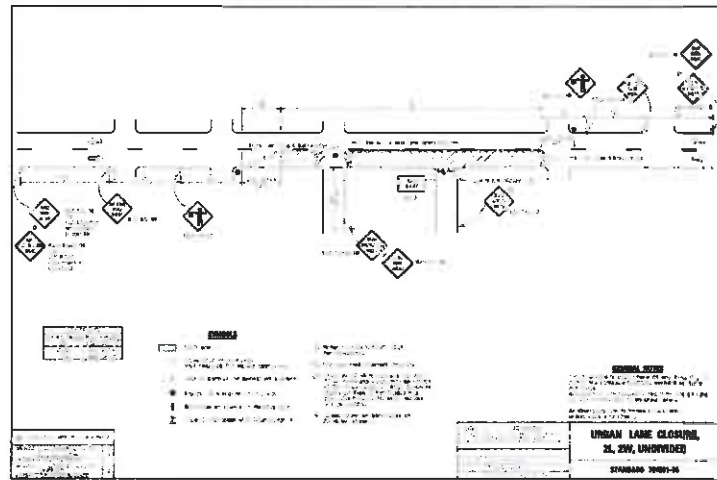
SITE & UTILITIES PLAN  
CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering & Consulting  
Land Surveying  
515 W. Randolph Road, Suite 100, Joliet, IL 60532  
Phone: (815) 271-0770  
Fax: (815) 271-0774  
Website: www.morriseng.com



FIELD CHECKED BY:	CB
DRAWN BY:	CJF
CHECKED BY:	AS
APPROVED BY:	AR
DATE:	11/07/2018
SCALE:	HORIZ 1"=30'
VERT:	NONE
SHEET	6
OF 9 SHEETS	
PROJ # 18-PR-2003	





**DETAIL SHEET**

**CHICAGO GUN CLUB**

**WILLOWBROOK, ILLINOIS**

**Morris Engineering, Inc.**  
Civil Engineering • Consulting  
Land Surveying  
615 Warrenville Road, Suite 101, Willowbrook, IL 60522  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Website: www.morriseng.com

**DATE**

DATE	PER	WILLAGE REVIEW
3/14/2017	1	PER WILLAGE REVIEW
3/15/2017	2	PER WILLAGE REVIEW
4/12/2017	3	PER WILLAGE REVIEW
4/19/2017	4	PER WILLAGE REVIEW
	5	
	6	

**FIELD CHECK:** GS

**DRAWN BY:** CJS

**CHECKED BY:** AS

**APPROVED BY:** AR

**DATE:** 11/07/2018

**NOISE:** HORIZ NONE

**VERT:** NONE

**SHEET**

**7**

**OF 9 SHEETS**

**PROJ # 16-PR-2003**

**ISOMETRIC VIEW**  
SHOWN WITH ROADWAY PROJECTS FILTER HAT

**PLAN VIEW**

**ELEVATION VIEW**

**REPLACEMENT FILTERS: MODEL # R-140**

**ROUND FRAME & FILTER ASSEMBLY**  
Model # R-100A

**FRAME & FILTER DISCHARGE ANALYSIS**

HEAD (FT)	EQUATION USED	OPENING AREA (SQ FT)	FRAME AREA (SQ FT)	FILTER AREA (SQ FT)	FLOW (GPM)	FLOW (LPS)
0.5	Q = 2.1	2.1	19	12	2	0.07
1.0	Q = 3.9	3.9	19	12	3	0.11
1.5	Q = 7.0	7.0	41	16	5	0.18
2.0	Q = 1.0	1.0	54	20	7	0.25
2.5	Q = 1.2	1.2	70	30	9	0.33
3.0	Q = 1.2	1.2	77	—	77	2.77

**NOTES:**

- 1. ALL HIGH-FLOW MATERIAL
- 2. ALL HIGH-EFFICIENCY MATERIAL
- 3. HIGH-EFFICIENCY MATERIAL ON TOP HALF OF HAT, HIGH-EFFICIENCY MATERIAL ON BOTTOM HALF (THIS FILTER COVER IS RECOMMENDED FOR ALL ROADWAY PROJECTS)
- IT IS THE PURCHASER'S RESPONSIBILITY TO PURCHASE APPROPRIATE FILTER HAT. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCKETS.

**MAINTENANCE:**  
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE SUSPECTED ONLY. CONTRACTOR SHALL REPAIR/REPLACE AND DISPOSE OF IN A PROPER MANNER. INSPECT R-100A DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.

**SPECIFICATIONS:**  
FILTER FABRIC SILT-SAVER HAT SHALL BE BASED ON DESIGN PROFESSIONAL'S SPECIFICATIONS.

**FRAME MATERIAL: BLACK 0.25" HMMPE**  
**FILTER FABRIC MATERIAL: REFER TO SPEC**  
**SCALE: NOT TO SCALE**  
**LAST UPDATED: APRIL 2010**

**ELEVATION**  
(Standard Outer)

**ELEVATION**  
(Full Top)

**ALTERNATE BOTTOM SLAB**

**GENERAL NOTES:**

- 1. All catch basins shall be 4'-0" (1.2 m) in diameter unless otherwise noted on the plans.
- 2. See Standard 602001 for optional precast reinforced concrete test unit top.
- 3. See Standard 602701 for details of steps.
- 4. All dimensions are in inches (millimeters) unless otherwise shown.

**CATCH BASIN TYPE A**  
STANDARD 602001-01

**ELEVATION**

**ALTERNATE BOTTOM SLAB**

**GENERAL NOTES:**

- 1. All catch basins shall be 4'-0" (1.2 m) in diameter unless otherwise noted on the plans.
- 2. See Standard 602001 for optional precast reinforced concrete test unit top.
- 3. See Standard 602701 for details of steps.
- 4. All dimensions are in inches (millimeters) unless otherwise shown.

**CATCH BASIN TYPE C**  
STANDARD 602011

**PLAN**

**SECTION A-A**

**END VIEW**

**GENERAL NOTES:**

- 1. All catch basins shall be 4'-0" (1.2 m) in diameter unless otherwise noted on the plans.
- 2. See Standard 602001 for optional precast reinforced concrete test unit top.
- 3. See Standard 602701 for details of steps.
- 4. All dimensions are in inches (millimeters) unless otherwise shown.

**PRECAST REINFORCED CONCRETE FLARED END SECTION**  
STANDARD 642301-02

**PLAN**

**SECTION A-A**

**STORM INLET GRATES SHALL HAVE THE "DRAINS TO CREEK" EMBLEM**

**GRATE TYPE B**  
STANDARD 604036-02

**ELEVATION**

**CATCH BASIN WITH RESTRICTOR PLATE**

**NOTES:**

1. ORIFICE PLATE IS TO BE CURVED TO CONFORM WITH WALL OF CATCH BASIN
2. PROVIDE GASKET BEHIND PLATE AND CAULK PERIMETER FOR WATER-TIGHT SEAL
3. PROVIDE 3/8" ANCHORS AND BOLTS TACK WELDED TO ORIFICE PLATE
4. RESTRICTOR MAY NOT BE INSTALLED IN FLARED END SECTION

**CATCH BASIN TY A (MODIFIED) WITH RESTRICTOR**

**ELEVATION**

**TYPICAL TAP SERVICE PIPING**

**NOTES:**

- 1. ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MAOWRAP OR EQUAL
- 2. RUBBER GASKETED BOOT IS REQUIRED FOR ALL PENETRATIONS THROUGH THE MANHOLE WALL
- 3. INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED
- 4. THE CONTRACT UNIT PRICE FOR THE VARIOUS SIZES OF TAPPING SLEEVE AND VALVE IN 8" DIA. VAULT SHALL INCLUDE THE COST OF FURNISHING AND PLACING SAND OR GRAVEL OR CRUSHED STONE AND COST OF FURNISHING AND PLACING THE TYPE FRAME & CLOSED LID AS SPECIFIED ON PLANS
- 5. STAINLESS STEEL SHABLE EQUAL TO CASCADE MODEL 6022 OR EQUIVALENT (FORD = FS303) SHALL BE USED.

**TYPICAL TAP SERVICE PIPING (CONT'D)**  
STANDARD DRAWING NO.17

**ELEVATION**

**TAPPING SLEEVE AND VALVE IN 8" DIA. VAULT**

**NOTES:**

1. ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MAOWRAP OR EQUAL
2. RUBBER GASKETED BOOT IS REQUIRED FOR ALL PENETRATIONS THROUGH THE MANHOLE WALL
3. INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED
4. THE CONTRACT UNIT PRICE FOR THE VARIOUS SIZES OF TAPPING SLEEVE AND VALVE IN 8" DIA. VAULT SHALL INCLUDE THE COST OF FURNISHING AND PLACING SAND OR GRAVEL OR CRUSHED STONE AND COST OF FURNISHING AND PLACING THE TYPE FRAME & CLOSED LID AS SPECIFIED ON PLANS
5. STAINLESS STEEL SHABLE EQUAL TO CASCADE MODEL 6022 OR EQUIVALENT (FORD = FS303) SHALL BE USED.

**ELEVATION**

**TYPICAL VALVE BOX INSTALLATION**

**NOTES:**

- 1. ALL JOINTS NEED TO BE EXTERNALLY WRAPPED WITH MAOWRAP OR EQUAL
- 2. RUBBER GASKETED BOOT IS REQUIRED FOR ALL PENETRATIONS THROUGH THE MANHOLE WALL
- 3. INTERNAL/EXTERNAL CHIMNEY SEALS ARE REQUIRED
- 4. THE CONTRACT UNIT PRICE FOR THE VARIOUS SIZES OF TAPPING SLEEVE AND VALVE IN 8" DIA. VAULT SHALL INCLUDE THE COST OF FURNISHING AND PLACING SAND OR GRAVEL OR CRUSHED STONE AND COST OF FURNISHING AND PLACING THE TYPE FRAME & CLOSED LID AS SPECIFIED ON PLANS
- 5. STAINLESS STEEL SHABLE EQUAL TO CASCADE MODEL 6022 OR EQUIVALENT (FORD = FS303) SHALL BE USED.

**TYPICAL VALVE BOX INSTALLATION**  
STANDARD DRAWING NO.14

**DATE**

1	3/14/2017	PER VILLAGE REVIEW
2	3/20/2017	PER VILLAGE REVIEW
3	4/19/2017	PER VILLAGE REVIEW
4	4/19/2017	PER VILLAGE REVIEW
5		

**DETAIL SHEET**

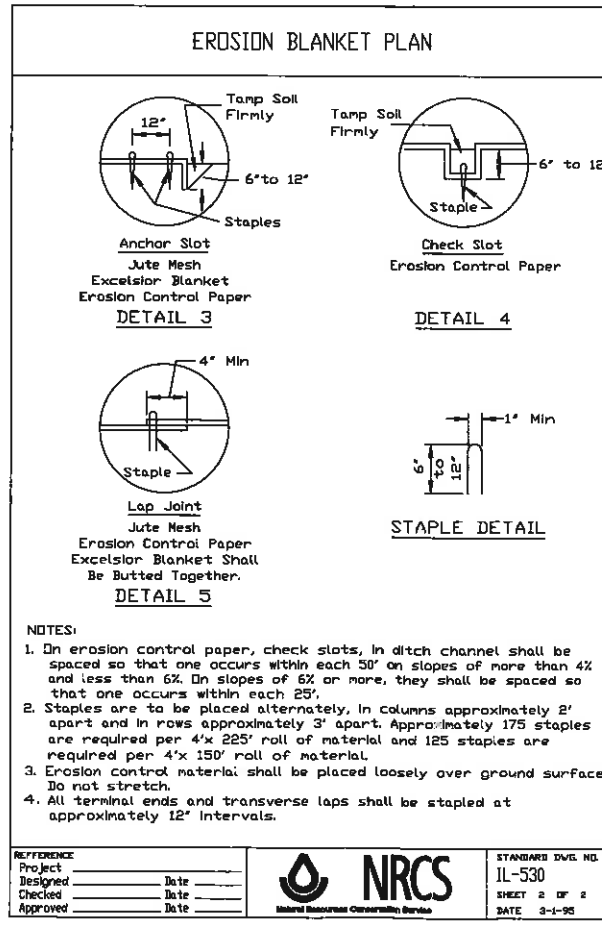
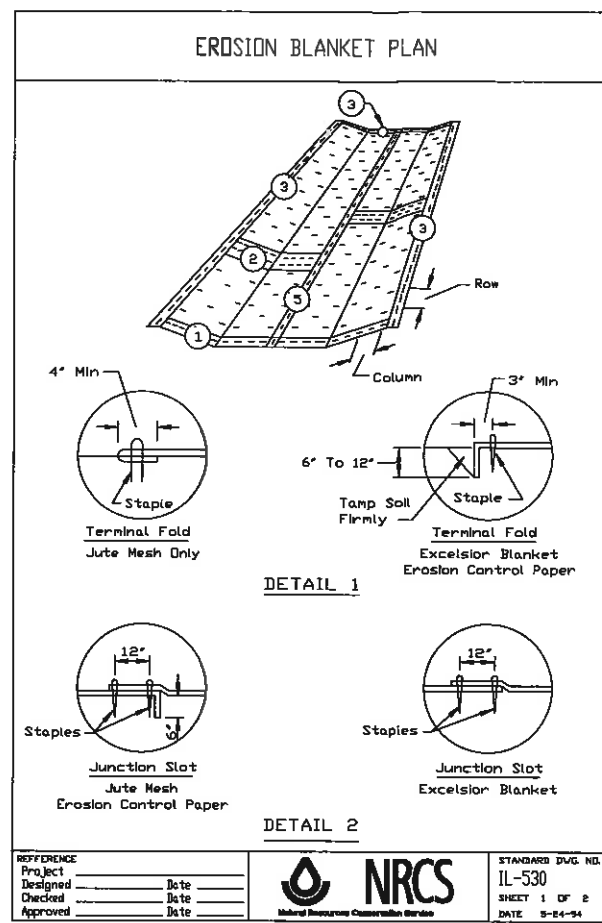
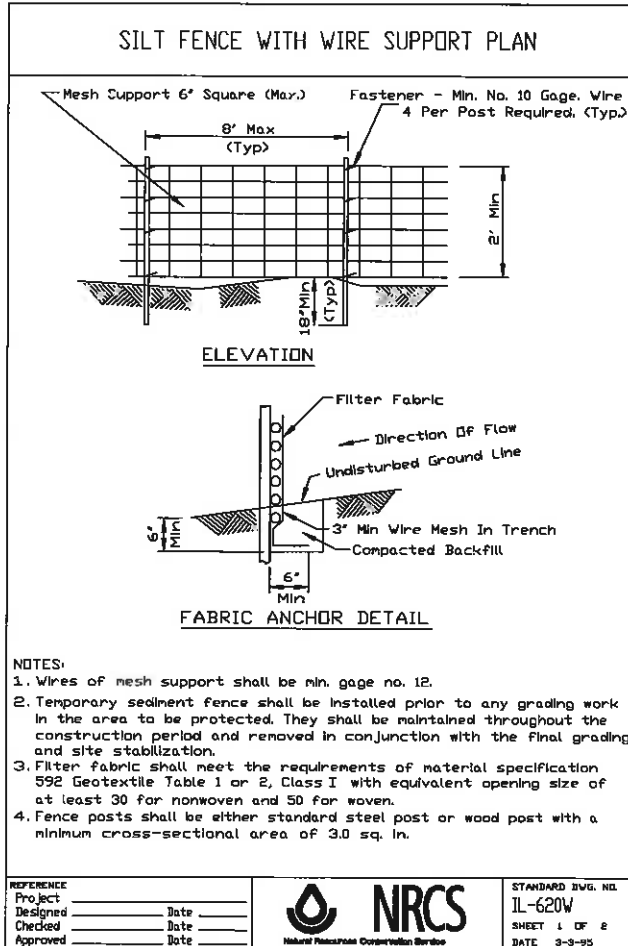
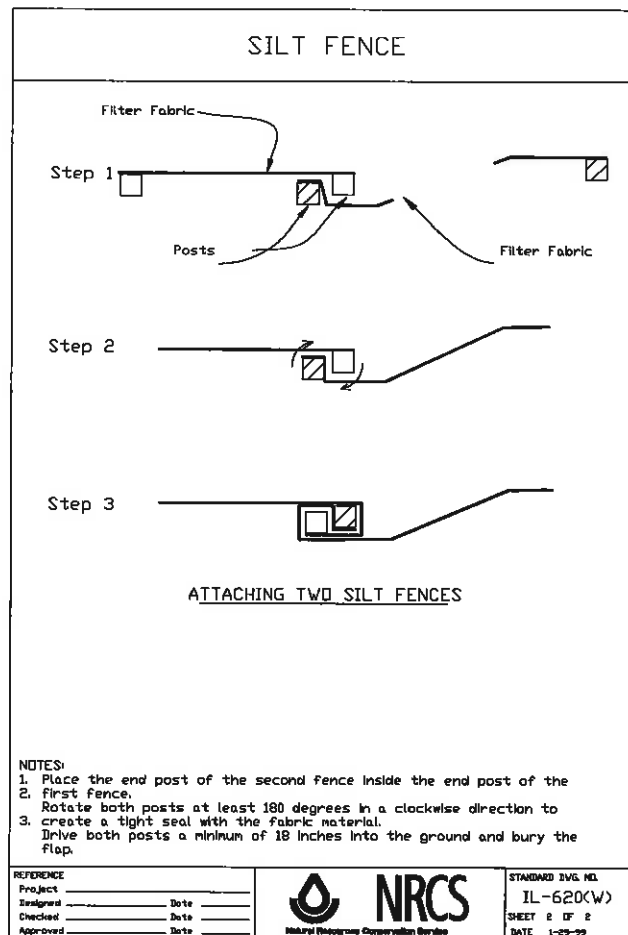
**CHICAGO GUN CLUB**  
**WILLOWBROOK, ILLINOIS**

**Morris Engineering, Inc.**  
Civil Engineering • Consulting  
Land Surveying  
515 Waukegan Road, Suite 100, Willowbrook, IL 60522  
Phone: (630) 271-0770  
Fax: (630) 271-0774  
Website: www.mecvl.com

**FIELD CHECK:** GB  
**DRAWN BY:** CJS  
**CHECKED BY:** AS  
**APPROVED BY:** AR  
**DATE:** 11/07/2016  
**SCALE:** HORIZ: NONE  
VERT: NONE

**SHEET**  
**8**  
OF 9 SHEETS  
PROJ # 16-PR-2003





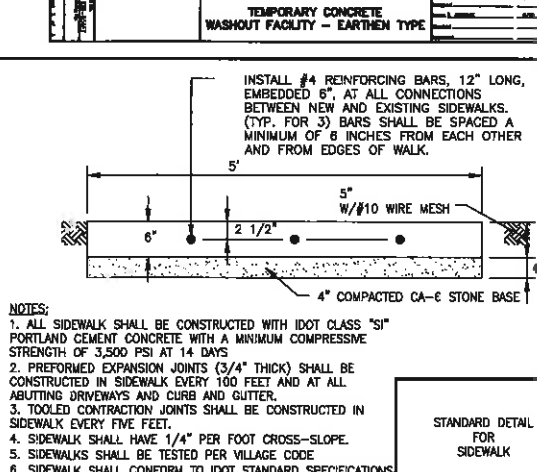
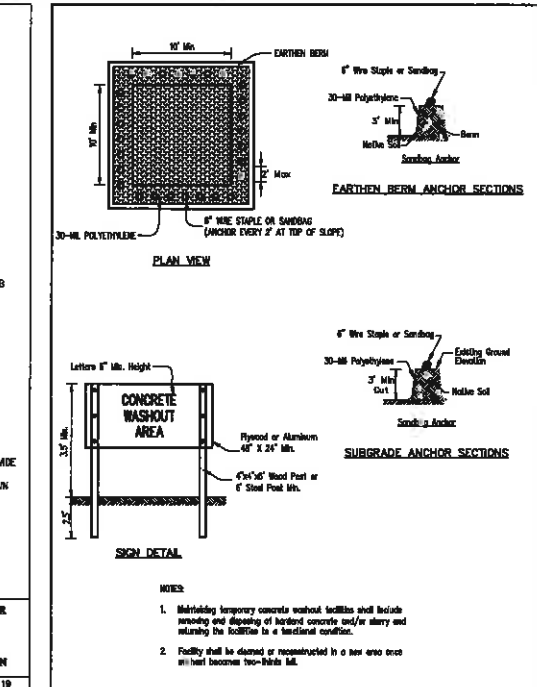
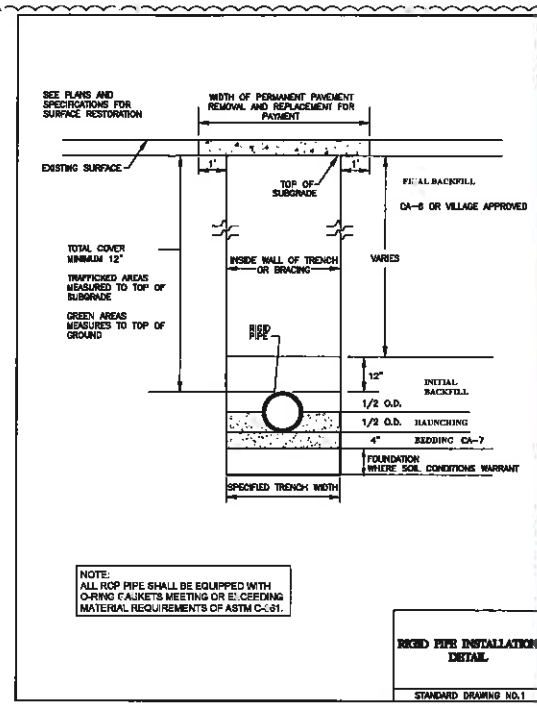
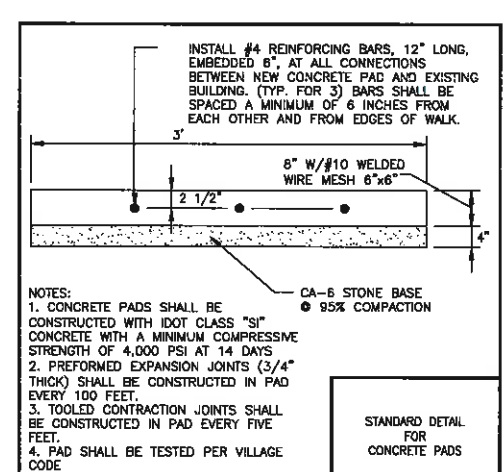
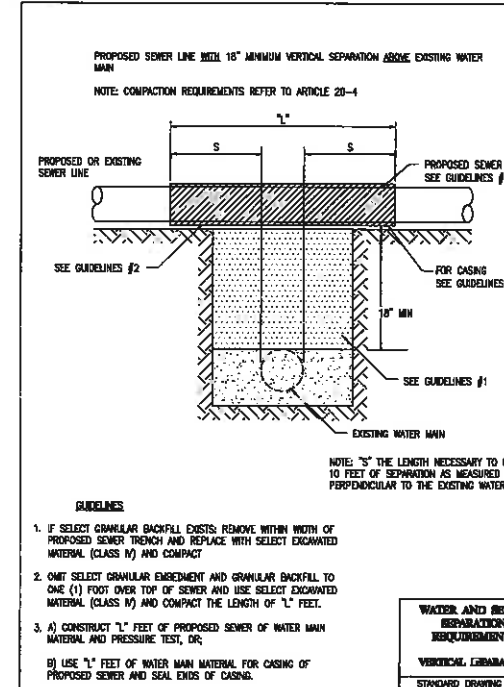
Wet to Mesic Prairie with Flowers Mix - to be planted within the Bioswale

Scientific Name	Common Name	Per sq. yd.
Andropogon gerardii	Big Bluestem Grass	1.500
Aster sp.	Milkweed	0.003
Aster laevis	Smooth Blue Aster	0.016
Aster novae-angliae	New England Aster	0.031
Aster praealtus	Willow Aster	0.031
Calamagrostis canadensis	Blue Joint Grass	0.063
Carex acutostachya	Large Yellow Fox Sedge	0.125
Carex bebbii	Bebb's Oval Sedge	0.125
Carex nemoralis	Spreading Oval Sedge	0.125
Carex vulpinoidea	Brown Fox Sedge	0.125
Cassia fasciculata	Partridge Pea	0.250
Dryas canadensis	Canada Wild Rye	1.000
Epilobium ciliatum	Chenopium Willow Herb	0.015
Epilobium perfoliatum	Common Roseweed	0.015
Hypericum pycnanthum	Gravel St. John's Wort	0.063
Isis virginica strepera	Blue Flag	0.125
Liatris pycnostachya	Prairie Bleeding Star	0.313
Liatris spicata	Marsh Bleeding Star	0.125
Labelle sphillonia	Gravel Blue Lobelia	0.031
Mimulus ringens	Monkey Flower	0.031
Morone latifolia	Wild Bergamot	0.063
Parthenium integrifolium	Wild Quinine	0.125
Pelostemum purpureum	Purple Prairie Clover	0.250
Physostegia virginiana	Obsidian Plant	0.063
Pycnanthemum virginicum	Common Mountain Mint	0.063
Rudbeckia hirta	Black-Eyed Susan	0.250
Rudbeckia hirta	Black-Eyed Susan	0.250
Scirpus atrovirens	Dark Green Rush	0.500
Silphium laciniatum	Comfrey Plant	0.188
Silphium perfoliatum	Cup Plant	0.250
Solidago rigida	Riddell's Goldenrod	0.063
Sorghastrum nutans	SHR Goldenrod	0.125
Spartina pectinata	Indian Grass	1.000
Veronica fasciculata	Prairie Cord Grass	0.500
Veronica fasciculata	Common Ironweed	0.031
Veronica fasciculata	Culver's Root	0.063
Zizia aurea	Golden Alexander	0.031

Total 8.925

BIORETENTION SWALE SOIL SHALL CONSIST OF 60% COARSE SAND AND 40% COMPOST.

BIORETENTION SWALE



DATE

DATE	PER VILLAGE REVIEW	PER VILLAGE REVIEW	PER VILLAGE REVIEW	PER VILLAGE REVIEW	PER VILLAGE REVIEW
1	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017
2	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017
3	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017
4	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017
5	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017
6	3/14/2017	3/14/2017	3/14/2017	3/14/2017	3/14/2017

DETAIL SHEET

CHICAGO GUN CLUB

WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.

Civil Engineering • Consulting

Land Surveying

515 Warrenville Road, Suite 100, IL 60156

Phone: (630) 271-0770

Surveys: (630) 271-0529

PA: (630) 271-0774

Website: www.morriseng.com

FIELD CHECK: GS

DESIGN BY: CJS

CHECKED BY: AS

APPROVED BY: AR

DATE: 11/07/2016

SCALE: HORIZ. NONE

VERT. NONE

SHEET

9

OF 9 SHEETS

PROJ # 16-PP-2003

Planning Commission

PROJECT NUMBER 161107\_05\_02

DATE 03.13.2017

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60527



VICINITY MAP



PROJECT DIRECTORY

LAND OWNER  
TGC PROPERTY, LLC  
321 CENTER STREET  
HILLSDALE, ILLINOIS 60162

PETITIONERS  
TGC PROPERTY, LLC  
321 CENTER STREET  
HILLSDALE, ILLINOIS 60162  
- AND -  
THE CHICAGO GUN CLUB, LLC  
1525 LEE AVENUE  
DOWNERS GROVE, ILLINOIS 60515

ARCHITECT  
DAMIAN FARRELL DESIGN GROUP PLLC  
359 METTIE DRIVE, SUITE 4A  
ANN ARBOR, MICHIGAN 48103  
PH: 734.505.1351

CIVIL ENGINEER  
MORRIS ENGINEERING, INC.  
516 WARRENVILLE ROAD  
LITTLE, ILLINOIS 60532  
PH: 630.271.0770

SURVEYOR  
ROAKE AND ASSOCIATES, INC.  
1884 QUINCY AVENUE, SUITE 100A  
NAPERVILLE, ILLINOIS 60540  
PH: 630.555.4400 x 210

LANDSCAPE ARCHITECT  
DAVID R. McCALLUM ASSOCIATES, INC.  
350 NORTH MILWAUKEE AVENUE  
LIBERTYVILLE, ILLINOIS 60048  
PH: 847.362.0209

TRAFFIC CONSULTANT  
KENIG, LINDGREN, O'HARA, ABOONA, INC.  
9575 WEST HIGGINS ROAD, SUITE 400  
ROSELAWN, ILLINOIS 60018  
PH: 847.518.9990

LIGHTING CONSULTANT  
KSA LIGHTING AND CONTROLS  
1220 CENTRAL AVENUE  
HAWG RIVER PARK, ILLINOIS 60133

GENERAL CONTRACTOR  
TBD

PROJECT SUMMARY

PROJECT DESCRIPTION  
THE PROPOSED PROJECT IS A TWO-STORY, 31,000 sq. ft. MIXED USE FACILITY WHICH INCLUDES:  
- INDOOR FIRING RANGE (16,700 sq. ft.)  
- RETAIL (5,300 sq. ft.)  
- ASSEMBLY (4,820 sq. ft.)  
- WAREHOUSE (2,760 sq. ft.)  
- OFFICES (1,636 sq. ft.)  
- CLASSROOM (190 sq. ft.)  
THE LOCATION IS A 3.4 ACRE SITE AT THE CORNER OF 79TH STREET AND FRONTAGE ROAD IN THE VILLAGE OF WILLOWBROOK, ILLINOIS. ALL VEHICULAR ACCESS IS TO BE VIA A DRIVEWAY ON FRONTAGE ROAD. THIS PROJECT PROPOSAL INCLUDES PARKING FOR 129 CARS (INCLUDING 5 BARRIER-FREE SPACES) AND 1 LOADING ZONE.

SITE DATA

PARCEL I.D.	09-25-402-029 09-28-402-018		
ZONING DISTRICT	EXISTING: B-3, GENERAL BUSINESS PROPOSED: B-4, HIGHWAY AND SERVICE BUSINESS DISTRICT		
SITE AREA	EXISTING: 3.4 acres (148,648 sq. ft.) REQD (for B-4): 2.0 acres min. (87,120 sq. ft.)		
REQUIRED SETBACKS	FRONT YARD: 100 ft. INT. SIDE YD: 40 ft. EXT. SIDE YD: 80 ft. REAR YARD: 40 ft. MAX ALLOW. HEIGHT: 35 ft. MIN. LOT COVERAGE: 50%	PROPOSED SETBACKS FRONT YARD: 100 ft. INT. SIDE YD: 57.6 ft. EXT. SIDE YD: 79 ft. REAR YARD: 66 ft. PROPOSED HEIGHT: 34 ft. PROPOSED LOT COVERAGE: 17%	
SITE SIGNAGE REQUIREMENTS	MIN. SETBACK: 6 ft. MAX. HEIGHT: 24 ft. MIN. SIGN SURFACE: 400 sq. ft.	PROPOSED SITE SIGNAGE SIGN SETBACK: 5 ft. PROP. HEIGHT: 12 ft. PROPOSED SIGN SURFACE: 224 sq. ft. (total of both sides)	
PARKING CALCULATION	SPACE INDOOR FIRING RANGE RETAIL JEEP RETAIL ASSEMBLY (LOUNGE) WAREHOUSE OFFICES CLASSROOM OFFICE/LOBBY	QTY. 32 lamps 4,150 sq. ft. 1,020 sq. ft. 3,750 sq. ft. 2,000 sq. ft. 1,300 sq. ft. 30 seats 2,800 sq. ft.	REQUIREMENT 2 spaces per lamp 64.00 spaces 4 spaces per 1,000 sq. ft. 16.52 spaces 1 space per 400 sq. ft. 2.65 spaces 1 space per 225 sq. ft. 16.87 spaces 1 space per 1.5 workers 2.00 spaces 1 space per 225 sq. ft. 6.87 spaces 1 per 3 seats 10.00 spaces 1 per 280 sq. ft. 11.20 spaces

SHEET INDEX

00-GENERAL  
T1.0 TITLE SHEET, MAP + SHEET INDEX

01-ARCH  
A1.0 BUILDING PLANS  
A2.0 ELEVATIONS  
A2.1 SIGNAGE  
A3.0 PERSPECTIVES AND MATERIAL NOTES  
A3.1 MECH. SCREEN MATERIAL NOTES

02-SURVEY  
C1.0 SURVEY

03-CIVIL  
1 COVER SHEET  
2 GENERAL NOTES & SPECIFICATIONS  
3 EXISTING CONDITIONS & DEMOLITION PLAN  
4 GRADING PLAN  
5 SWPP & EROSION CONTROL PLAN  
7 DETAILS  
8 DETAILS  
9 DETAILS  
6 SITE PLAN

04-LANDSCAPE  
L1.0 LANDSCAPE PLAN  
L2.0 TREE INVENTORY

05-PHOTOMETRIC  
E1.0 PHOTOMETRIC SITE PLAN  
E1.1 SIGN ELEVATION  
E1.2 CUT SHEETS

SITE PLAN REVIEW

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60527

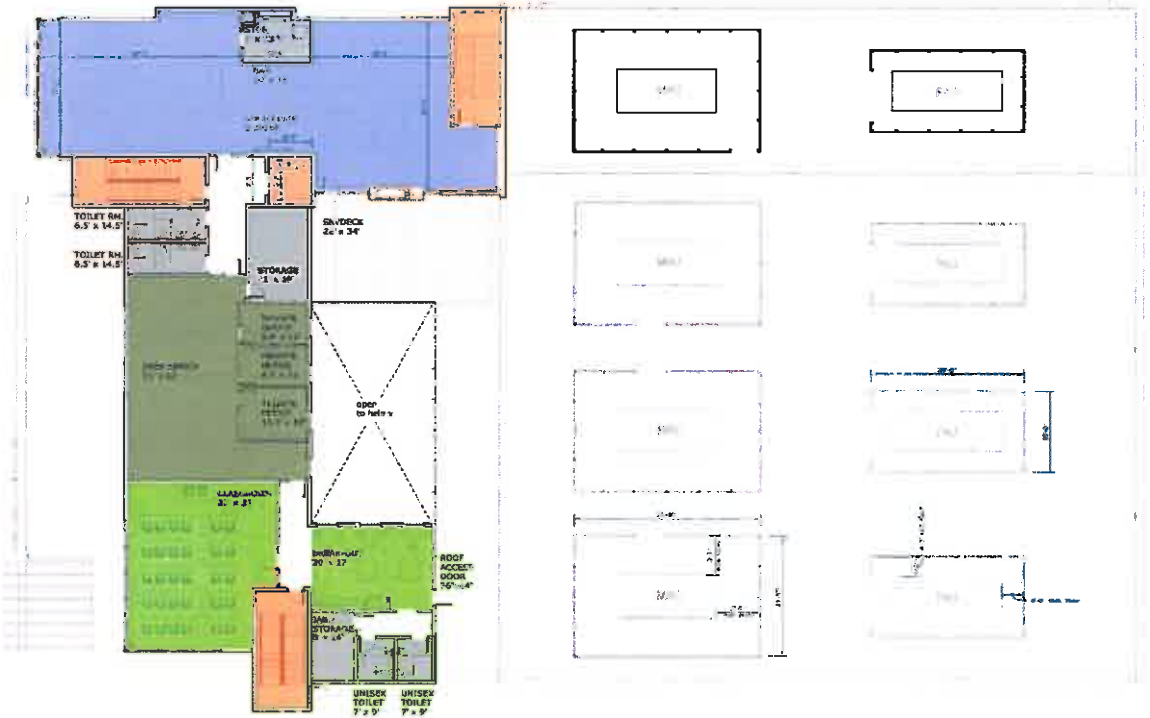
DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

TITLE SHEET, MAP +  
SHEET INDEX

T1.0

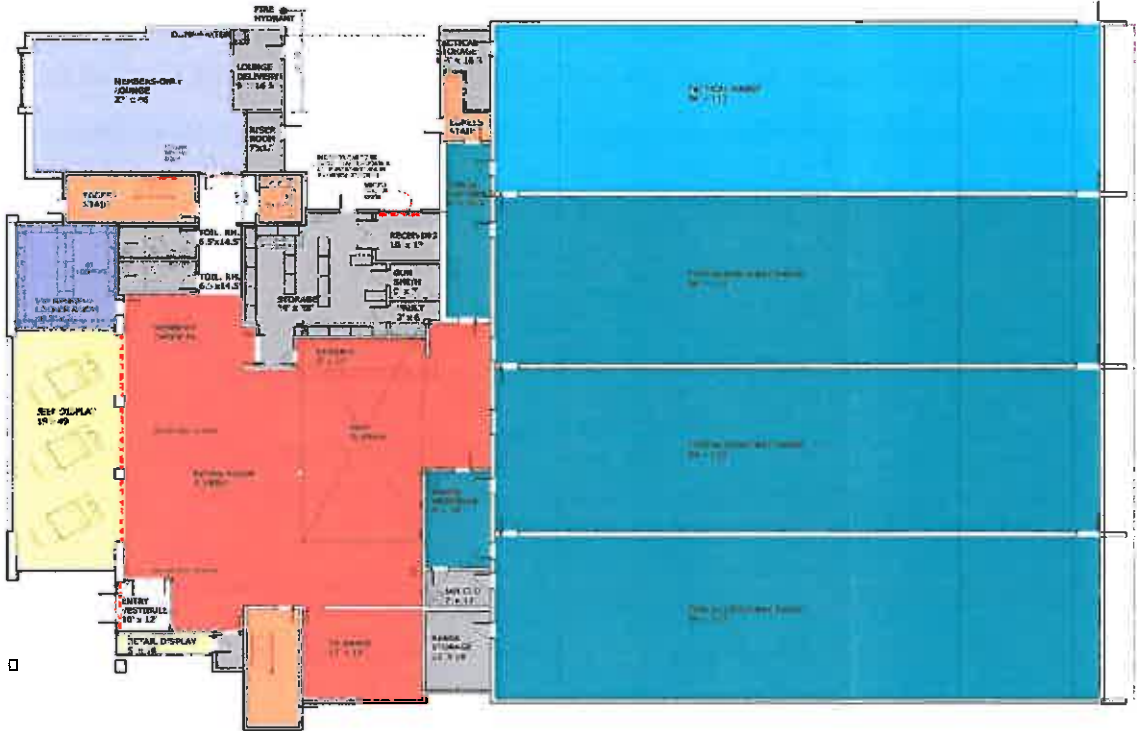


NOTE:  
ENTIRE BUILDING TO BE SPRINKLED



② Second Floor Plan  
1/16" = 1'-0"

NOTE:  
ENTIRE BUILDING TO BE SPRINKLED



① First Floor Plan  
1/16" = 1'-0"

SITE PLAN REVIEW

DATE  
04.05.17

DESIGN  
DRAWN  
PROJECT NUMBER

THE CHICAGO GUN CLUB

70TH STREET AND FRONTAGE RD.-D  
WILLOWBROOK, ILLINOIS 60527

DESCRIPTION  
Planning Commission

Designer

Author

161107\_05\_02

BUILDING PLANS

A1.0

Damian Farrell Design Group PLLC

259 METTY DRIVE, SUITE 40  
ANN ARBOR, MI 48106  
Tel : 734.994.1331  
Fax : 734.211.2553

LANDSCAPE ARCHITECT OF RECORD

STRUCTURAL ENGINEER OF RECORD

CIVIL ENGINEER OF RECORD

MEP ENGINEER OF RECORD

ARCHITECT OF RECORD



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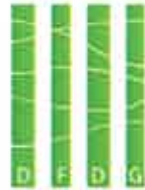


SITE PLAN REVIEW

DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

ELEVATIONS

A2.0



Damian Farrell Design Group PLLC

350 LUTHER DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
PH 734.761.1371  
FAX 734.761.2553

LANDSCAPE ARCHITECT OF RECORD

STRUCTURAL ENGINEER OF RECORD

CIVIL ENGINEER OF RECORD

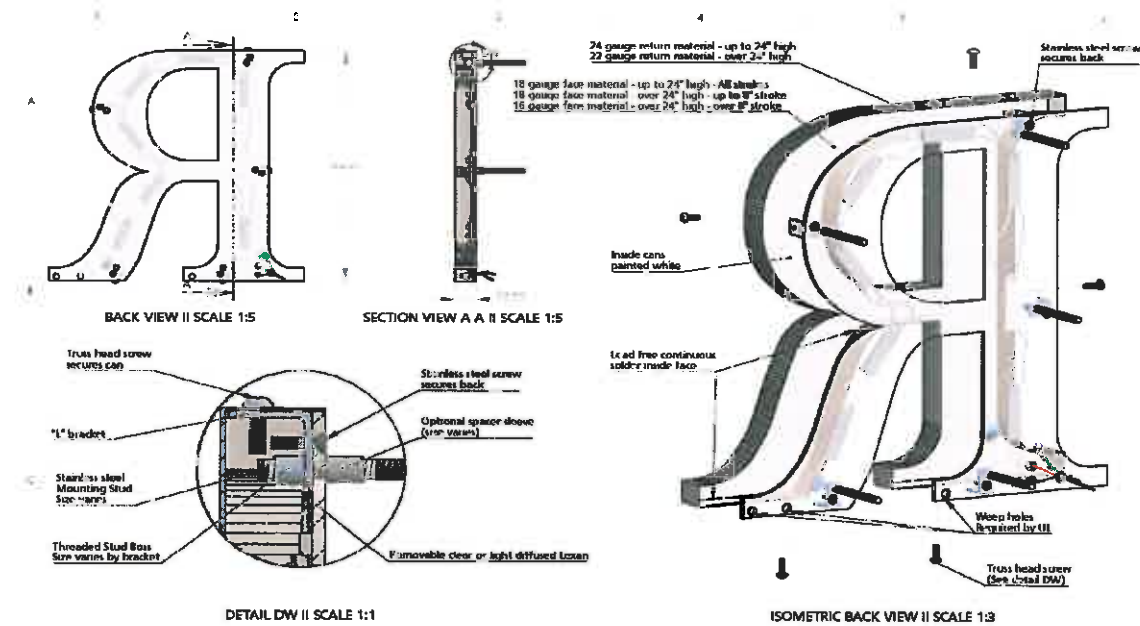
MEE ENGINEER OF RECORD

ARCHITECT OF RECORD

THE CHICAGO GUN CLUB

70TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60097

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**BACK OPTION:**  
Clear lens: 6-24" high - 0.118" thick; over 24" - 0.236" thick  
Light diffused lens: 0.177" thick

**MATERIAL OPTIONS:**  
Standard - 316 polished stainless steel  
Optional - 316 polished stainless steel (more corrosion resistant)  
Optional - 316 polished stainless steel with titanium coating



**METAL FACE WITH BACK - LED REMOVABLE CAN MOUNT**

**STAINLESS STEEL**

**FABRICATED METAL**

FINISH: POLISHED, SATIN, BRUSH, OR AS REQUESTED

QUANTITY: 1 OF 1

Typical Signage Construction

Illumination to be White LED with light diffused lens back option



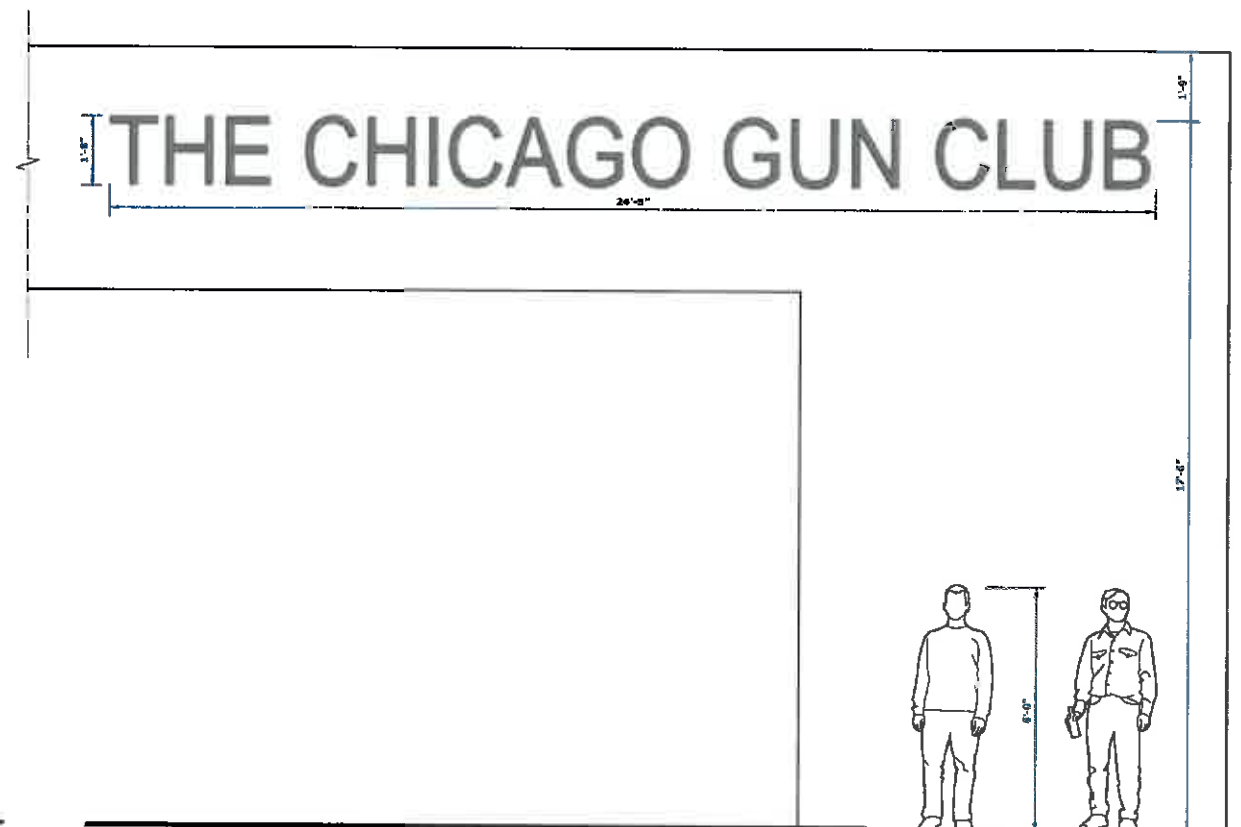
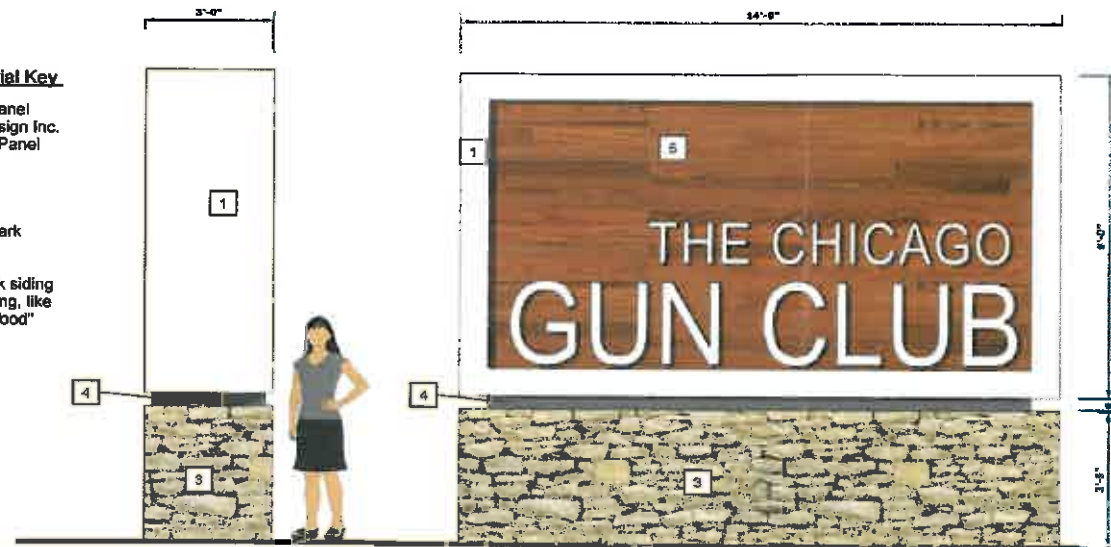
Sample Installation



Finish Color:  
"Old Copper"

#### Monument Sign Material Key

- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System, White.
- 3 Stone veneer
- 4 Aluminum fascia, dark bronze anodized
- 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.



Partial West Elevation  
1/8" = 1'-0"

SITE PLAN REVIEW

THE CHICAGO GUN CLUB

79TH STREET AND FRONTAGE ROAD  
WILLOWBROOK, ILLINOIS 60027

DATE  
04.06.17

DESCRIPTION  
Planning Commission

DESIGN

Designer

DRAWN

Author

PROJECT NUMBER

161107\_05\_02

SIGNAGE

A2.1



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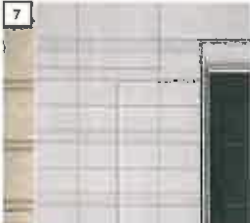


Damian Farrell Design Group PLLC  
1501 LUTHER DRIVE, SUITE 4A  
ANN ARBOR, MI 48102  
Tel: 734/991-1311  
Fax: 734/231-2953

LANDSCAPE ARCHITECT OF RECORD	
ARCHITECTURAL ENGINEER OF RECORD	
CIVIL ENGINEER OF RECORD	
MEP ENGINEER OF RECORD	
ARCHITECT OF RECORD	
THE CHICAGO GUN CLUB	
7011 STREET AND FRONTAGE ROAD WILLOSBROOK, ILLINOIS 60527	
DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_01

PERSPECTIVES AND  
MATERIAL NOTES

A3.0



Material Key Notes

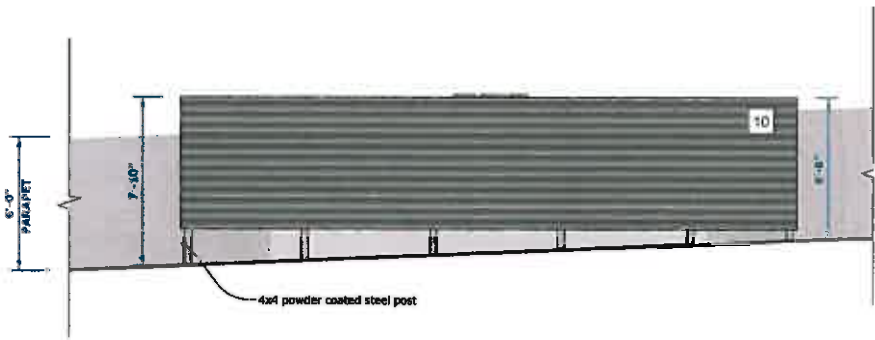
- 1 Architectural wall panel system, like Dri-Design Inc. Painted Aluminum Panel System, White.
- 2 Fiber-cement siding, like Nichiha "Architectural Block" series, Mocha.
- 3 Stone veneer
- 4 Aluminum fascia, dark bronze anodized
- 5 Smooth cedar plank siding or fiber-cement siding, like Nichiha "Vintage Wood" series, Cedar.
- 6 Steel pergola structure, painted dark bronze
- 7 Pre-cast concrete panel
- 8 Ground-face block
- 9 Fiber-cement soffit panels

Material Key

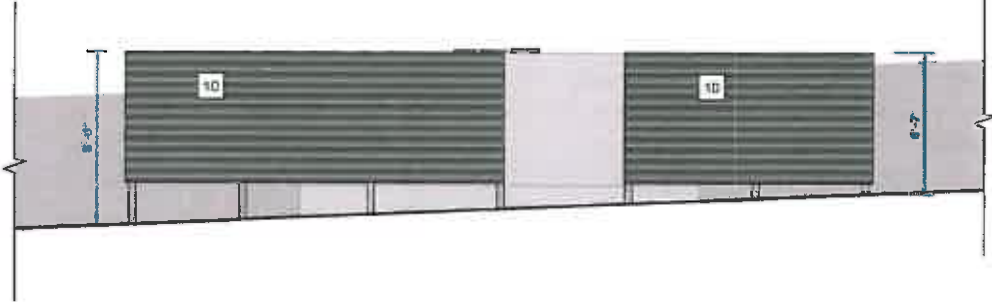
- 10 Metal Louver Mechanical Screen. Finish color TBD.



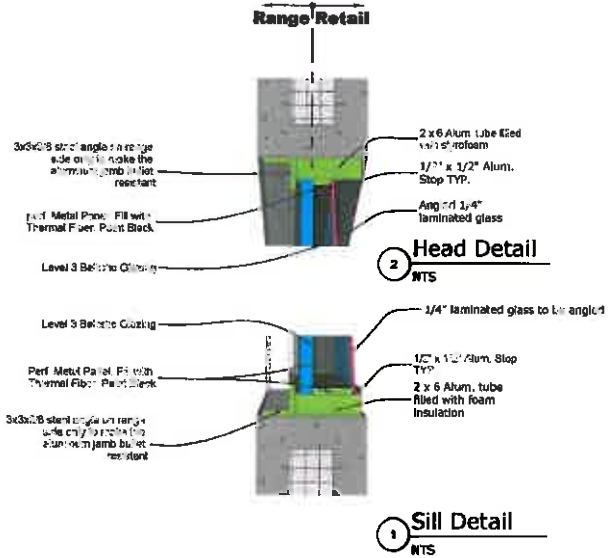
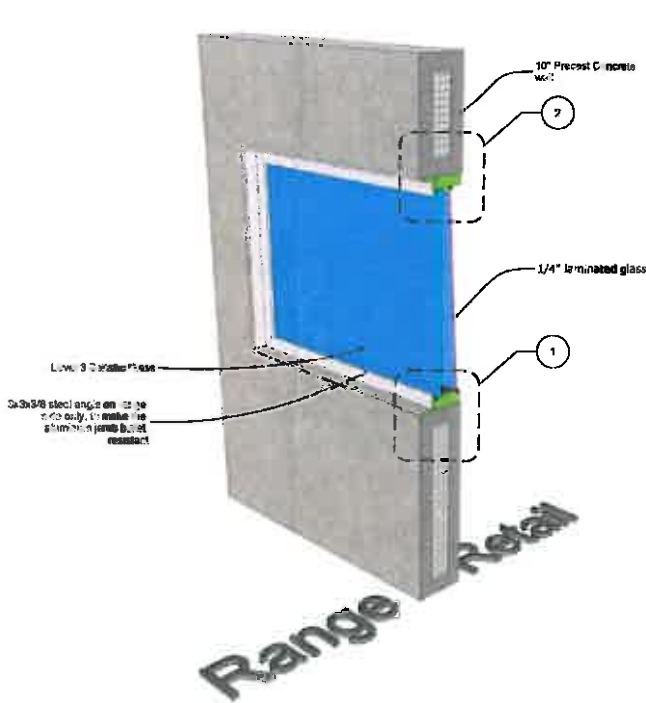
NOTE:  
PARAPET HEIGHT IS TYPICAL FOR ALL RANGES EXCEPT TACTICAL.  
TACTICAL RANGE HEIGHT PARAPET IS 1'-6"



FAU Mechanical Unit Screen  
1/4" = 1'-0"



MAU Mechanical Unit Screen  
1/4" = 1'-0"



- Notes:
- Perforated Metal Panel: .063 thick, 1/4" round holes, 3/8" staggered pattern. To be painted to match jamb.
  - Level 3, Ballistic Glass, proposed as Glass-Clad Polycarbonate

Ballistic/Acoustic Window Sketch

SITE PLAN REVIEW

DATE	DESCRIPTION
04.05.17	Planning Commission
DESIGN	Designer
DRAWN	Author
PROJECT NUMBER	161107_05_02

MECH. SCREEN  
MATERIAL NOTES

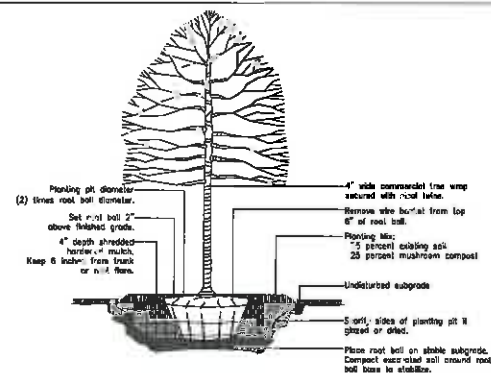
A3.1



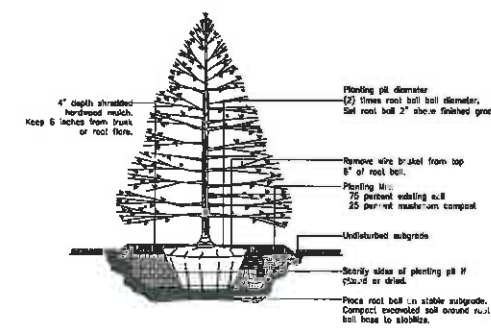
Damian Farrell Design Group PLLC  
1901 ETT DR E SUITE 4A  
ANN ARBOR, MI 48103  
TEL 734.998.1351  
FAX 734.233.1351

LANDSCAPE ARCHITECT OF RECORD
ARCHITECTURAL ENGINEER OF RECORD
CIVIL ENGINEER OF RECORD
MVP ENGINEER OF RECORD
ARCHITECT OF RECORD
THE CHICAGO GUN CLUB WITH STREET AND FRONTAGE ROAD WILLOW BROOK, ILLINOIS 60027

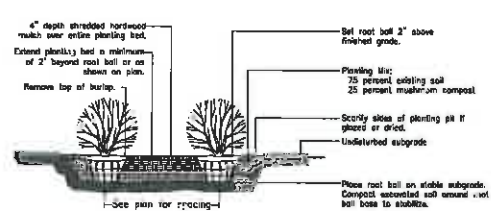




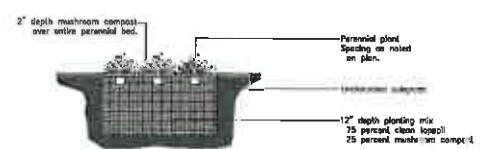
#### Deciduous Tree Planting



#### Evergreen Tree Planting



#### Shrub Planting



#### Perennial Planting

#### Landscape Notes

##### General Notes

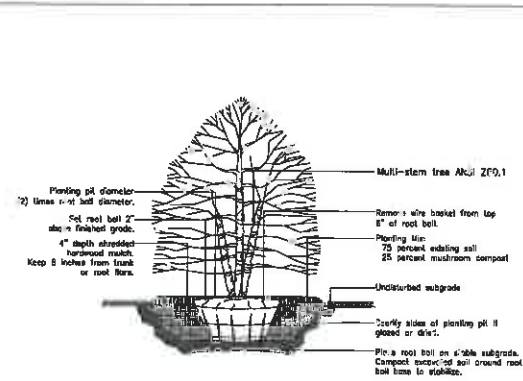
- The Landscape Contractor shall verify locations of all underground utilities prior to digging and is required to contact JLLIE (1.800.882.0123) and any other public or private agency, as necessary, for utility location, 48 hours prior to construction.
- The Contractor shall be responsible for all materials and quantities as required to complete the work in accordance with the plans and specifications. The Contractor shall notify the Construction manager and the Village of Willowbrook, in writing, of any discrepancies or changes required to complete the work before any action may be taken. All changes or change orders must be approved by the Construction Manager and/or Owner before any changes are executed.
- No plants are to be changed or substituted without the approval of the Landscape Architect and the Village of Willowbrook.
- All necessary site work permits and fees shall be obtained and paid for by the Contractor prior to the commencement of work.

##### Planting Notes

- Plant material sizing, branching and ball sizes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant tag represent minimum requirements.
- All plant material shall be inspected and approved by the Owner, or the Owner's representative prior to installation. Undersized or substituted plant material will not be approved by the Village of Willowbrook.
- All areas not shown on plantings shall be retained and sized or seeded as noted.
- Contractor shall grade all landscaped areas to within 0.05' of finished grade.
- All beds and tree rings shall be spaced edged upon final placement of sod.
- Contractor shall remove all twigs, logs or rope from plant material before final completion of the work.
- Contractor shall supply an initial watering of all plant material after placement in ground.

##### Parkway Tree Notes

- Trees shall be planted to avoid utility conflicts in the parkway.
- Trees shall be set back a minimum of ten feet (10') horizontally from utility structures, including, but not limited to, manholes, valve vaults, water bases, fire hydrants, transformers and catch cans. Approval by the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- Areas disturbed within the parkway shall be restored and seeded.
- For the Village of Willowbrook, requirements, the owner shall integrate the parkway (R.O.W.) along Frontage Road, Separated, an "Integrate" plan shall be submitted to the Village for review prior to approval of a project permit.



#### Multi-stem Tree Planting

Botanical Name	Common Name	Lb./Ac.	Total Lb./Ac.
<i>Aster americanus</i>	Sweet Flag	0.250	
<i>Alisma subcordatum</i>	Water Plantain	0.250	
<i>Carex comosa</i>	Butterbrush Sedge	0.275	
<i>Cephalanthus occidentalis</i>	Button Bush	0.125	
<i>Echinochloa crusgalli</i>	Barnyard Grass	2.000	
<i>Elaeagnus angustifolia</i>	Marish Spike Rush	0.063	
<i>Elaeagnus species</i>	Spike Rush Species	0.063	
<i>Glycerhiza gracilis</i>	Road Mow Grass	0.125	
<i>Hibiscus laurifolius</i>	Halberd Leafed Rose Mallow	0.063	
<i>Iris virginica</i>	Blue Flag Iris	0.250	
<i>Juncus effusus</i>	Common Rush	0.125	
<i>Juncus species</i>	Rush Species	0.188	
<i>Leptocarpus</i>	Rice Cut Grass	0.500	
<i>Pontedericia cordata</i>	Pickersweed	0.063	
<i>Sagittaria latifolia</i>	Common Arrowhead	0.500	
<i>Scirpus acutus</i>	Hard Stem Bulrush	0.063	
<i>Scirpus flaccidus</i>	River Bulrush	0.125	
<i>Scirpus pungens</i>	Chairmoke's Rush	0.125	
<i>Scirpus robustus</i>	Great Bulrush	0.250	
<i>Spergularia europaeum</i>	Star Weed	0.100	
<i>Spartina pectinata</i>	Card Grass	0.375	
<b>Total:</b>			<b>5.978</b>

Coar with NAG S75BN Erosion Control Blanket (biodegradable).

#### Short Grass Prairie Seed Mix

Botanical Name	Common Name	Oz./Ac.	Total Lb./Ac.
<i>Andropogon scoparius</i>	Little Bluestem	240	
<i>Bouteloua curtipendula</i>	Side Oats Grass	56	
<i>Elymus canadensis</i>	Canada Wild Rye	24	
<b>Total Grasses:</b>		<b>320</b>	<b>20</b>

Botanical Name	Common Name	Oz./Ac.	Total Lb./Ac.
<i>Asclepias tuberosa</i>	Butterfly Milkweed	16	
<i>Coreopsis palmata</i>	Prairie Coreopsis	6	
<i>Dalia purpurea</i>	Purple Prairie Daisy	6	
<i>Echinacea purpurea</i>	Pale Purple Coneflower	16	
<i>Echinacea sanguinea</i>	Purple Coneflower	16	
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	4	
<i>Physostegia virginiana</i>	Obsidian Plant	4	
<i>Ruscus hirta</i>	Black-Eyed Susan	8	
<i>Tradescantia virginiana</i>	Spiderwort	8	
<b>Total Forbs:</b>		<b>80</b>	<b>5</b>
<b>Total Grasses and Forbs:</b>		<b>400</b>	<b>25</b>

Botanical Name	Common Name	Oz./Ac.	Total Lb./Ac.
<i>Avena sativa</i>	Common Oat	320	20

Applied at the rate of 25 lbs. per acre. [DRAIN with NAG S75BN Erosion Control Blanket (biodegradable).

#### Plant List

Key	Qty.	Size	Botanical Name	Common Name	Remarks
ACU	3	3"	<i>Acer glabrum</i> 'Norton'	Red Maple	BB
CEU	2	2.5"	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Common Hackberry	BB
CEU	3	3"	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Common Hackberry	BB
YES	3	2.5"	<i>Cedrela tinctoria</i> var. 'Inermis' 'Silline'	Yellow-flowered Canna	BB
UST	2	2.5"	<i>Carya virginiana</i>	Common American Hickory	BB
QUB	3	3"	<i>Quercus bicolor</i>	Swamp White Oak	BB
QUS	1	2.5"	<i>Quercus muhlenbergii</i>	Black-Eyed Susan	BB
TAX	4	2.5"	<i>Taxodium distichum</i>	Common Bald Cypress	BB
ULM	1	2.5"	<i>Ulmus x 'Morton Glasy'</i>	Triumph Elm	BB

Key	Qty.	Size	Botanical Name	Common Name	Remarks
AMC	12	6"	<i>Amelanchier canadensis</i>	Shadblow Serviceberry	BB Clump
VAL	10	6"	<i>Valeriana spiralis</i>	Wild Blackberry	BB Clump
MPP	16	6"	<i>Morus nigra</i> 'Princess'	Purple Prince Mulberry	BB Clump
SYR	4	1.5"	<i>Syringa reticulata</i>	Japanese Tree Lilac	BB

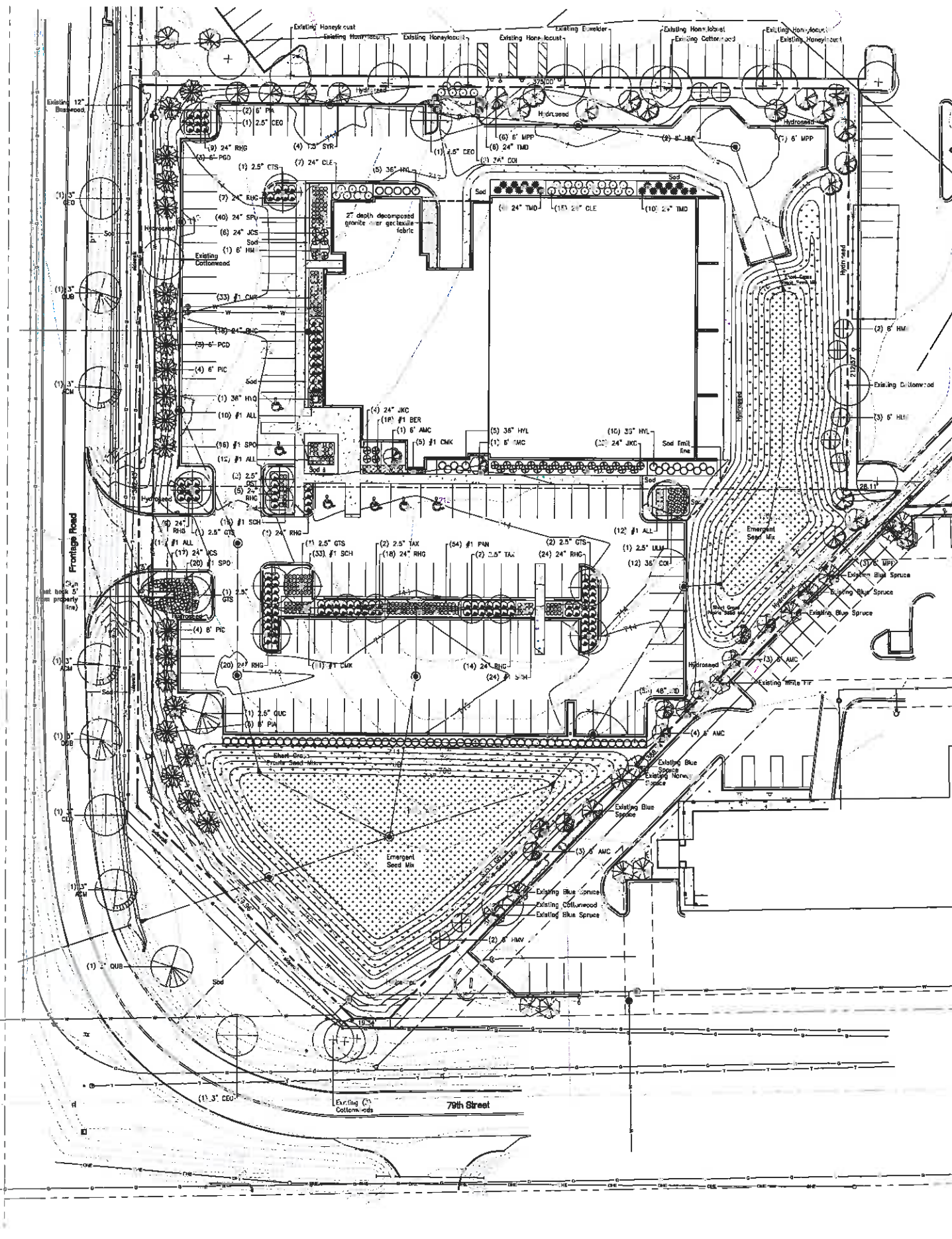
Key	Qty.	Size	Botanical Name	Common Name	Remarks
PCD	3	8"	<i>Picea canadensis</i> 'Densata'	Black Hills Spruce	BB
PIA	7	8"	<i>Picea canadensis</i>	Norway Spruce	BB
PIA	3	8"	<i>Picea pungens</i>	Colorado Green Spruce	BB

Key	Qty.	Size	Botanical Name	Common Name	Remarks
CLE	22	24"	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summerweet	BB
COI	18	36"	<i>Cornus sericea</i> 'Lamini'	Red-twig Dogwood	BB
HYL	20	36"	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	BB
HYD	20	36"	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	BB
JUN	24	24"	<i>Juniperus chinensis</i> var. 'sargentii'	Sargent Juniper	BB
JUN	24	24"	<i>Juniperus chinensis</i> 'Kobold's Compact'	Kobold's Compact Juniper	BB
RNG	28	24"	<i>Rhus typhina</i> 'Glossy-Lawn'	Glossy-Lawn Fringed Sumac	BB
TMD	25	24"	<i>Taxus x media</i> 'Densiformis'	Prairie View	BB
VD	56	48"	<i>Viburnum dentatum</i> 'Autumn Jazz'	Autumn Jazz Viburnum	BB

Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	48	#1	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium	Container
BER	16	#1	<i>Bergenia ciliolata</i> 'Winter Glow'	Winter Glow Bergenia	Container
CMR	56	#1	<i>Coleragrostis caudata</i> 'Karl Foerster'	Karl Foerster Grass	Container
PAN	54	#1	<i>Panicum virgatum</i>	Switch Grass	Container
POH	33	#1	<i>Polypodium scolopendrium</i>	Little Equestrian	Container
SPQ	76	#1	<i>Sporobolus heterolepis</i>	Prairie Dropseed	Container

Note: Existing trees designated to remain are counted toward zoning requirements.

Robert Rogers Highway / State Route 83



## The Chicago Gun Club

70th Street & Frontage Road  
Willowbrook, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS

350 N. Milwaukee Avenue | Libertyville, Illinois 60069  
T 847.255.0289 | F 847.255.0284

McCALLUM  
ASSOCIATES

#### Landscape Plan

Rev.	Description	Date
4	Final Review Comments	04/18/07
3	Final Review Comments	03/15/07
2	Site Plan Modification	01/04/07
1	For Review	12/30/06

Number	45896
Scale	1" = 30'
File	45874P5A
Sheet	L10



# Tree Key

- 4+ Existing tree to remain
- 12 Existing tree to be removed

## Tree Condition Rating

RATING	DESCRIPTION	GENERAL CRITERIA
1	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
2	Good to Fair	The tree is typical of the species and/or has less than 20% deadwood in the crown, only one or two minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 30% deadwood in the crown, one or two minor problems that are not amenable to normal care, but the tree must be monitored and given special care in order to minimize the impact of future stress and to insure continued health.
4	Fair to Poor	The tree is not typical of the species and/or has significant problems such as 30-50% deadwood in the crown, serious decay or structural defect, insects, disease or other problems that can be easily corrected to the tree or create a hazardous tree if not corrected in a short period of time or if the tree is subjected to additional stress.
5	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
6	Dead	Less than 10% of the tree shows signs of life.

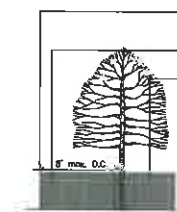
## Tree Inventory

Tag	Size	Botanical Name	Common Name	Form/Condition	Action
1	12"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
2	14"/16"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
3	10"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
4	13"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
5	14"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
6	12"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
7	15"	Acer negundo	Boxelder	3/4	To remain/Off-site
8	15"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
9	6"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
10	12"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
11	8"	Quercus bicolor	Horse Chestnut	3/3	To remain/Off-site
12	13"/15"	Populus deltoides	Cottonwood	3/3	Remove
13	8"	Populus deltoides	Cottonwood	3/3	Remove
14	10"	Populus deltoides	Cottonwood	3/3	Remove
15	6"	Populus deltoides	Cottonwood	3/3	Remove
16	4"/7"/7"	Populus deltoides	Cottonwood	3/3	Remove
17	11"	Populus deltoides	Cottonwood	3/3	Remove
18	8"	Populus deltoides	Cottonwood	3/3	Remove
19	18"	Populus deltoides	Cottonwood	3/3	Remove
20	6"	Populus deltoides	Cottonwood	3/3	Remove
21	8"/10"	Populus deltoides	Cottonwood	3/3	Remove
22	4"	Populus deltoides	Cottonwood	3/3	Remove
23	13"	Populus deltoides	Cottonwood	3/3	Remove
24	4"	Populus deltoides	Cottonwood	3/3	Remove
25	5"/7"/8"	Populus deltoides	Cottonwood	3/3	Remove
26	3"	Populus deltoides	Cottonwood	3/3	Remove
27	11"	Populus deltoides	Cottonwood	3/3	Remove
28	12"	Populus deltoides	Cottonwood	3/3	Remove
29	8"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
30	10"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
31	11"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
32	8"	Abies balsamea	White Fir	2/2	To remain/Off-site
33	8"	Picea pungens glauca	Blue Spruce	3/3	To remain/Off-site
34	8"	Picea glauca	Norway Spruce	3/3	To remain/Off-site
35	10"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
36	8"	Picea pungens glauca	Blue Spruce	2/2	To remain/Off-site
37	10"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
38	15"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39a	17"/17"	Populus deltoides	Cottonwood	3/3	To remain/Off-site
39b	14"	Populus deltoides	Cottonwood	3/3	Remove
40	13"	Populus deltoides	Cottonwood	3/3	Remove
41	10"/10"	Populus deltoides	Cottonwood	3/3	Remove
42	7"	Populus deltoides	Cottonwood	3/3	Remove
43	11"	Ulmus americana	American Elm	3/3	Remove/Off-site
44	22"	Populus deltoides	Cottonwood	3/3	Remove
45	16"/17"	Populus deltoides	Cottonwood	3/3	To remain

Tree Inventory Date: November 1, 2016

## Tree Preservation Notes

- The owner or his/her designee shall be responsible for construction and maintenance of temporary fencing, or other tree protection measures, to be used during construction.
- The Village of Willowbrook shall be notified of any failure to protect existing trees during construction as existing trees were counted toward the zoning requirement for landscaping.
- Grading and construction equipment shall be forbidden from encroaching within the drip line of a tree.
- No construction activity, movement, and/or placement of equipment or materials or spoil storage shall be permitted within the critical root zone of a protected tree or at any higher location where drainage toward the tree could conceivably affect the health of the tree. No excess soil, additional fill, liquids or construction debris shall be placed within the critical root zone of a protected tree.
- No attachments, fences, wires, other than those approved for brooding, splicing or wrapping, shall be attached to trees during the construction period.
- Grade changes shall be allowed under the drip line of any tree designated for preservation only if the trunk and branches are protected when construction must occur within the drip line area.



Wood fence posts - Secure fence to posts with wire in minimum two locations.

Temporary 4' x 4' orange plastic safety fence

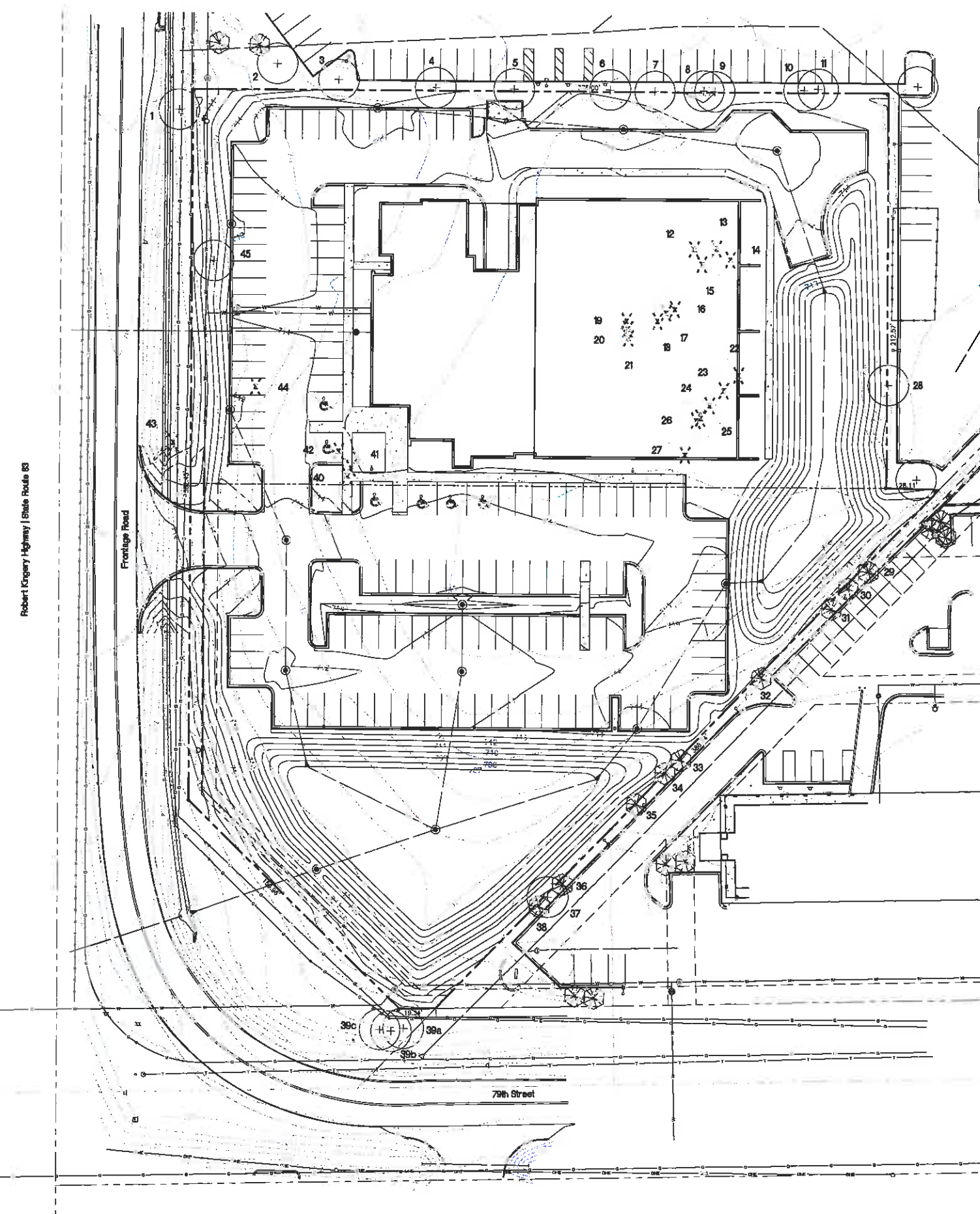
Fence at drip line of existing tree to remain or at edge of proposed improvement

NOTE: All trees are safely fenced, existing is to be moved out, planted, stored, or destroyed in the fence

Remove protective fence only after all construction work has been finished.

All tree protection fencing shall be installed prior to any site work.

## Tree Protection Fencing



# The Chicago Gun Club

79th Street & Frontage Road  
Willowbrook, Illinois

## DAVID R. McCALLUM ASSOCIATES, INC.

LANDSCAPE ARCHITECTS

330 N. Milwaukee Avenue | Libertyville, Illinois 60060

T 847.922.0000 | F 847.922.1000



## Tree Inventory

4	Village Review Comments	04/13/17
3	Village Review Comments	03/15/17
2	Site Plan Modification	01/14/17
1	For Review	12/09/16
Mark	Description	Date
Influence		

Number  
45996

Scale  
1" = 30'

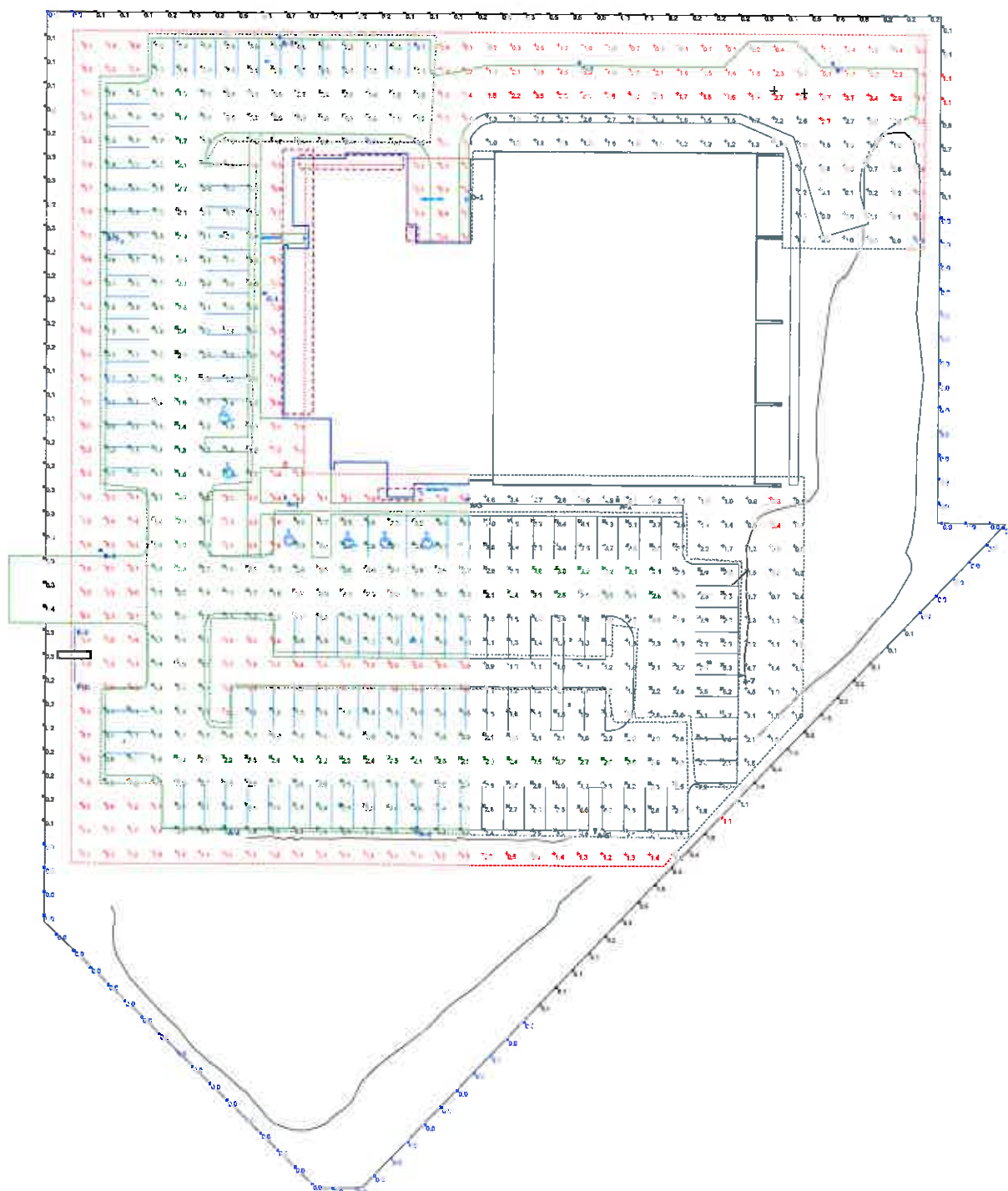
File  
45996P5A

Sheet  
L2.0

Zone	Label	Quantity	Manufacturer	Model	Notes	Label	Quantity	Manufacturer	Model	Notes
A	Uthman Lighting	7	DSX1 LED 60C 700 40K 14M MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1 LED 60C 700 40K 14M MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	131
B	Uthman Lighting	1	DSX1 LED 60C 700 40K T3H MVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1 LED 60C 700 40K T3H MVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	131
C	Uthman Lighting	1	DSX1 LED 60C 700 40K T3H MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSX1 LED 60C 700 40K T3H MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	131
D	Uthman Lighting	1	DSXW1 LED 10L 330 40K T3H MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE 13H OPTIC, 4000K, @ 330mA	LED	1	DSXW1 LED 10L 330 40K T3H MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE 13H OPTIC, 4000K, @ 330mA	LED	19.1
E	Uthman Lighting	2	DSXP1 LED P2 30K HMF	DSXP1 LED P2 30K HMF	LED	1	DSXP1 LED P2 30K HMF	DSXP1 LED P2 30K HMF	LED	42

Calc Zone	Estimate Area	Estimate Perimeter	Estimate Volume	Estimate Weight	Estimate Cost
Calc Zone Estimate Area	2.85	5.58	0.00	0.00	0.00
Calc Zone Estimate Perimeter	2.85	5.58	0.00	0.00	0.00
Calc Zone Estimate Volume	2.85	5.58	0.00	0.00	0.00
Calc Zone Estimate Weight	2.85	5.58	0.00	0.00	0.00
Calc Zone Estimate Cost	2.85	5.58	0.00	0.00	0.00

Location	Latitude	Longitude	Altitude	Area	Perimeter	Volume	Weight	Cost
1 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
2 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
3 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
4 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
5 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
6 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
7 A	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
1 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
2 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
3 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
4 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
5 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
6 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
7 B	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
1 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
2 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
3 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
4 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
5 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
6 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
7 C	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
1 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
2 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
3 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
4 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
5 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
6 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
7 D	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
1 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
2 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
3 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
4 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
5 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
6 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00
7 E	-12.25	38.01	20.00	180.00	0.00	0.00	0.00	0.00



Plan View  
Scale - 1" = 30'

**D-Series Size 1**  
LED Floodlight

**Specifications:**

- Power: 100W
- Voltage: 120V
- Beam Angle: 120°
- Color Temperature: 4000K
- Life Span: 50,000 hours

**D-Series Size 1**  
LED Floodlight

**Specifications:**

- Power: 100W
- Voltage: 120V
- Beam Angle: 120°
- Color Temperature: 4000K
- Life Span: 50,000 hours

**D-Series Size 1**  
LED Floodlight

**Specifications:**

- Power: 100W
- Voltage: 120V
- Beam Angle: 120°
- Color Temperature: 4000K
- Life Span: 50,000 hours

**D-Series Size 1**  
LED Floodlight

**Specifications:**

- Power: 100W
- Voltage: 120V
- Beam Angle: 120°
- Color Temperature: 4000K
- Life Span: 50,000 hours







Schedule										
Item	Power	Mounting	Lighting Fixture	Lighting Fixture	Power	Mounting	Lighting Fixture	Lighting Fixture		
	2	Uthoria Lighting	DSX1 LED 60C 700 40K TSM MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1 LED 60C 700 40K TSM MVOLT	16237	0.95	131
	5	Uthoria Lighting	DSX1 LED 60C 700 40K TSM MVOLT HS	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1 LED 60C 700 40K TSM MVOLT HS	32726	0.95	131
	1	Uthoria Lighting	DSX1 LED 60C 700 40K TSM MVOLT	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 3 MEDIUM OPTICS	LED	1	DSX1 LED 60C 700 40K TSM MVOLT	16610	0.95	131
	2	Uthoria Lighting	DSXW1 LED 10C 530 40K TSM MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINE, TYPE TSM OPTIC, 4000K @ 530mA	LED	1	DSXW1 LED 10C 530 40K TSM MVOLT	21159	0.95	19.1
	2	Uthoria Lighting	DSXFL LED P2 30K HMF	DSXFL LED P2 30K HMF	LED	1	DSXFL LED P2 30K HMF	Absolute	0.95	42

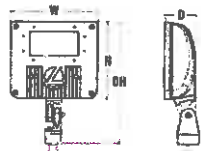


## D-Series Size 1 LED Flood Luminaire



### Specifications

SPW:	0.95
Depth:	0.13
Width:	0.13
Height:	0.13
Overall Height:	0.13
Weight:	0.13



### Introduction

The D-Series Size 1 Flood Luminaire provides a high performance, durable, and reliable lighting solution for a wide range of applications. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

The D-Series Size 1 Flood Luminaire is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

### Ordering Information

EXAMPLE: DSXFL LED P1 40K MSP MVOLT THX DDBXD

BIDDING									
Model	Power	Mounting	Lighting Fixture	Lighting Fixture	Power	Mounting	Lighting Fixture	Lighting Fixture	Power
DSXFL LED P1 40K MSP MVOLT THX DDBXD	1	Uthoria Lighting	DSXFL LED with 40 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXFL LED P1 40K MSP MVOLT THX DDBXD	16237	0.95	131

### Accessories

DSXFL LED P1 40K MSP MVOLT THX DDBXD	1	Uthoria Lighting	DSXFL LED with 40 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXFL LED P1 40K MSP MVOLT THX DDBXD	16237	0.95	131
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### Stock configurations are offered for shorter lead times:

DSXFL LED P1 40K MSP MVOLT THX DDBXD	1	Uthoria Lighting	DSXFL LED with 40 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXFL LED P1 40K MSP MVOLT THX DDBXD	16237	0.95	131
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### Notes

DSXFL LED P1 40K MSP MVOLT THX DDBXD	1	Uthoria Lighting	DSXFL LED with 40 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSXFL LED P1 40K MSP MVOLT THX DDBXD	16237	0.95	131
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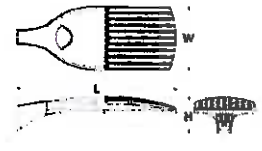


## D-Series Size 1 LED Area Luminaire



### Specifications

SPW:	0.95
Depth:	0.13
Width:	0.13
Height:	0.13
Overall Height:	0.13
Weight:	0.13



### Introduction

The modern styling of the D-Series is striking yet unobtrusive, making a subtle, progressive statement in an all-Bond seemingly uniform environment. The D-Series is the result of the latest in LED technology, resulting in a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in a site with excellent uniformity, graceful pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in production and processing applications with type 4, energy savings of 50% and expected service life of over 100,000 hours.

### Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD

Model	Power	Mounting	Lighting Fixture	Lighting Fixture	Power	Mounting	Lighting Fixture	Lighting Fixture	
DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	1	Uthoria Lighting	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	16237	0.95	131

### Accessories

DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	1	Uthoria Lighting	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	16237	0.95	131
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### Notes

DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	1	Uthoria Lighting	DSX1 LED with 60 LEDs @ 700 mA, 4000K, TYPE 4 MEDIUM OPTICS	LED	1	DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	16237	0.95	131
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### FEATURES & SPECIFICATIONS

INTRODUCTION - The D-Series is a high performance, durable, and reliable lighting solution for a wide range of applications. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

CONSTRUCTION - Pole Mount - The D-Series is designed to be mounted on a pole. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

PHOTOMETRIC PERFORMANCE - The D-Series is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

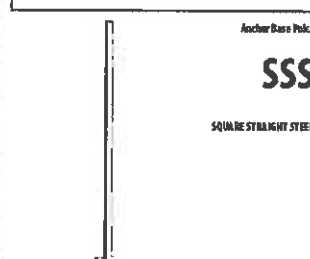
ENERGY EFFICIENCY - The D-Series is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

ENVIRONMENTAL RESISTANCE - The D-Series is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

SAFETY - The D-Series is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

WARRANTY - The D-Series is designed to provide long life and high performance. It is designed to meet the needs of the most demanding environments, providing long life and high performance.

QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	EA	DSX1 LED 60C 1000 40K TSM MVOLT SPADBXD	16237	16237



Example: SSS 20' 1" 1/2" 1/2"

### Ordering Information

EXAMPLE: SSS 20' 1" 1/2" 1/2"

Power	Mounting	Mounting	Mounting	Mounting	Power	Mounting	Mounting	Mounting	
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95	131
SSS 20' 1" 1/2" 1/2"	1	Uthoria Lighting	SSS 20' 1" 1/2" 1/2"	LED	1	SSS 20' 1" 1/2" 1/2"	16237	0.95</	

DSX1

SSS

LIGHTING & CONTROLS

KSA

CICAGO GUN CLUB  
WILLOWBROOK, IL

Designer  
D. MIROW  
Date  
01/20/17  
Scale  
Not to Scale  
Drawing No.  
LL2  
Summary



# Chicago Gun Club Shooting Range

**OWNER'S CONSULTANT**  
CONSULTANT NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
CITY, STATE, ZIP \_\_\_\_\_

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Architect:                      Name:                       
 Architect:                      Number:                       
 Date:                                                               

### KEY PLAN

## REFERENCE

FUSION TARGETS PROJECT NUMBER  
1002

DATE  
**MAR. 10, 2017**  
PAGE

NET TITLE

## RANGE PLAN

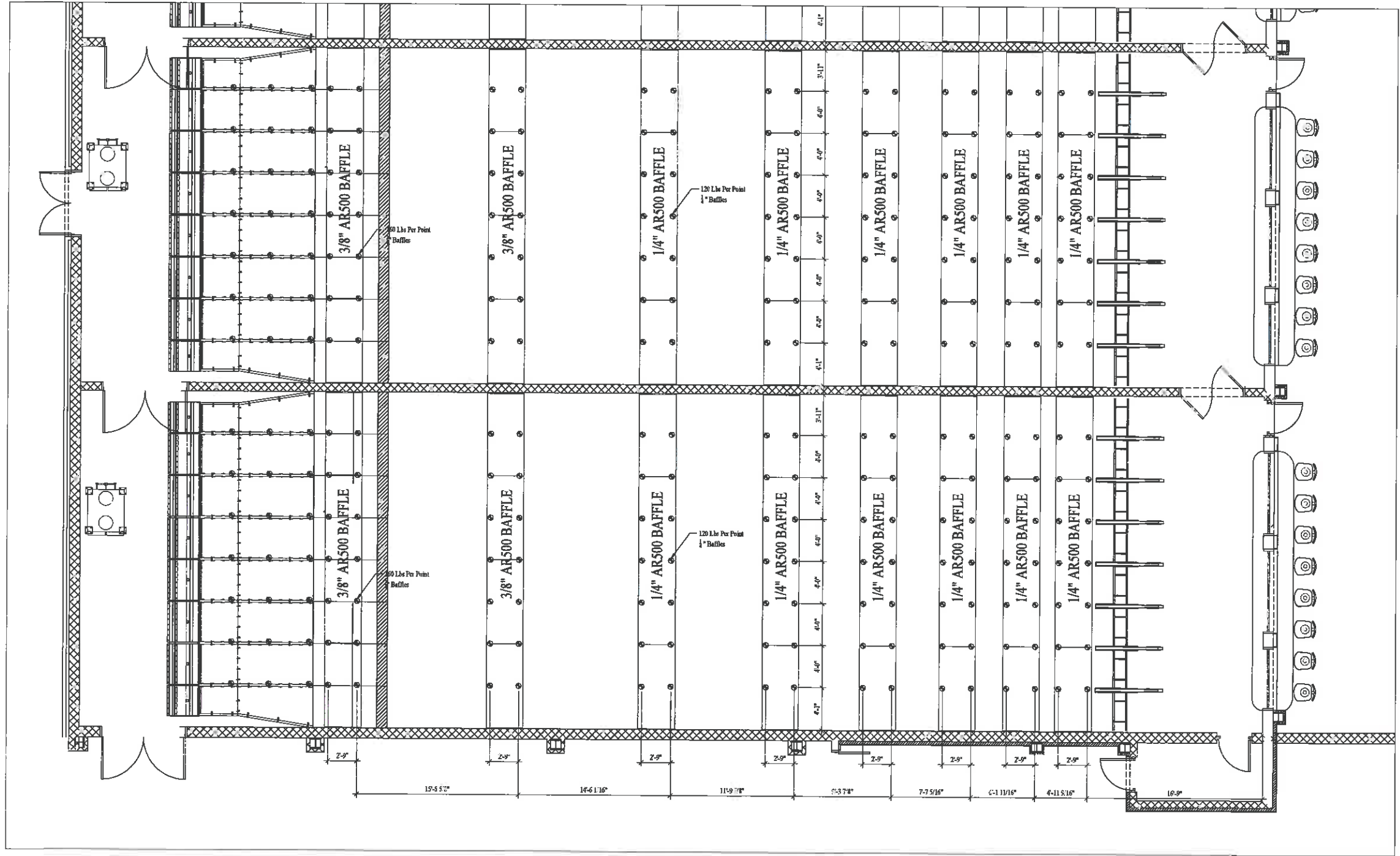
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PLOT DATE: FILE NAME: FILE DATE: PLOT:

01 OVERALL PLAN



RANGE EQUIPMENT  
FUSION TARGETS, INC.  
1985 N. 1400 W.  
Orem, Utah 84057

## Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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KEY PLAN

REVISION

FUNCTIONALITY: PROJECT NUMBER  
1002

DATE  
MAR. 10, 2017

ISSUE

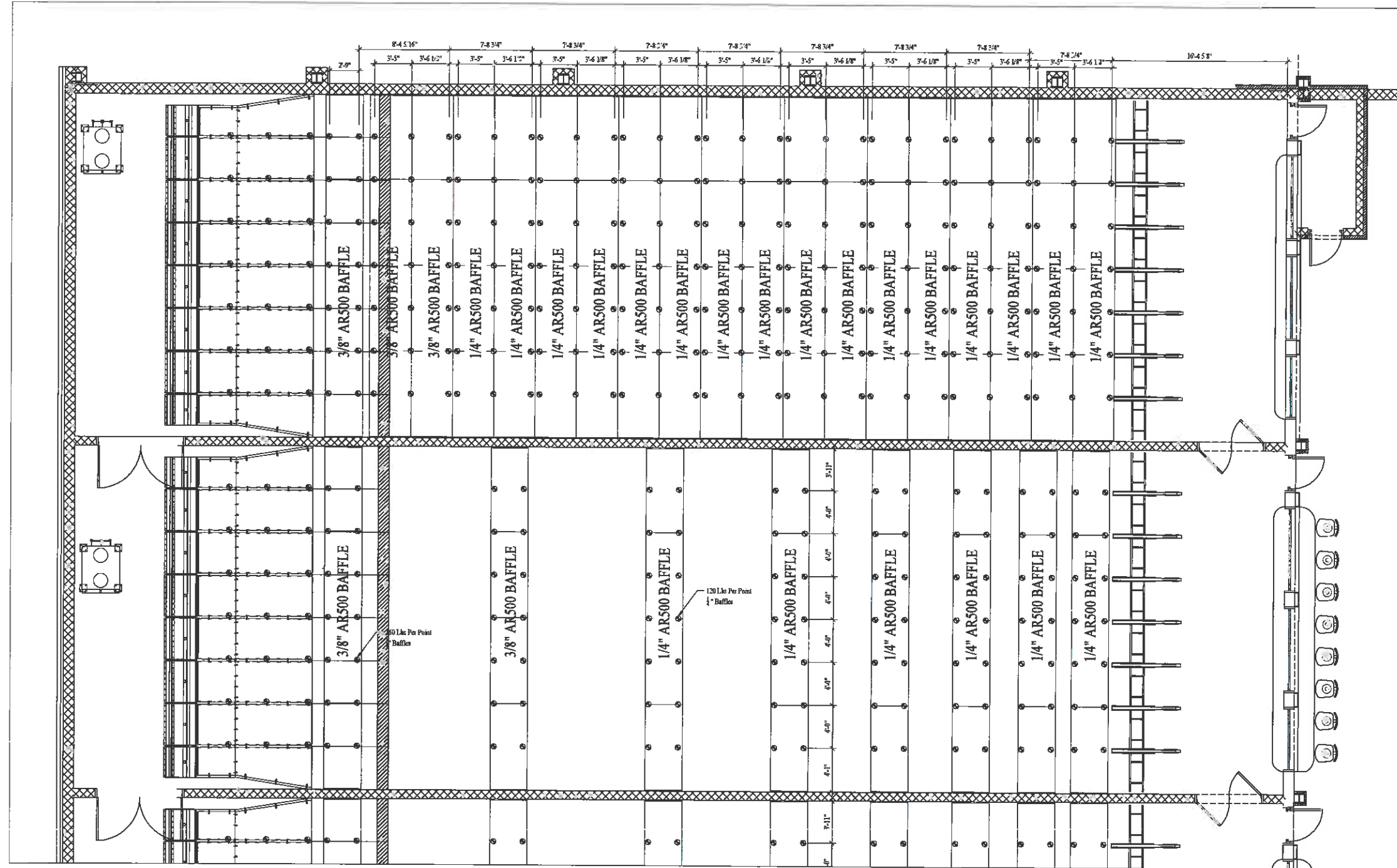
MEET TITLE

RANGE PLAN

SHEET NO.

A1.02





# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT FIRM  
ADDRESS:  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Architect:                     

Arch No.:            Number:           

Date:

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REVISION

FINNONTARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

## ISSUE

SHEET TITLE

## RANGE PLAN

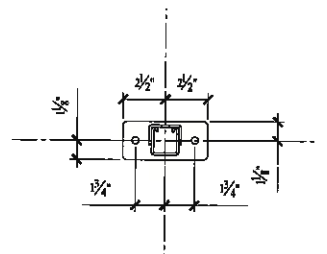
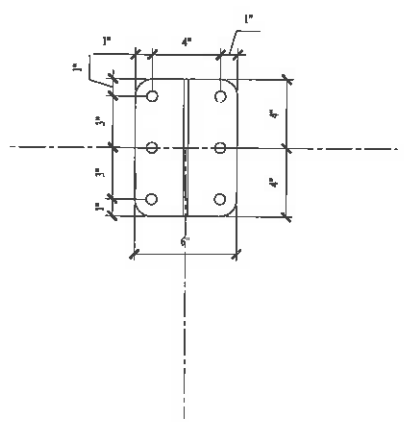
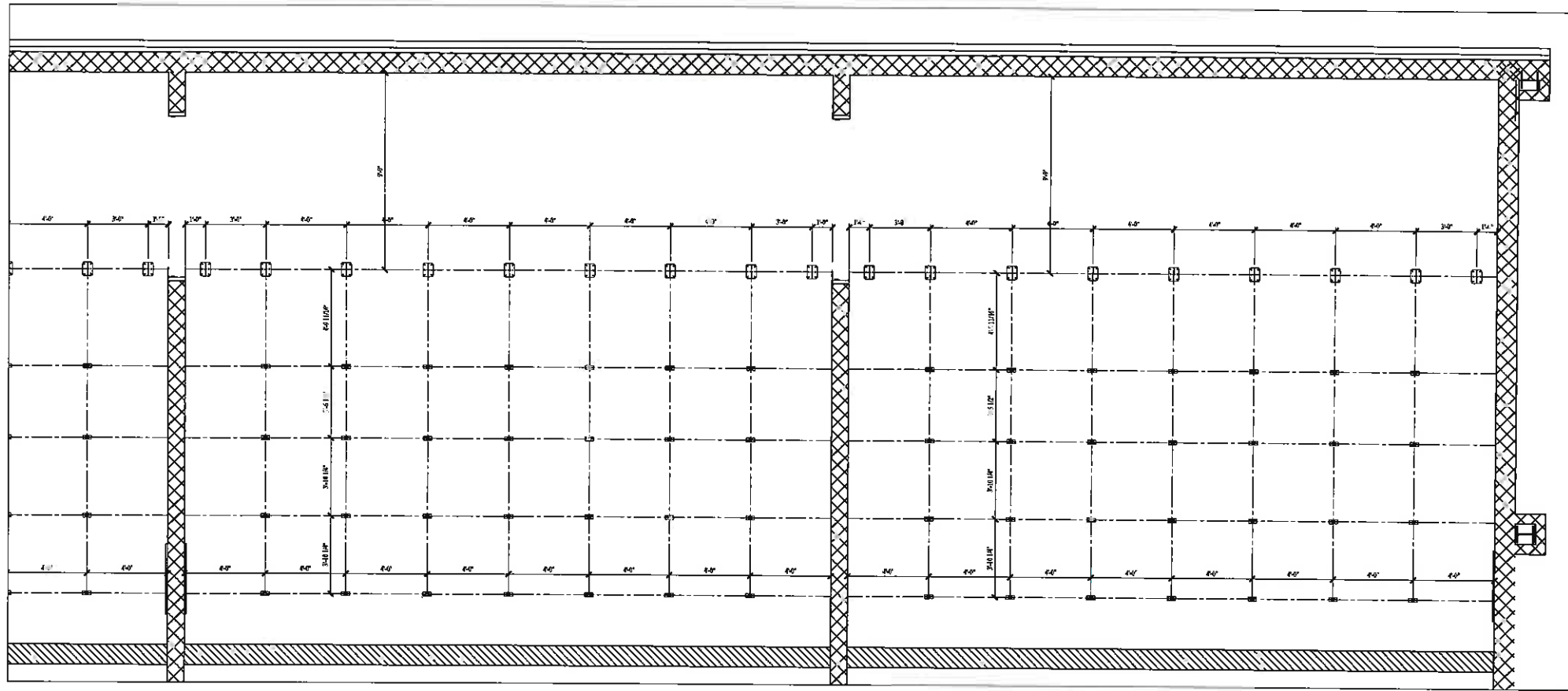
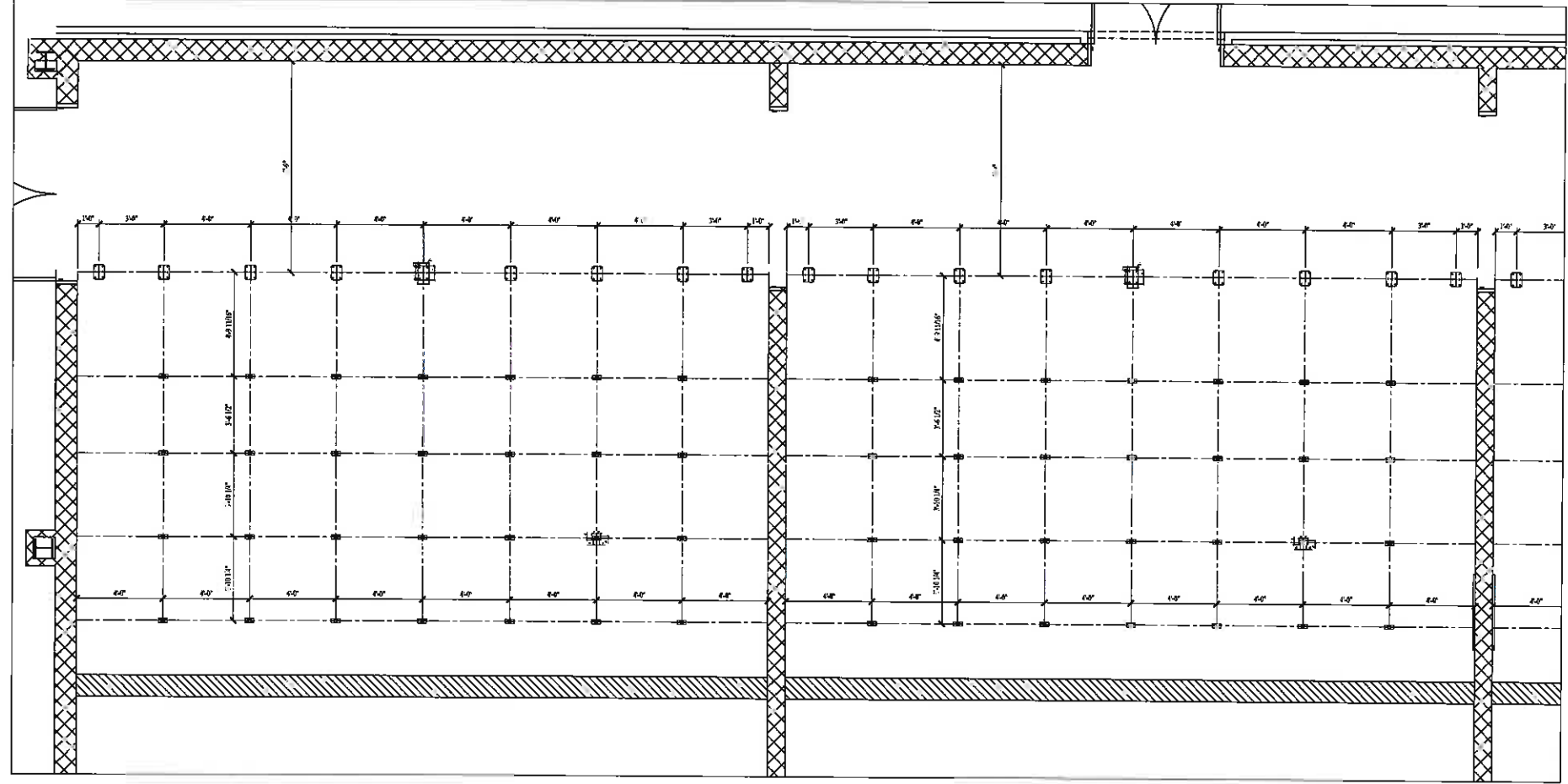
HEET NO

## A1.22

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PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
PREPARED BY: FUSION TARGETS, INC.  
DATE: 10/10/2017

01 OVERALL PLAN



RANGER EQUIPMENT  
FUSION TARGETS, INC.  
1902 S. 14th St.  
Chicago, IL 60605

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Approval: \_\_\_\_\_  
Date: \_\_\_\_\_  
Project: \_\_\_\_\_

KEY PLAN

REVISION

NO.	DESCRIPTION

FUSION TARGETS PROJECT NUMBER  
1002

DATE  
MAR. 10, 2017

ISSUE

SHEET TITLE

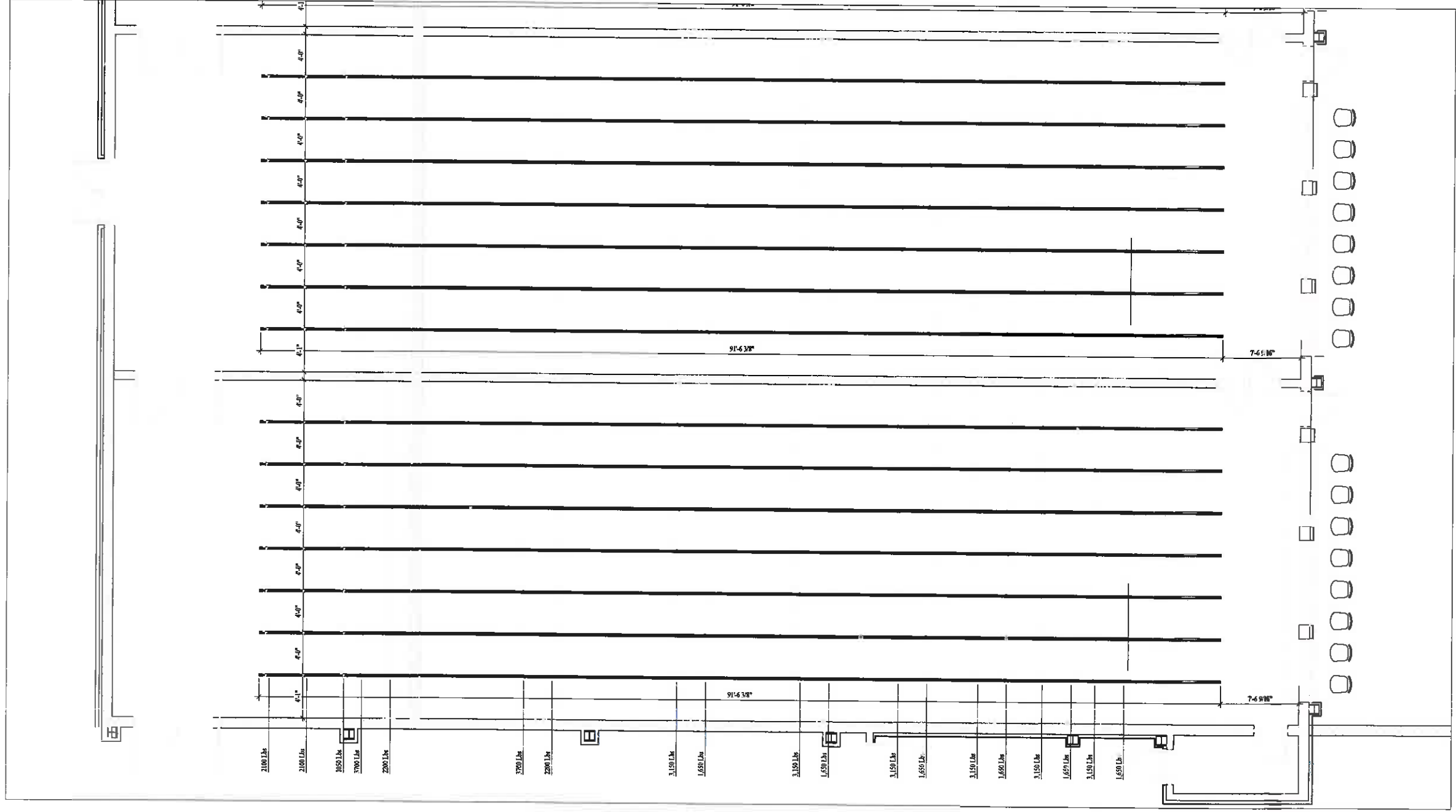
TRAP FOOTPRINT

SHEET NO.

A1.03

LA01-01 (Rev. 10/2013)

01 OVERALL PLAN



ARCHITECT

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT

OWNER'S CONSULTANT

INTERIM REVIEW ONLY

INTERIM REVIEW ONLY

KEY PLAN

1:500

RANK IN TARGETS PROJECT NUMBER  
1002

DATE  
March 10, 2013

NOTE

SHEET TITLE

RANGE AND PLAN

ARCHITECT

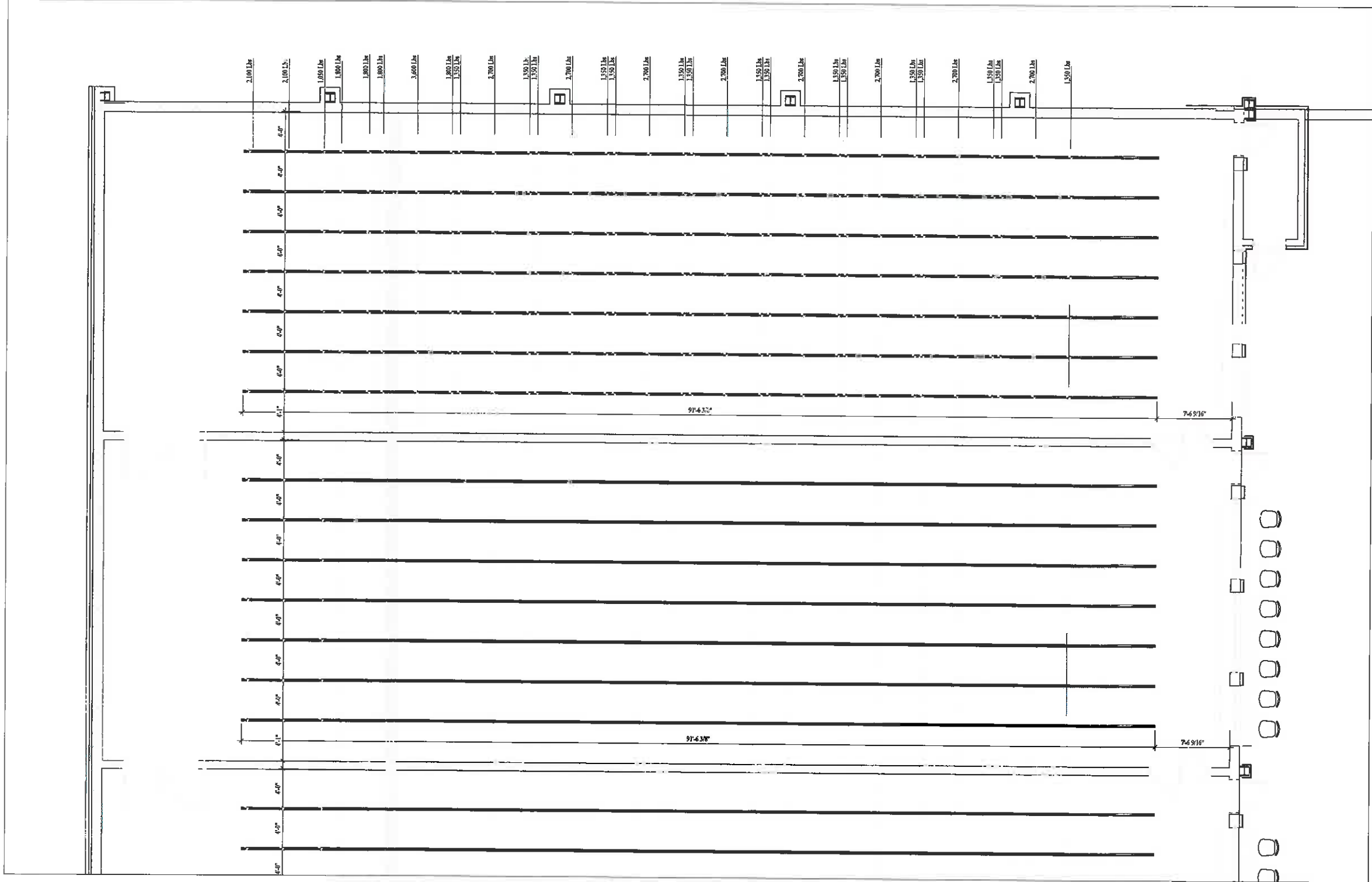
A1.04

01 OVERALL PLAN

DATE: 10/10/17

FILE NAME: PROJECT

DATE: 10/10/17



FUSION  
TARGETS

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
OWNER'S CONSULTANT  
OWNER'S CONSULTANT

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INTERIM REVIEW ONLY  
INTERIM REVIEW ONLY

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

DATE

DATE

SHEET TITLE

RANGE AND SITE PLAN

DATE

A1.24



# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Author: \_\_\_\_\_  
Check: \_\_\_\_\_  
Date: \_\_\_\_\_

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER:  
**1002**

DATE  
**MAR. 10, 2017**

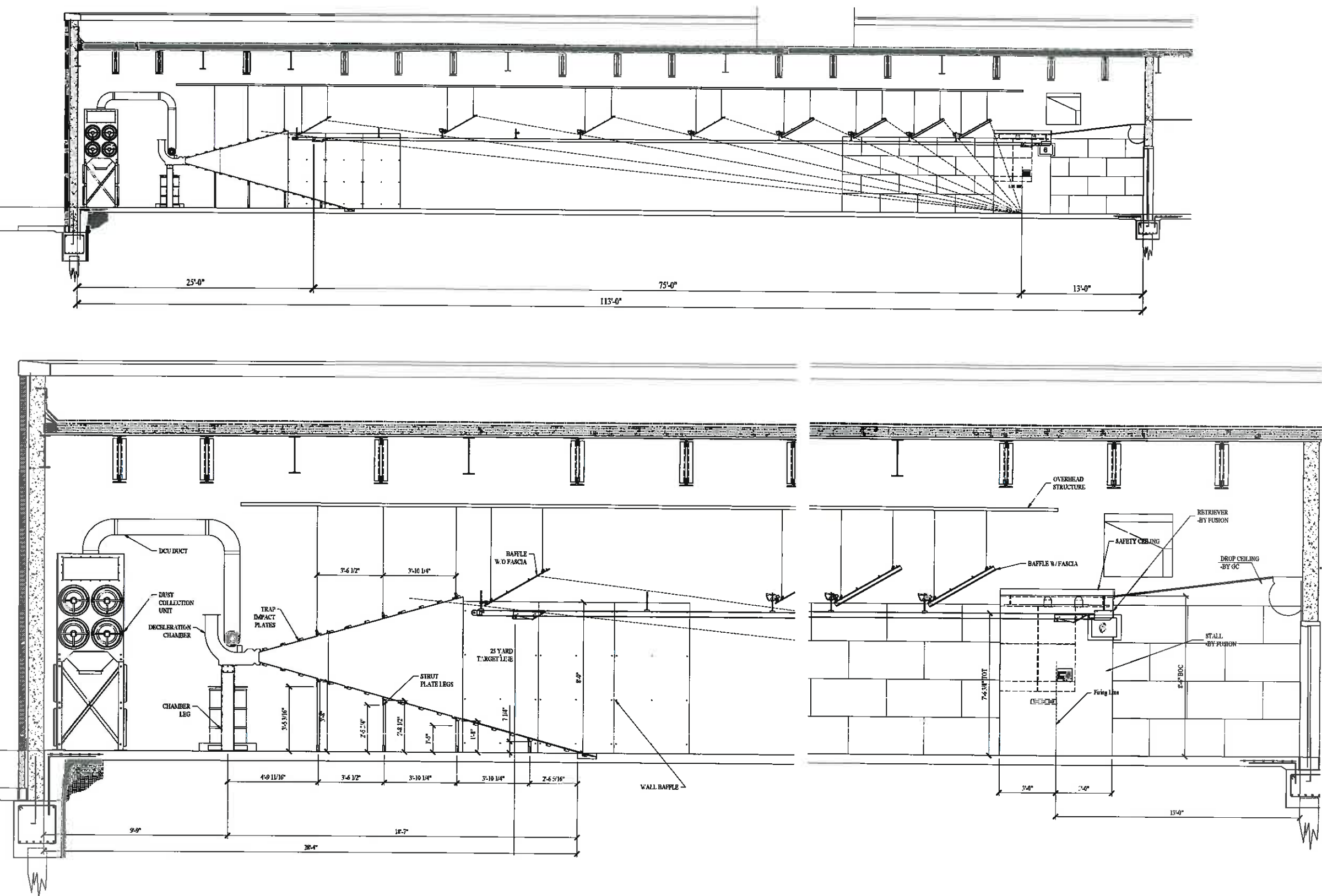
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PROJECT TITLE

**RANGE SECTION**

SHEET NO.

**A2.01**



**01 OVERALL PLAN**

US 2017-03-10 11:11:11 AM  
FUSION TARGETS INC.  
1117 E 1400 N  
Orem, Utah 84057  
Tel: 801-224-1111  
Fax: 801-224-1112  
www.fusiontargets.com

RANGE EQUIPMENT  
FUSION TARGETS INC.  
11811 E. 140th  
Orem, Utah 84057

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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purpose without the written  
consent of the designer.  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

KEY PLAN

REVISION

PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

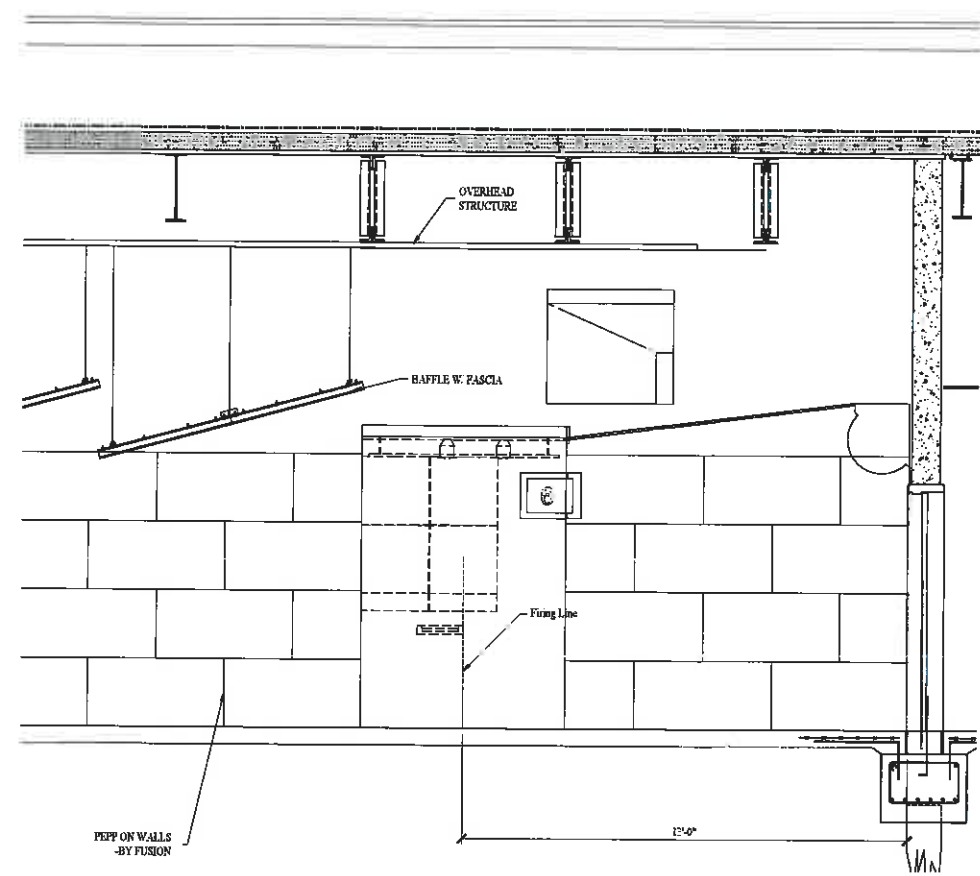
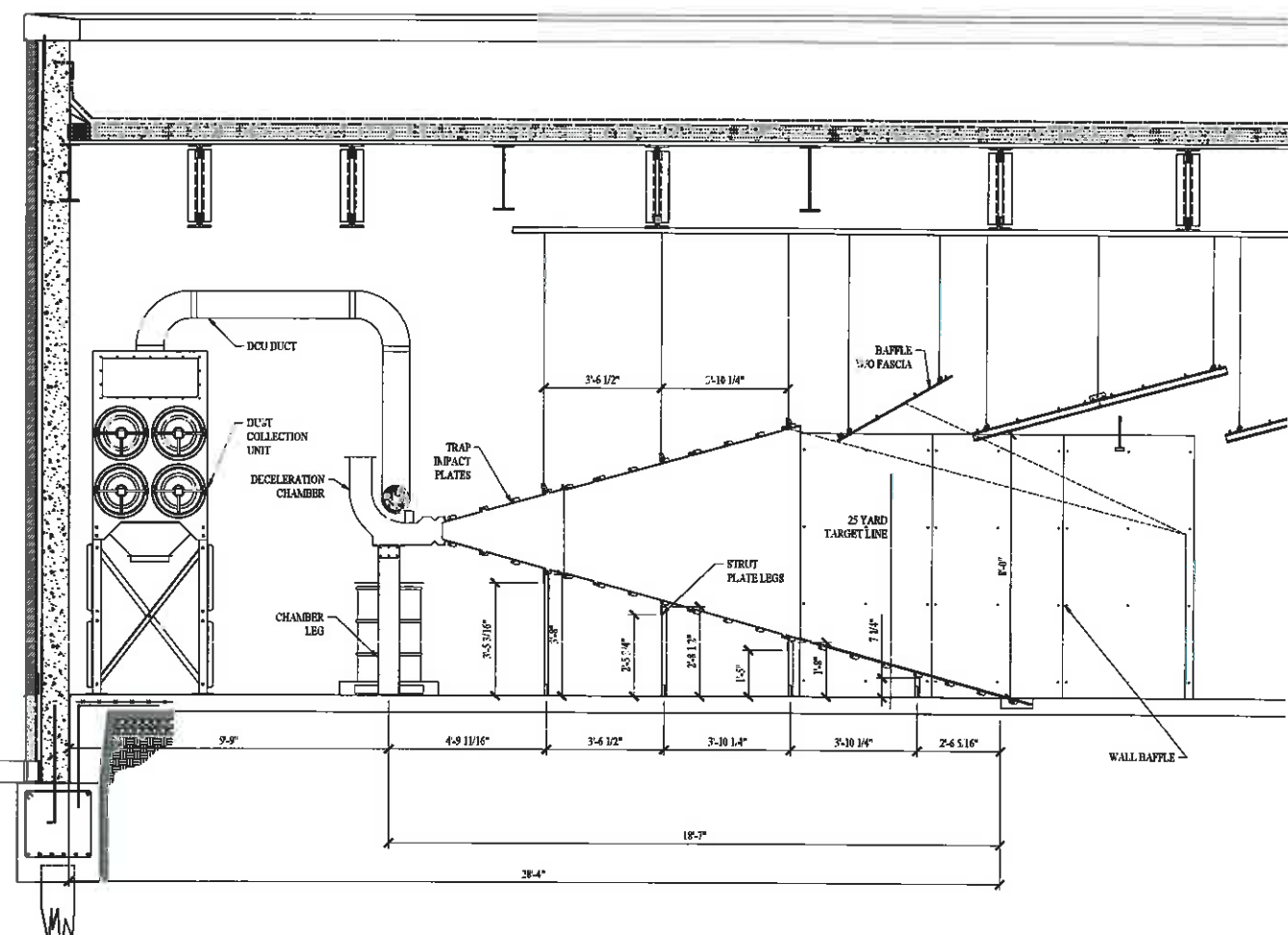
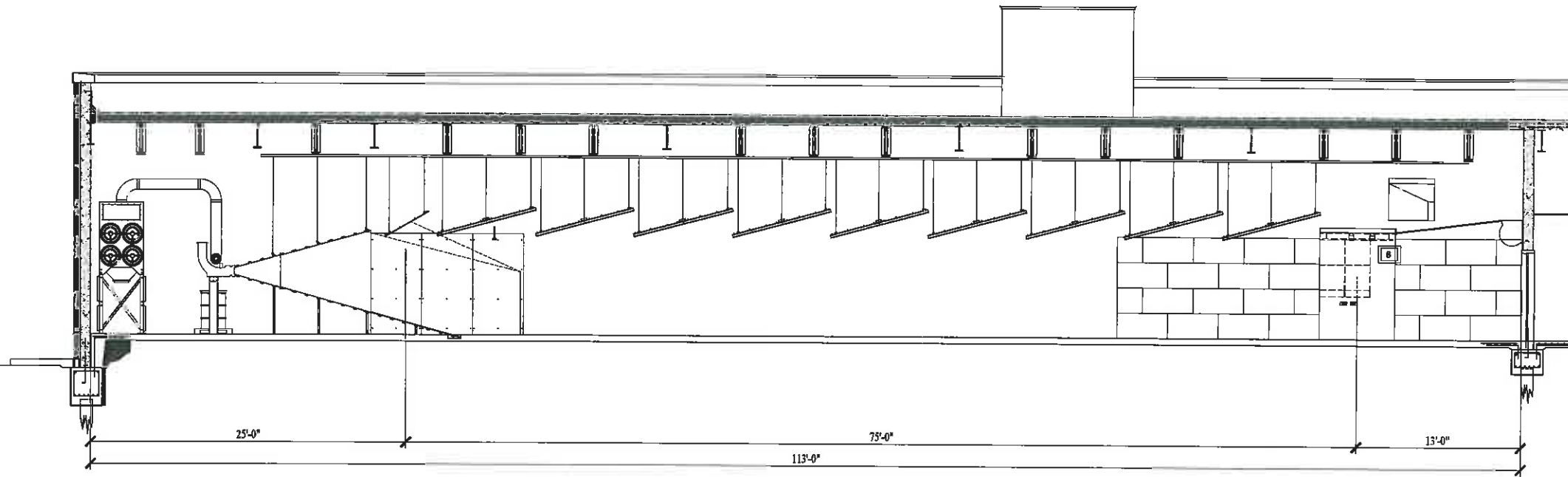
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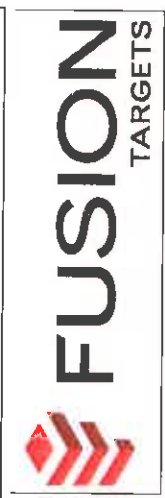
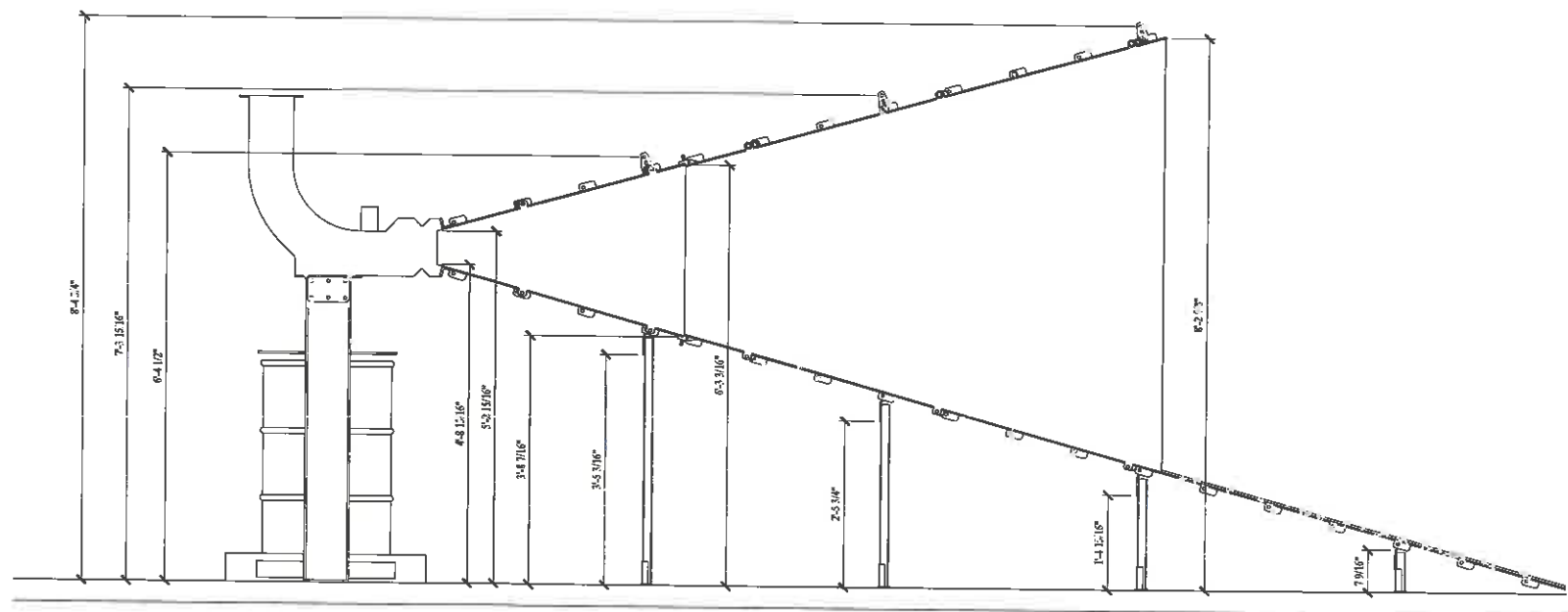
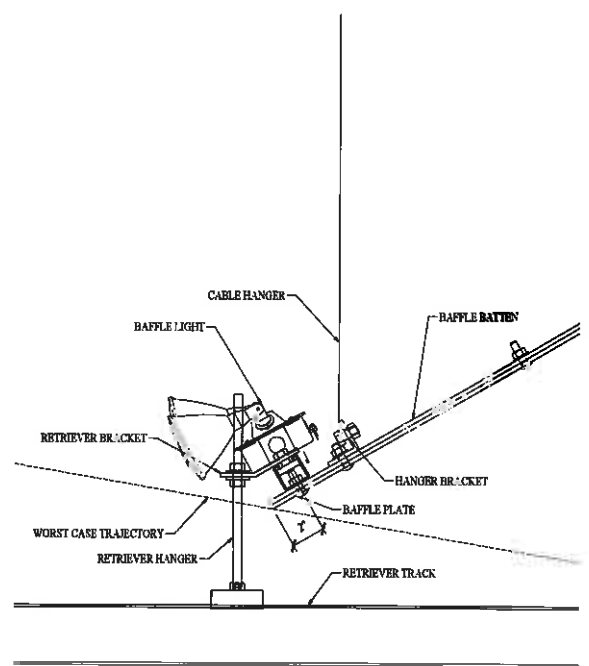
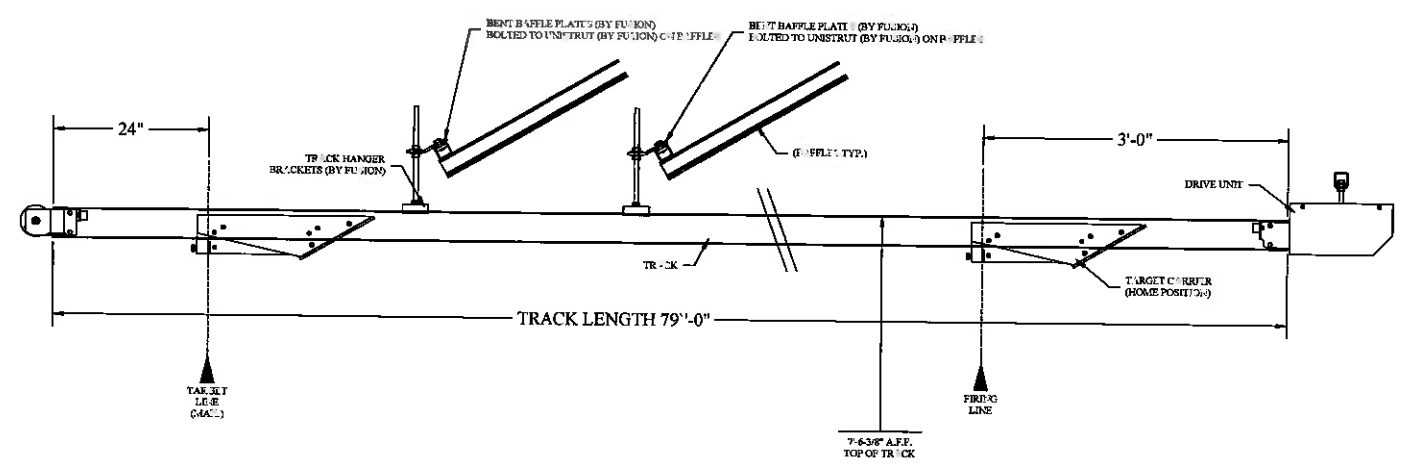
**RANGE SECTION**

SHEET NO.

**A2.21**



NOTE: SPACING BETWEEN TRACK HANGING POINTS MUST NOT EXCEED 12'-0"



RANGE EQUIPMENT  
FUSION TARGETS INC.  
11111 140th Ave.  
Cham, IL 60014-2011

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Date: \_\_\_\_\_  
Signature: \_\_\_\_\_

KEY PLAN

REVISION

NO.	DESCRIPTION	DATE

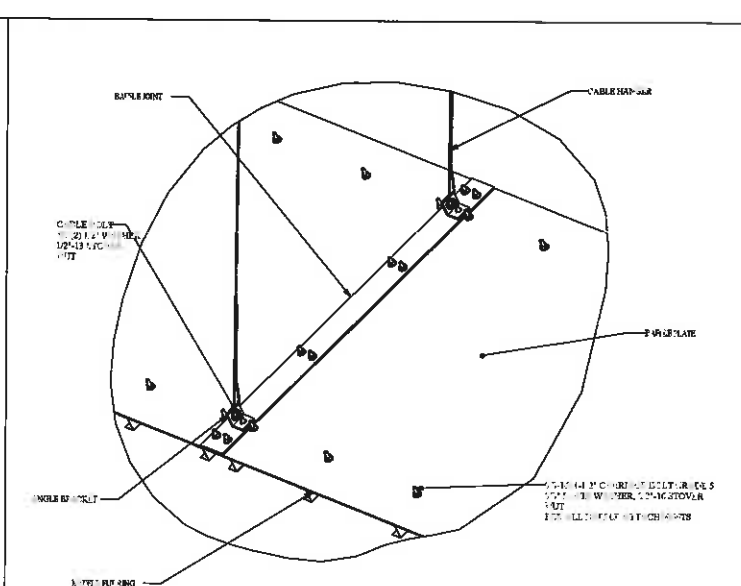
FUSION TARGETS PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

ISSUE

SHEET TITLE  
**RANGE DETAILS**

SHEET NO.  
**A2.02**



# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

**OWNER'S CONSULTANT**  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Archivist: None  
Arch. Reg. No.: None  
Date: 12/1/84

**KEY PLAY:**

## REVISION

FUND TARGETS PROJECT NUMBER  
1002

DATE  
**MAR. 10, 2017**

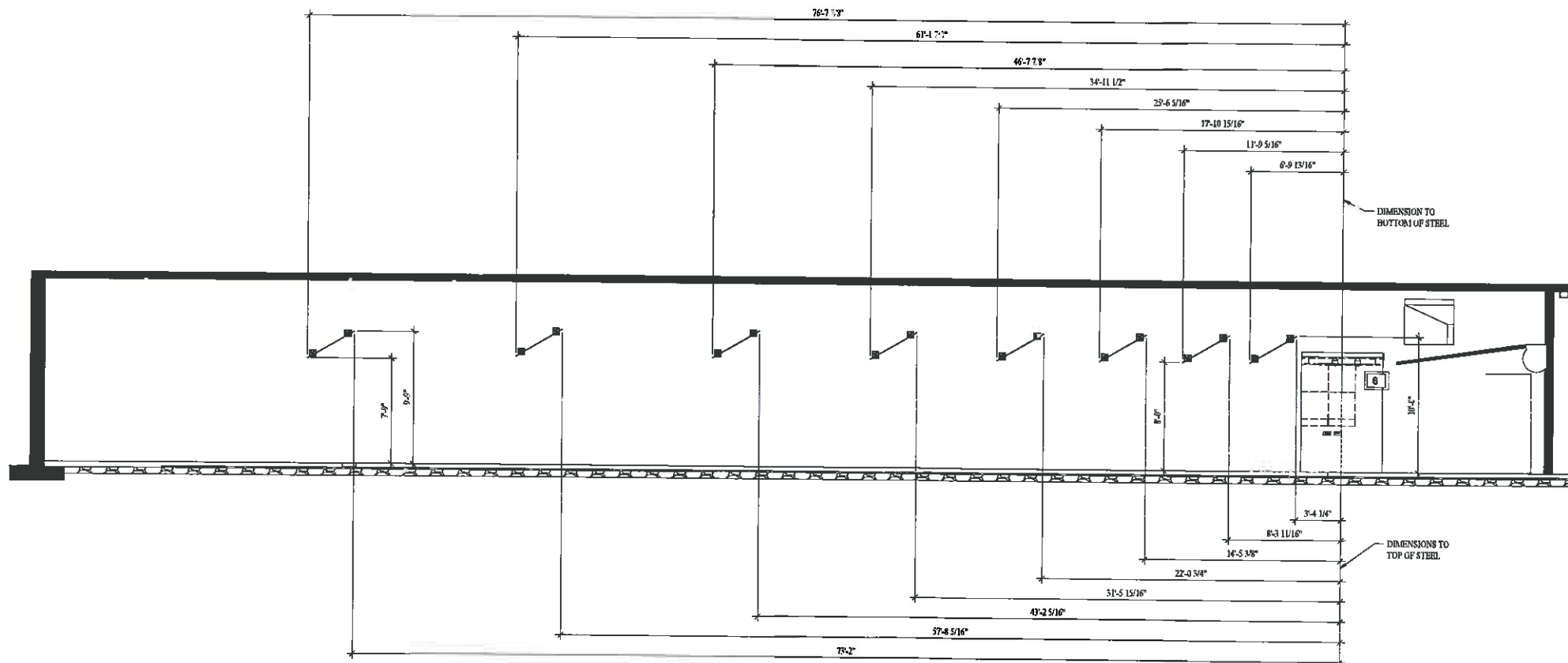
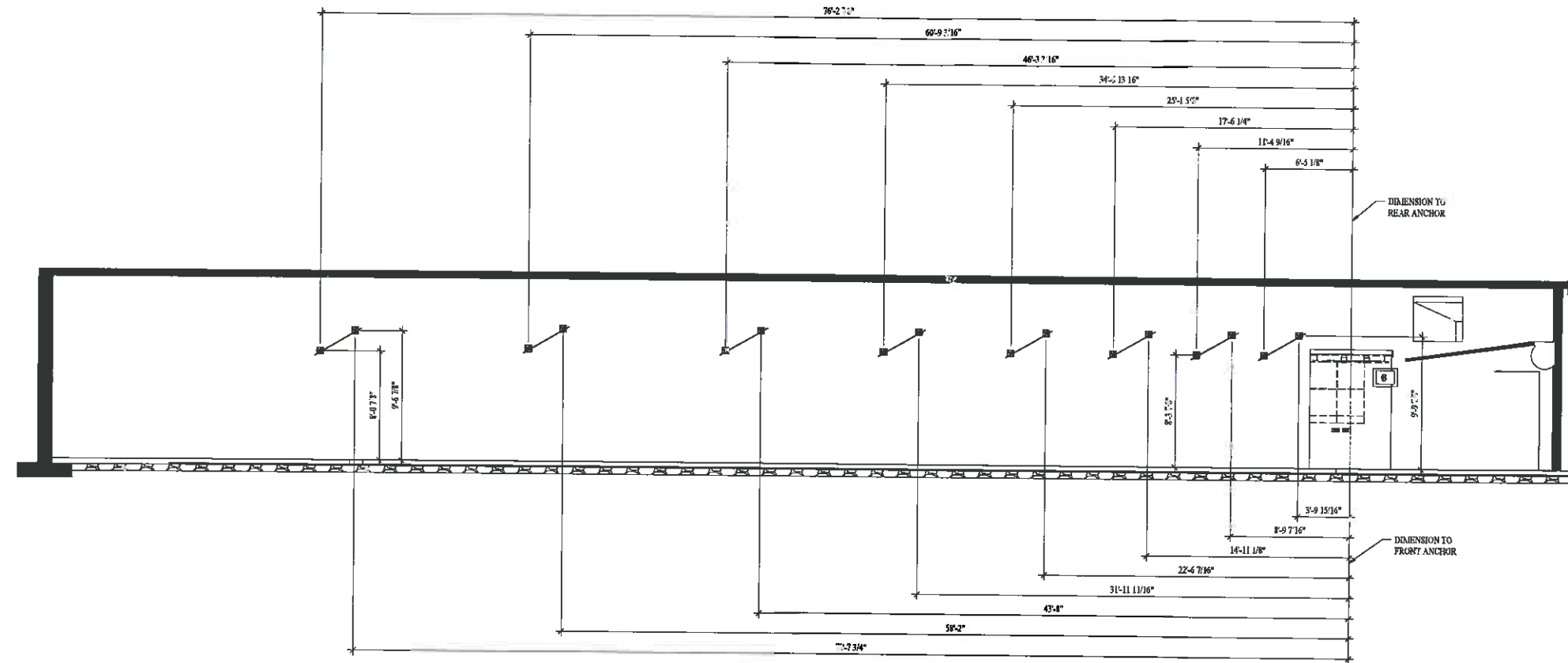
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SHEET TITLE

## RANGE DETAILS

SHEET NO.

## A2.03



**FUSION**  
TARGETS



RANGE EQUIPMENT  
FUSION TARGETS INC.  
1187 E 140th  
Clem, IA 50544

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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KEY PLAN

REVISION

PROJECT/TARGET PROJECT NUMBER  
**1002**

DATE  
**MAR. 10, 2017**

ISSUE

SHEET TITLE

**RANGE SECTION**

SHEET NO.

**A2.04**

**01 OVERALL PLAN**  
1/16" = 1'-0"

# Chicago Gun Club Shooting Range

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

OWNER'S CONSULTANT  
CONSULTANT NAME  
ADDRESS  
CITY, STATE, ZIP

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Author: [Signature]  
Date: [Date]  
Page: [Page]

KEY PLAN

SECTION

FUSION TARGETS PROJECT NUMBER:  
**1002**

DATE  
**MAR. 10, 2017**

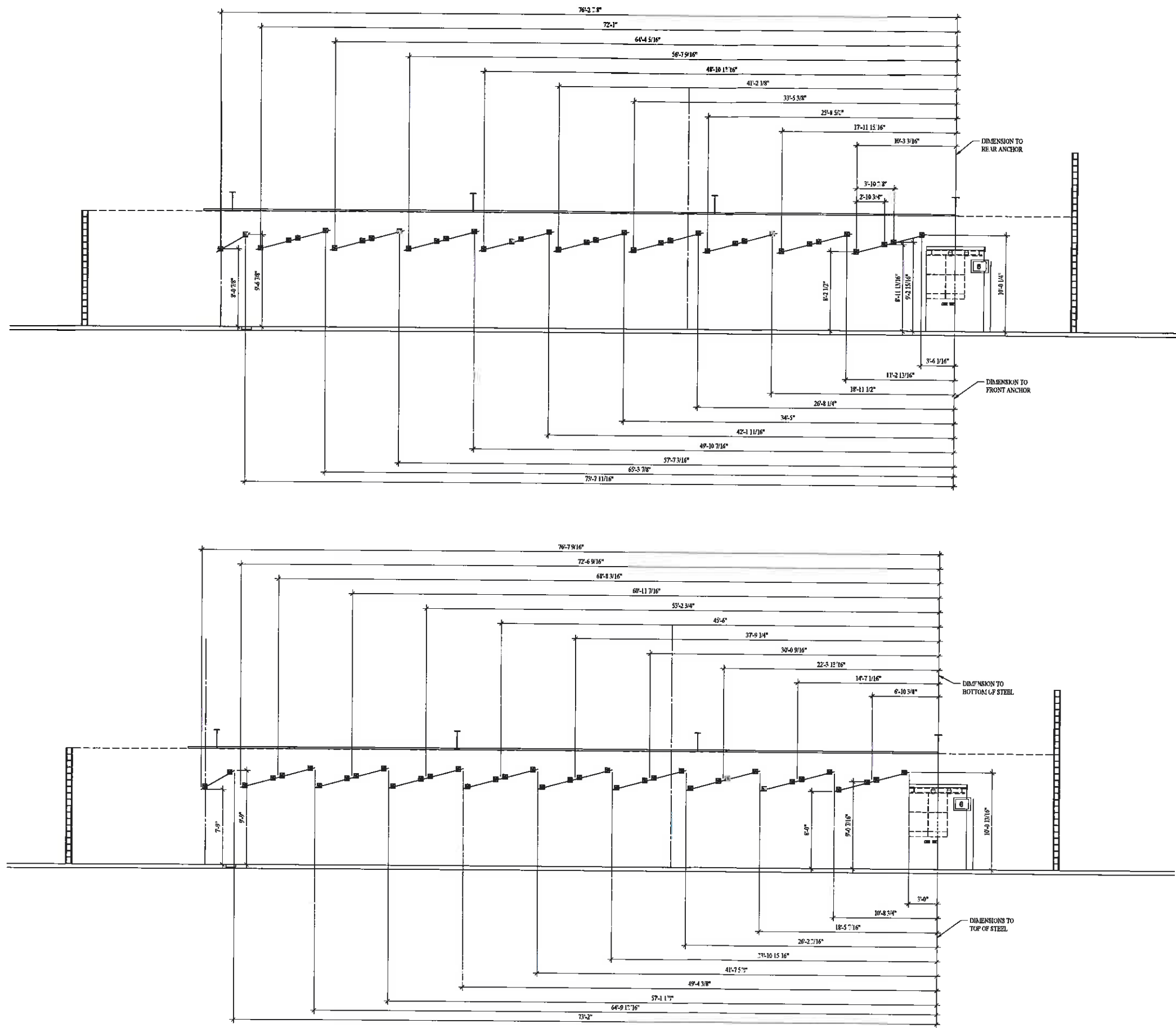
ISSUE

SHEET TITLE

**RANGE SECTION**

SHEET NO.

**A2.24**



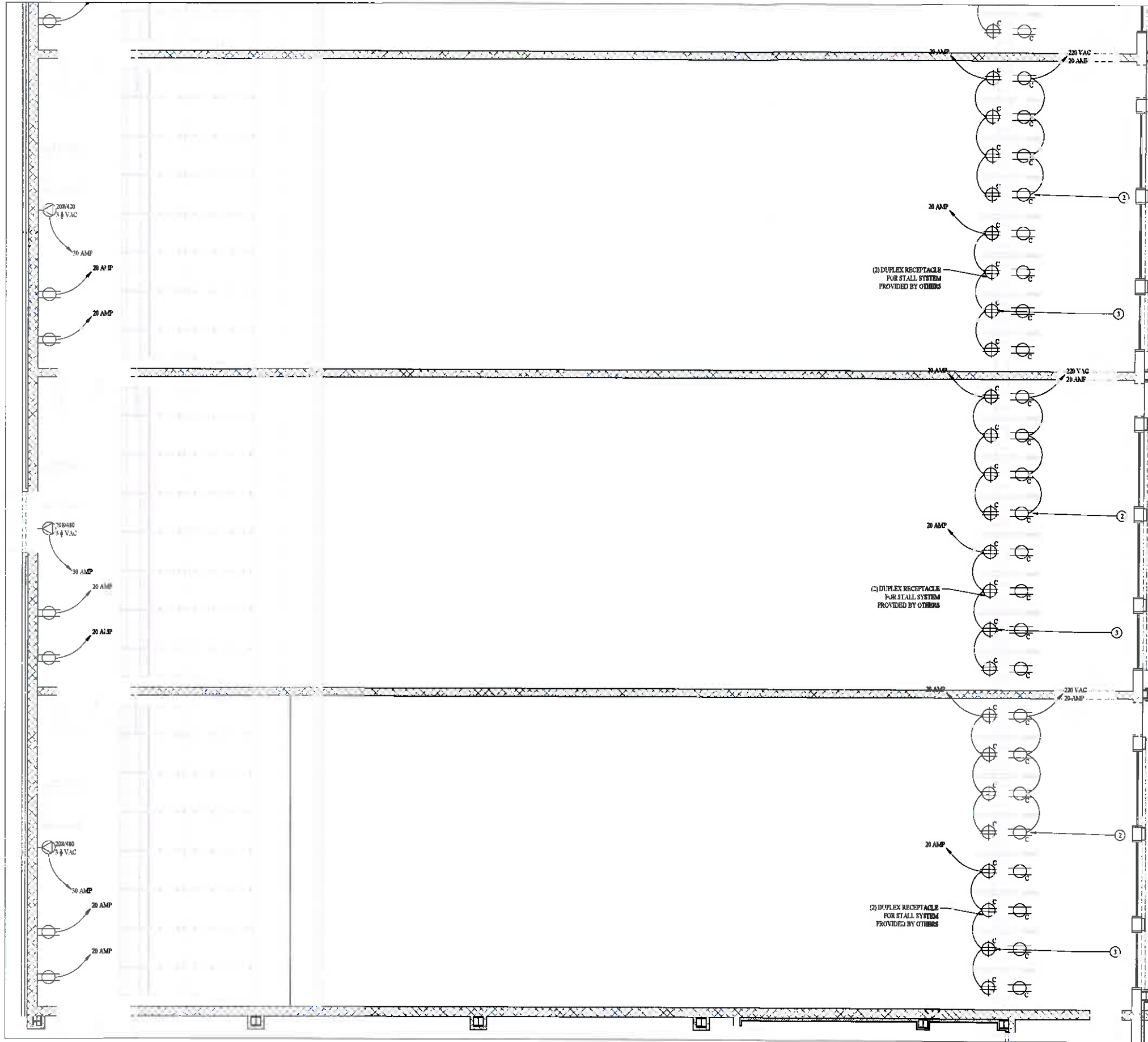
**01 OVERALL PLAN**

DATE: 03/10/2017  
FILE NAME: PROJECT  
SHEET: 01 OF 01  
PROJECT: CHICAGO GUN CLUB SHOOTING RANGE  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Signature]



10/20/2016 10:00 AM

PLANTING PLANTING PLANTING



**ELECTRICAL NOTES:**

1. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL ELECTRICAL CIRCUITS AND RECEPTACLES NEEDED FOR THE RANGE EQUIPMENT. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH FUSION TARGET PERSONNEL FOR LOCATION AND TIMING.
2. SINGLE 220 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.
3. (2) DUPLEX 120 VAC (NEMA 5-20R) RECEPTACLE MOUNTED TO TOP OF FUSION PROVIDED STALL CEILING. POWER BE RAN TO SIDE WALL IN JUNCTION BOX. INSTALLATION OF RECEPTACLE TO BE COMPLETED AFTER INSTALLATION OF STALL CEILINGS.



**Chicago Gun Club  
Shooting Range**

KEY PLAN

REVISION

FUSION TARGETS PROJECT NUMBER

DATE

SCALE

ASSET TITLE

[illegible]



## Chicago Gun Club

**ENGINEER'S ESTIMATE OF PROBABLE COST - Stormwater Facilities and Site Development**

	UNIT	QUANTITY	UNIT PRICE	ITEM COST
Silt Fence	FOOT	1516	\$0.90	\$1,364.40
Inlet Protection	EACH	12	\$40.00	\$480.00
8" Perforated HDPE Storm Sewer	FOOT	135	\$16.00	\$2,160.00
12" RCP Storm Sewer	FOOT	501	\$22.00	\$11,022.00
15" RCP Storm Sewer	FOOT	303	\$32.00	\$9,696.00
18" RCP Storm Sewer	FOOT	369	\$38.00	\$14,022.00
Catch Basin Type A, 4' Diameter	EACH	5	\$1,500.00	\$7,500.00
Catch Basin Type C, 2' Diameter	EACH	8	\$1,200.00	\$9,600.00
12" RCP FES	EACH	1	\$350.00	\$350.00
15" RCP FES	EACH	1	\$450.00	\$450.00
18" RCP FES	EACH	5	\$550.00	\$2,750.00
Prairie Grass for Bioretention Area	ACRE	0.27	\$2,000.00	\$546.33
Erosion Control Blanket	SQ YD	1,322.11	\$0.75	\$992

Combination Concrete Curb and Gutter, Type B 6.12	FOOT	2043	\$15.00	\$30,645
Earthwork	L SUM	1	\$24,000.00	\$24,000
Sidewalk	L SUM	1	\$24,000.00	\$24,000
Off-Site Sidewalk	L SUM	1	\$11,000.00	\$11,000
Parking Lot Pavement	L SUM	1	\$115,000.00	\$115,000
Landscaping	L SUM	1	\$107,000.00	\$107,000
Lighting	L SUM	1	\$50,000.00	\$50,000

Run Date 4/18/17 EDF

**TOTAL SITEWORK COSTS: \$372,577**

EXHIBIT "E"  
IMPROVEMENT AGREEMENT

IMPROVEMENT AGREEMENT

THIS AGREEMENT made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2017, by and between the VILLAGE OF WILLOWBROOK, a municipal corporation of the State of Illinois, having its principal offices at 835 Midway Drive, Willowbrook, Illinois 60527 (hereinafter called "VILLAGE") and The Chicago Gun Club LLC (hereinafter called "DEVELOPER").

W I T N E S S E T H:

WHEREAS, DEVELOPER, as applicant, filed an application for approval of TCGC Subdivision with respect to the property legally described on Exhibit "A", attached hereto which is, by this reference, incorporated herein ("SUBJECT REALTY") so as to permit the construction of The Chicago Gun Club ("PROJECT"); and,

WHEREAS, the DEVELOPER desires to construct the PROJECT on the SUBJECT REALTY and has submitted to the VILLAGE Engineering Plans, a copy of which is attached hereto as Exhibit "B" which is, by this reference, incorporated herein, and which has been approved by the Mayor and Board of Trustees of the VILLAGE; and,

WHEREAS, the VILLAGE is willing to approve the PROJECT provided that this Agreement is executed to ensure the completion of certain improvements in accordance with applicable VILLAGE

ordinances and/or agreements between the VILLAGE and DEVELOPER. The PROJECT shall not be approved until this Agreement is executed.

NOW, THEREFORE, it is mutually agreed as follows:

1. DEVELOPER shall furnish, or cause to be furnished, at its own cost and expense, all the necessary materials, labor and equipment to complete the following improvements on and/or relating to the SUBJECT REALTY (the "IMPROVEMENTS" or individually, the "IMPROVEMENT"):

- A. One (1) streetlight at the corner of 79<sup>th</sup> Street and IL Route 83 Frontage Road.
- B. Sidewalk of five feet (5') in width along the entire frontage of the SUBJECT REALTY.
- C. Off-site sidewalk near the intersection of South Quincy Street and Joliet Road, as illustrated in "Off-site Sidewalk Location", attached hereto as Exhibit "D".

all in a good and workmanlike manner and in accordance with all pertinent ordinances and regulations of the VILLAGE and/or other agreements between the VILLAGE and DEVELOPER, and the Plans and Specifications for such IMPROVEMENTS on file in the offices of the VILLAGE, which Plans and Specifications for Proposed Improvements for the PROJECT, Village of Willowbrook, IL which Civil

Engineering Plans have been prepared by Morris Engineering Inc., consisting of 9 sheets and bearing a latest revision date of April \_\_\_\_, 2017, which Plans and Specifications have heretofore been approved by the VILLAGE, together with any amendments thereto approved by the VILLAGE. Any utilities and services to be installed in or under the streets shall be installed prior to paving.

2. Attached hereto as Exhibit "C" is a complete cost estimate for the construction of the IMPROVEMENTS. The VILLAGE Code and/or any applicable ordinance or agreement provides that the DEVELOPER shall collateralize its obligation to construct all IMPROVEMENTS. The DEVELOPER shall submit a Letter of Credit issued by a sound financial institution authorized to transact business and maintaining an authorized agent for service in the State of Illinois. Such Letter of Credit shall contain such terms and provisions as may be acceptable to the Village Attorney of the VILLAGE and shall be deposited with the VILLAGE prior to the approval of the PROJECT by the VILLAGE.

Said Letter of Credit shall be in a principal amount of not less than one hundred and ten percent (110%) of the DEVELOPER'S engineer's estimate, as approved by the VILLAGE'S Director of

Municipal Services, of the costs of all IMPROVEMENTS to be constructed upon the SUBJECT REALTY.

The Letter of Credit shall provide for its reduction from time to time, based upon the VILLAGE Director of Municipal Services' recommendation to the VILLAGE Administrator of the value of any of the IMPROVEMENTS installed. The VILLAGE Director of Municipal Services' recommendation shall not be subject to question by the DEVELOPER. In no event shall the Letter of Credit be reduced to an amount less than one hundred and ten percent (110%) of the VILLAGE Director of Municipal Services' estimate of the cost of completion of all remaining IMPROVEMENTS. Any language in the Letter of Credit with respect to its reduction shall be subject to the approval of the VILLAGE Attorney. In no event shall the VILLAGE Director of Municipal Services' recommendation for a reduction to the Letter of Credit or the VILLAGE Administrator's authorization for such reduction constitute final acceptance of any of the IMPROVEMENTS.

3. All work related to the IMPROVEMENTS shall be subject to inspection by the VILLAGE Director of Municipal Services, and his approval thereof shall be a condition precedent to the payout of funds to contractors or subcontractors. The approval provided for



in this paragraph shall not constitute final acceptance of any or all of the IMPROVEMENTS.

4. DEVELOPER will pay to the VILLAGE all plan review fees pursuant to Section 4-2-11(F)7 and Section 10-8-3 of the Village Code of the VILLAGE.

5. The DEVELOPER shall furnish the VILLAGE with evidence of liability insurance in the amount of at least \$1,000,000/\$5,000,000 covering the construction activities of the DEVELOPER contemplated by this Agreement. Such insurance shall be written by a company rated by Best Reporting Service A VI or better. Such certificate of insurance shall be deposited before the commencement of any work by the DEVELOPER. The policy shall provide a thirty (30) day "prior notice of termination" provision in favor of the VILLAGE. Should the DEVELOPER allow such liability insurance to terminate prior to the final acceptance of all of the IMPROVEMENTS, the VILLAGE may have recourse against the Letter of Credit for funds sufficient to cause the liability insurance to remain in effect until the final acceptance of all of the IMPROVEMENTS.

6. The DEVELOPER, by its execution of this Agreement, agrees to indemnify, hold harmless, defend, pay costs of defense,

and pay any and all claims or judgments which may hereafter accrue against the VILLAGE, or its agents, servants and employees, arising out of any of the DEVELOPER'S construction activities contemplated by this Agreement.

7. DEVELOPER shall complete those IMPROVEMENTS identified in paragraph 1 of this Agreement prior to the issuance of any building permits.

Notwithstanding any provision contained herein to the contrary, all IMPROVEMENTS shall be completed no later than two (2) years from and after the date of this Agreement.

If work relating to the IMPROVEMENTS is not completed within the time prescribed herein, the VILLAGE shall have the right, but not the obligation, to require completion by drawing on the Letter of Credit in addition to any other available remedies.

8. Upon completion of all IMPROVEMENTS and, further, upon the submission to the VILLAGE of a certificate from the engineering firm employed by DEVELOPER stating that all said IMPROVEMENTS have been completed in conformance with this Agreement, the VILLAGE Code, the final engineering Plans and Specifications relative thereto, any applicable agreements and all State and Federal laws and standards, the VILLAGE Director of

Municipal Services shall, within sixty (60) days after the VILLAGE receives the aforesaid certification from the DEVELOPER'S engineer, either (i) finally accept all said IMPROVEMENTS, or (ii) designate in writing to DEVELOPER all corrections or alterations which shall be required to obtain final acceptance of said IMPROVEMENTS, specifically citing sections of the final engineering Plans and Specifications, the VILLAGE Code or this Agreement, any applicable agreement or State or Federal law or standard, relied upon by said VILLAGE Director of Municipal Services. Should the VILLAGE Director of Municipal Services reject any IMPROVEMENT, or any portion or segment thereof, for final acceptance, the DEVELOPER shall cause to be made to such IMPROVEMENT such corrections or modifications as may be required by the VILLAGE Director of Municipal Services. The DEVELOPER shall cause the IMPROVEMENTS to be submitted and resubmitted as herein provided until the VILLAGE Director of Municipal Services shall finally accept same. No IMPROVEMENT shall be deemed to be finally accepted until the Director of Municipal Services shall finally accept same.

Upon completion and as a condition of final acceptance by the VILLAGE, DEVELOPER agrees to convey and transfer those

IMPROVEMENTS that are deemed to be public improvements to the VILLAGE by appropriate Bill(s) of Sale.

9. The DEVELOPER guarantees that the workmanship and materials furnished under the final Plans and Specifications and used in said IMPROVEMENTS will be furnished and performed in accordance with well-known established practices and standards recognized by engineers in the trade. All IMPROVEMENTS shall be new and of the best grade of their respective kinds for the purpose.

All materials and workmanship shall be guaranteed by the DEVELOPER for a period of eighteen (18) months from the date of final acceptance.

To partially secure the DEVELOPER'S guarantee, at the time of final acceptance by the VILLAGE of the installation of all IMPROVEMENTS in accordance with this Agreement, DEVELOPER shall deposit with the VILLAGE a Maintenance Performance Bond in the amount of fifteen percent (15%) of the actual cost of the IMPROVEMENTS finally accepted by the VILLAGE. This Performance Bond shall be deposited with the VILLAGE and shall be held by the VILLAGE for a period of eighteen (18) months after all IMPROVEMENTS are finally accepted.

The DEVELOPER shall make or cause to be made at its own expense, any and all repairs which may become necessary under and by virtue of this contract guarantee and shall leave the IMPROVEMENT in good and sound condition, satisfactory to the VILLAGE and the VILLAGE Director of Municipal Services, at the expiration of the guarantee period. In said event and at the expiration of such period, said Maintenance Performance Bond shall be returned to the DEVELOPER.

If during said guarantee period, any IMPROVEMENT shall require any repairs or renewals, in the reasonable opinion of the VILLAGE Director of Municipal Services, necessitated by reason of settlement of foundation, structure or backfill, or other defective workmanship or materials, the DEVELOPER shall, upon written notification by the VILLAGE Director of Municipal Services of necessity for such repairs or renewals, make such repairs or renewals, at its own cost and expense. Should the DEVELOPER fail to make such repairs or renewals within the time specified contingent on weather and or conditions not conducive to complete repairs and in such notification, the VILLAGE may cause such work to be done, either by contract or otherwise, and the VILLAGE may draw upon said Maintenance Performance Bond to pay the entire cost

or expense thereof, including attorneys' fees and consultants' costs. Should such cost or expense exceed the amount set forth in said Maintenance Performance Bond, the DEVELOPER will remain liable for any additional cost or expense incurred in the correction process.

10. The DEVELOPER shall furnish the VILLAGE with copies of lien waivers showing that all persons who have done work, or have furnished materials under this Agreement and are entitled to a lien therefore under any laws of the State of Illinois, have been fully paid or are no longer entitled to such lien.

11. The DEVELOPER shall be responsible for the maintenance of the IMPROVEMENTS until such time as they are finally accepted by the VILLAGE. This maintenance shall include routine maintenance, as well as emergency maintenance such as sewer blockages and water main breaks. Such maintenance shall be sufficient to render the IMPROVEMENTS required by paragraph 1 of this Agreement, compliant with the Plans and Specifications identified by said paragraph at the time of their final acceptance by the VILLAGE.

12. The DEVELOPER shall be responsible for any and all damage to the IMPROVEMENTS that may occur during the construction



of the PROJECT irrespective of whether the IMPROVEMENTS damaged have or have not been finally accepted hereunder. DEVELOPER shall replace and repair damage to the IMPROVEMENTS installed within, under or upon the SUBJECT REALTY resulting from construction activities by DEVELOPER, its successors or assigns and its employees, agents, contractors or subcontractors during the term of this Agreement, but shall not be deemed hereby to have released any other party from liability or obligation in this regard. DEVELOPER shall have no obligation with respect to damage resulting from ordinary use, wear and tear occurring after final acceptance.

13. The rights and remedies of the VILLAGE as provided herein, in the ordinances of the VILLAGE and/or in any agreements between the VILLAGE and DEVELOPER regarding the PROJECT, shall be cumulative and concurrent, and may be pursued singularly, successively, or together, at the sole discretion of the VILLAGE, and may be exercised as often as occasion therefor shall arise. Failure of the VILLAGE, for any period of time or on more than one occasion, to exercise such rights and remedies shall not constitute a waiver of the right to exercise the same at any time thereafter or in the event of any subsequent default. No act of

omission or commission of the VILLAGE, including specifically any failure to exercise any right, remedy or recourse, shall be deemed to be a waiver or release of the same; any such waiver or release to be effected only through a written document executed by the VILLAGE and then only to the extent specifically recited therein. A waiver or release with reference to any one event shall not be construed as a waiver or release of any subsequent event or as a bar to any subsequent exercise of the VILLAGE'S rights or remedies hereunder. Except as otherwise specifically required, notice of the exercise of any right or remedy granted to the VILLAGE is not required to be given.

14. From and after the date on which the VILLAGE'S Director of Municipal Services notifies the DEVELOPER, in writing, that the DEVELOPER is in default of any of its obligations under this Agreement, the DEVELOPER shall pay to the VILLAGE, upon demand, all of the VILLAGE'S fees, costs and expenses incurred in enforcing the provisions of this Agreement against DEVELOPER, including, without limitation, reasonable engineers' and reasonable attorneys' fees, costs and expenses, and, if any litigation is filed as part of such enforcement, any court costs and filing fees.

15. This Agreement shall be binding upon and inure to the successors and assigns of the parties to this Agreement. Notwithstanding the foregoing, this Agreement shall not be assigned by either party hereto without the prior written consent of the other party to this Agreement.

16. The invalidity of any provision of this Agreement shall not impair the validity of any other provision. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable, that provision will be deemed severable and this Agreement may be enforced with that provision severed or as modified by the court.

17. This Agreement sets forth an agreement of the parties insofar as it specifically contradicts, modifies or amplifies any provision of the VILLAGE Code. To the extent that this Agreement does not address an applicable provision of the VILLAGE Code, the VILLAGE Code shall continue to control the parties' activities contemplated by this Agreement regardless of the fact that the VILLAGE Code has not been addressed within the specific terms of this Agreement.

18. This Agreement shall be in full force and effect from the date set forth above until two (2) years from and after the

date on which the last of the IMPROVEMENTS has been finally accepted.

19. This Agreement shall be interpreted and construed in accordance with the laws of the State of Illinois.

20. All notices hereunder shall be in writing and must be served either personally or by registered or certified mail to:

A. VILLAGE at:

VILLAGE OF WILLOWBROOK  
Attn: Village Admin  
835 Midway Drive  
Willowbrook, Illinois 60527-5594

B. DEVELOPER at:

The Chicago Gun Club LLC  
4825 Lee Avenue  
Downers Grove, IL 60515

21. This Agreement is executed in multiple counterparts, each of which shall be deemed to be and shall constitute one and the same instrument.

Remainder of page intentionally left blank

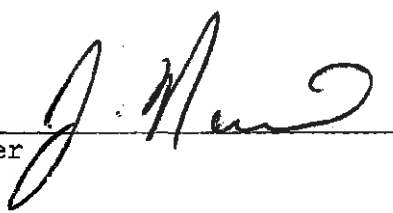
IN WITNESS WHEREOF, the parties hereto have set their hands  
and seals on the date first above written.

VILLAGE OF WILLOWBROOK, an Illinois  
municipal corporation,

By: \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

By:  \_\_\_\_\_  
Owner

ATTEST:

\_\_\_\_\_

STATE OF ILLINOIS     )  
                              )   SS.  
COUNTY OF DU PAGE     )

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that Frank Trilla, Mayor of the VILLAGE OF WILLOWBROOK, and Leroy Hansen, Village Clerk of said Village, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as such Mayor and Village Clerk, respectively appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth; and the said Village Clerk then and there acknowledged that he, as custodian of the corporate seal of said Village, did affix the corporate seal of said Village to said instrument, as his own free and voluntary act and as the free and voluntary act of said Village, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of \_\_\_\_\_, 201~~8~~<sup>7</sup>

\_\_\_\_\_  
Notary Public



STATE OF ILLINOIS     )  
                              )  SS.  
COUNTY OF DU PAGE     )

I, the undersigned, a Notary Public in and for said County,  
in    the    State    aforesaid,    DO    HEREBY    CERTIFY    that  
\_\_\_\_\_ of

\_\_\_\_\_, and \_\_\_\_\_,  
of said company, personally known to me to be the same persons  
whose names are subscribed to the foregoing instrument as such  
\_\_\_\_\_ and \_\_\_\_\_, respectively appeared  
before me this day in person and acknowledged that they signed and  
delivered the said instrument as their own free and voluntary act  
and as the free and voluntary act of said company, for the uses  
and purposes therein set forth; and the said \_\_\_\_\_  
then and there acknowledged that \_\_\_\_\_ he, as custodian of the  
corporate seal of said company, did affix the company seal of said  
company to said instrument, as h\_\_\_\_\_ own free and voluntary act and  
as the free and voluntary act of said company, for the uses and  
purposes therein set forth.

GIVEN under my hand and Notarial Seal this \_\_\_\_\_ day of  
\_\_\_\_\_, 201~~6~~<sup>7</sup>

\_\_\_\_\_  
Notary Public

Exhibit A  
Legal Description

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE  
SOUTHEAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE  
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED  
OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN AMVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S  
FIRST ADDITION, BEING A RESUBDIVISION OF ANVAN'S SUBDIVISION, A  
SUBDIVISION OF PART OF THE SOUTH EAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38  
NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO  
THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS  
DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLIN

Exhibit B  
Engineering Plans

Please see Exhibit "D" of this Ordinance for  
The Chicago Gun Club Final Engineering Plans

Exhibit C  
Engineer's Cost Estimate of Construction

|

99

81

## Chicago Gun Club

**ENGINEER'S ESTIMATE OF PROBABLE COST - Stormwater Facilities and Site Development**

	UNIT	QUANTITY	UNIT PRICE	ITEM COST
Silt Fence	FOOT	1516	\$0.90	\$1,364.40
Inlet Protection	EACH	12	\$40.00	\$480.00
8" Perforated HDPE Storm Sewer	FOOT	135	\$16.00	\$2,160.00
12" RCP Storm Sewer	FOOT	501	\$22.00	\$11,022.00
15" RCP Storm Sewer	FOOT	303	\$32.00	\$9,696.00
18" RCP Storm Sewer	FOOT	369	\$38.00	\$14,022.00
Catch Basin Type A, 4' Diameter	EACH	5	\$1,500.00	\$7,500.00
Catch Basin Type C, 2' Diameter	EACH	8	\$1,200.00	\$9,600.00
12" RCP FES	EACH	1	\$350.00	\$350.00
15" RCP FES	EACH	1	\$450.00	\$450.00
18" RCP FES	EACH	5	\$550.00	\$2,750.00
Prairie Grass for Bioretention Area	ACRE	0.27	\$2,000.00	\$546.33
Erosion Control Blanket	SQ YD	1,322.11	\$0.75	\$992

Combination Concrete Curb and Gutter, Type B 6.12	FOOT	2043	\$15.00	\$30,645
Earthwork	L SUM	1	\$24,000.00	\$24,000
Sidewalk	L SUM	1	\$24,000.00	\$24,000
Off-Site Sidewalk	L SUM	1	\$11,000.00	\$11,000
Parking Lot Pavement	L SUM	1	\$115,000.00	\$115,000
Landscaping	L SUM	1	\$107,000.00	\$107,000
Lighting	L SUM	1	\$50,000.00	\$50,000

Run Date 4/18/17 EDF

**TOTAL SITEWORK COSTS: \$372,577**

Exhibit D  
Off-site Sidewalk Location

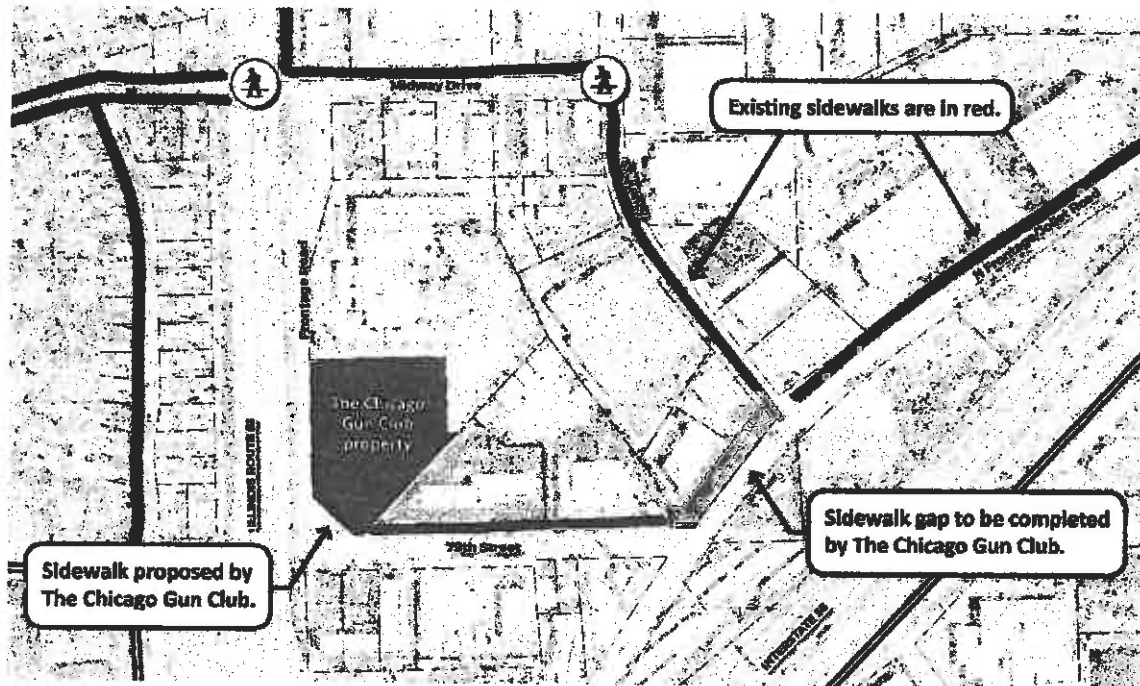




EXHIBIT "F"

TRAFFIC REGULATION AGREEMENT

Return Recorded Document  
to:

Tim Halik  
Village Administrator  
Village of Willowbrook  
835 Midway Drive  
Willowbrook, IL 60527

### **TRAFFIC REGULATION AGREEMENT**

THIS AGREEMENT is made as of this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by and between THE CHICAGO GUN CLUB LLC and the VILLAGE OF WILLOWBROOK, a municipal corporation, within which corporate jurisdiction the Complex is located for the regulation of traffic and other matters within the complex area and the enforcement of said regulations by the assigned traffic law enforcement personnel of the Village.

WITNESSETH:

ARTICLE 1. DEFINITIONS: As used in this Agreement, the following definitions apply:

- 1.1 Complex: The land, buildings and other improvements commonly known as The Chicago Gun Club, 7830/7850 IL Route 83, situated in the Village of Willowbrook, DuPage County, Illinois, and legally described in the attached Exhibit "A".
- 1.2 Permanent Index Numbers (PINs): 09-26-402-018 and 09-26-402-029.
- 1.3 Manager: Those persons or entity employed or retained by Owner from time to time with authority to administer, manage and operate the Complex for the purposes of this Agreement.

1.4 Owner: The Chicago Gun Club LLC, as applicant, and TCGC Property LLC, as property owner.

1.5 Village: Village of Willowbrook, DuPage County, Illinois.

ARTICLE 2. RECITAL OF FACTS: The following recitals of fact are an integral part of this Agreement.

2.1 Owner holds record title to the Complex.

2.2 The Complex is located within the corporate jurisdiction of the Village.

2.3 It is the mutual desire of the parties hereto that the Village shall regulate the parking of automobiles, and traffic and roller skating, bicycle riding and/or skateboarding within the Complex, and enforce said regulations by the assigned traffic law enforcement personnel of the Village.

2.4 The Illinois Vehicle Code (625 ILCS 5/11-209) and the Illinois Municipal Code (65 ILCS 5/1-1-7) provide for such agreement between the Village and the Owner and said statutory authorization enumerated on those matters which may be included in such agreement. Further, additional matters may be included in such agreements pursuant to Article VII, Section 10 of the Illinois Constitution.

2.5 Manager, in its capacity with Owner, is empowered to enter into this Agreement.

ARTICLE 3. COVENANTS: In consideration of the foregoing premises and of the covenants and conditions hereinafter contained, the adequacy and sufficiency of which the parties hereto hereby stipulate, each of the respective parties hereto covenants and agrees as follows:

3.1 The Owner will cause the Manager or its designated representative to cooperate with the Chief of Police or his designated representative in inspecting the parking area of the Complex to determine what, if any, stop signs, yield signs, person with disabilities parking area signs, or any other traffic markers are to be erected, and to determine what, if any, areas are to be marked as stop intersections, yield intersections, person with disabilities parking areas or pedestrian crossings, in order to provide for the safe and efficient trafficking of the parking area of the Complex. Further, such determination may include the regulation and/or prohibition of roller-skating, the riding of bicycles and/or the riding or operation of skateboards in and upon the Complex, and the posting of the signs with the respect thereto.

3.2 If it be determined, pursuant to Paragraph 3.1 of this Agreement, that stop signs, yield signs, person with disabilities parking area signs, or any other markers are to be erected or that specified intersections are to be marked as stop intersections,

yield intersections, or pedestrian crossings, the Owner agrees to erect such signs and markers at the indicated places on the Complex, in accordance with all applicable regulations and specifications promulgated by the State of Illinois. The Owner shall bear the costs and expenses of obtaining, erecting and maintaining any and all such signs and markers necessary for enforcement of the regulations agreed to by the parties herein.

- 3.3 The Owner shall cause the Manager to mark such fire lanes as the local Fire Protection District Chief or his designated representatives shall recommend as necessary for effective movement of Fire Department and other emergency vehicles.
- 3.4 Signs or other devices providing for the regulation of traffic and parking, or the regulation or prohibition of roller skating, bicycle riding or skateboarding, within the Complex, as well as a designation of the exact regulations to be imposed thereon, shall be installed as shown in the Traffic Regulation Plan for *The Chicago Gun Club* as prepared by Morris Engineering, Inc., 515 Warrenville Road, Lisle, IL 60532, consisting of 1 sheet, dated ~~April 18~~ April 19, 2017, a copy of which is attached hereto as Exhibit "B" and by this reference incorporated herein.
- 3.5 The Village hereby agrees to enforce all regulations in the parking areas of the Complex by use of assigned traffic enforcement personnel of the Village; to issue citations to any and all violators of such regulations; and to adopt and enforce any additional reasonable rules and regulations with respect to traffic and parking in the parking area as local conditions may require or the safety and convenience of the public or the users of the parking area.
- 3.6 The Owner hereby agrees to provide for the removal of vehicles that are abandoned or parked in areas where stopping, standing or parking is prohibited. Such removal shall be done pursuant to a towing agreement and in accordance with the requirements of 625 ILCS 5/4-203, including, but not limited to, posting of the notice required therein.
- 3.7 Neither the Owner nor the Manager shall permit any person to park a vehicle at any location in the Complex for the purpose of displaying such vehicle for sale. The owner of any such vehicle may be ticketed by the Village.
- 3.8 The Owner has named the Village as an additional insured on its Comprehensive General Liability Insurance Policy and on their Excess Liability Insurance Policy and a copy of said Certificate of Insurance is attached hereto as Exhibit "C" and incorporated herein. Such liability insurance shall provide that the Village, its officers, agents, agencies, employees, and departments shall be additional insured under such insurance. Said insurance shall be in the minimum amount of one million dollars (\$1,000,000) combined single limit or in such amounts acceptable

to the Village and shall be in such form and with such Company as shall be approved by the corporate authorities.

The Owner hereby agrees to keep said policies in full force and effect throughout the terms of this Agreement. A mandatory written notice must be provided upon the cancellation of any policy as outlined under the Certificate of Insurance evidencing the coverage provided for herein.

- 3.9 In the event the Owner changes Managers, the Owner shall notify the Village within ten (10) days of such change.

ARTICLE 4. TERM: This Agreement shall be in full force and effect from and after the date of its execution for a period of twenty (20) years of the date thereof, and may, by further agreement of the parties, be continued for additional periods of like duration.

Notwithstanding any provision contained herein to the contrary, after this Agreement has been in effect for a term of one (1) year, this Agreement may be canceled upon the giving of thirty (30) days prior written notice by either party hereto, except to the extent that the Owner may be required to maintain this Agreement pursuant to any zoning relief granted by the Village.

- 4.1 The sole remedy available to the Owner, upon any breach of this Agreement by the Village, shall be the cancellation of the Agreement under its terms. It is of the essence of this Agreement that the Village shall not be liable in money damages for any breach of this Agreement.

ARTICLE 5. SUCCESSORS: This Agreement shall be binding upon and inure to benefit the respective assigns, successors and personal representatives of each of the parties hereto.

ARTICLE 6. GOVERNING LAW: This Agreement shall be governed by the laws of the State of Illinois.

ARTICLE 7. RECORDING: A fully executed copy of the Agreement shall be recorded in the Office of the Recorder of Deeds of the County of DuPage of the State of Illinois, and it is agreed, pursuant to the statutes set forth above, that no regulation made pursuant to this Agreement shall be effective or enforceable until three (3) days after this Agreement is recorded.

ARTICLE 8. NOTICES: All notices hereunder shall be in writing and sent by Certified Mail, addressed to The Chicago Gun Club LLC, 4825 Lee Avenue Downers Grove, IL 60515, and, if to the Village, at the Office of the Village Administrator of Willowbrook, 835 Midway Drive, Willowbrook, Illinois 60527.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed, as of the date and year first above mentioned.

OWNER

THE CHICAGO GUM CLUB, LLC

BY:

  
\_\_\_\_\_  
Joe Neveril  
(Owner)

VILLAGE OF WILLOWBROOK

BY:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Village Clerk

EXHIBIT "A"

LEGAL DESCRIPTION OF COMPLEX

PARCEL 1:

LOT 4 IN ANVANS SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 9, 1978 AS DOCUMENT R78-96734, IN DU PAGE COUNTY, ILLINOIS.

AND

PARCEL 2:

LOT 2 IN AMVAN'S RESUBDIVISIONS OF ALL OF LOTS 1, 2 AND 3 IN ANVAN'S FIRST ADDITION, BEING A RESUBDIVISION OF ANYVAN'S SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTH EAST  $\frac{1}{4}$  OF SECTION 26, TOWNSHIP 38 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID ANVANS RESUBDIVISION RECORDED MARCH 31, 1986 AS DOCUMENT R86-28791, IN DUPAGE COUNTY, ILLINOIS.

PINS: 09-26-402-018 AND 09-26-402-029

ADDRESS: ROUTE 83 AND 79TH STREET, WILLOWBROOK, ILLINOIS



EXHIBIT "B"

TRAFFIC REGULATION PLAN

Pursuant to the attached agreement, the Willowbrook Police Department agrees to enforce the following areas as designated on the traffic control plan attached hereto.

1. Traffic control signs including posted speed limit signs, stop signs, yield signs, and one-way signs.
2. No parking within 15 feet of hydrant locations as marked.
3. Handicap parking areas as marked with an official sign.
4. Prohibition of parking along all streets between 2:00 a.m. and 6:00 a.m.
5. Enforcement of yellow curb markings with adjacent "No Parking" signs indicating no parking areas.
6. Enforcement of posted, "No Trespassing" signs.
7. Posted "No Parking" zones.
8. Parking of vehicles for the purpose of being displayed for sale.
9. Enforcement of Village ordinance violations.
10. Prohibition of roller skating, bicycle riding, or skateboarding within the complex as posted.

Any future signs, crosswalks, and so forth may be agreed upon at a later date.

  
\_\_\_\_\_  
Owners' Representative

JOE NEVERIL

\_\_\_\_\_  
Chief of Police

4/14/2017 11:05:00 AM  
H:\16-PR-2003 CHICAGO GUN CLUB  
16-PR-2003 SITE PLAN 16-PR-2003.DWG



THE WEST LINE OF THE SOUTHEAST QUARTER OF 28-38-11 ALSO BEING THE CENTERLINE OF ROUTE 83

ROBERT KINGERY HIGHWAY  
STATE ROUTE 83

EAST LINE OF ROUTE 83

EAST ROW LINE  
OF STATE RTE 83

4' CHAIN LINK  
FENCE

FRONTAGE ROAD

PROPOSED  
STOP BAR 24"  
12 LF

PROPOSED SIGN  
"DELIVERY VEHICLES  
ONLY BEYOND THIS POINT"

N88°21'25"E MEAS  
S89°45'E REC.

374.84' MEAS  
375.0' REC.

S01°41'01"E MEAS  
S00°15'W REC

28.53' MEAS  
28.11' REC  
S89°45'E REC.  
S89°24'56"W MEAS

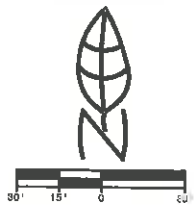
19.34' REC. & MEAS.  
S89°03'05"W REC.  
S87°11'43"W MEAS

79TH STREET

SOUTH LINE OF THE SOUTHEAST QUARTER OF 28-38-11

# LEGEND

- STOP SIGN
- OTHER SIGN
- DIRECTION OF TRAFFIC
- PARKING STOPS



TRAFFIC REGULATION AGREEMENT EXHIBIT

CHICAGO GUN CLUB  
WILLOWBROOK, ILLINOIS

Morris Engineering, Inc.  
Civil Engineering • Consulting  
Land Surveying  
515 W. Warrenville Road, Suite 110, 60532  
Phone: (630) 271-0770  
Survey: (630) 271-0559  
FAX: (630) 271-0774  
Web site: www.mecil.com



FIELD CREW:	OS
DRAWN BY:	CUS
CHECKED BY:	AS
APPROVED BY:	AS
DATE:	4/10/17
SCALE:	HORIZ 1"=30' VERT NONE
SHEET 1 OF 1 SHEETS	
PROJ # 16-PR-2003	

EXHIBIT "C"

CERTIFICATE OF INSURANCE

Client#: 18175

ORANCRU

ACORD™

## CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/07/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Construction - Remegi Team Alliant/Mesirow Insurance 353 N. Clark Street Chicago, IL 60654	CONTACT NAME: Jennie Fronczak	
	PHONE (A/C, No, Ext): 312 595-8242	FAX (A/C, No): 312 595-6381
	E-MAIL ADDRESS: Jennie.Fronczak@Alliant.com	
INSURED TCGC Property, LLC 321 South Center Street Hillside, IL 60162	INSURER(S) AFFORDING COVERAGE	
	INSURER A: Executive Risk Indemnity, Inc.	NAIC # 35181
	INSURER B: Travelers Property Casualty Co.	25674
	INSURER C: Federal Insurance Company	20281
	INSURER D:	
	INSURER E:	
INSURER F:		

## COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.


INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input checked="" type="checkbox"/> LOC OTHER:		54303385	03/15/2017	03/15/2018	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$300,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000 \$
C	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS		54303384	03/15/2017	03/15/2018	COMBINED SINGLE LIMIT (Ea accident) \$1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$10,000		ZUP21N8924417NF	03/15/2017	03/15/2018	EACH OCCURRENCE \$10,000,000 AGGREGATE \$10,000,000 \$ PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	N/A				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Re: Frontage Road and 79th Street in Willowbrook, (DuPage County), Illinois

## CERTIFICATE HOLDER

## CANCELLATION

*****SAMPLE*****	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

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MINUTES OF THE REGULAR MEETING OF THE FINANCE AND ADMINISTRATION COMMITTEE OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY, MARCH 13, 2017 AT 5:30 P.M. AT THE VILLAGE HALL, 835 MIDWAY DRIVE, WILLOWBROOK, ILLINOIS.

**1. CALL TO ORDER**

The meeting was called to order by Trustee Neal at 5:32 p.m.

**2. ROLL CALL**

Those present at roll call were Trustee Gayle Neal and Director of Finance Carrie Dittman. Chairman Umberto Davi arrived at 5:37 p.m.

**3. APPROVAL OF MINUTES**

Minutes of the Regular Finance/Administration Committee held on Monday, February 13, 2017 were reviewed.

Motion to approve made by Chairman Davi, seconded by Trustee Neal. Motion carried.

**4. REPORT – GFOA Certificate of Achievement Award Recipient**

Director Dittman noted that the Village had submitted its FY 2015/16 audited financial statements to the Government Finance Officers Association (GFOA) in October 2016 for consideration for the Certificate of Achievement for Excellence in Financial Reporting (CAFR) Award. Reports submitted to the CAFR program are reviewed by selected members of the GFOA professional staff and the GFOA Special Review Committee (SRC), which comprises individuals with expertise in public sector financial reporting and includes financial statement preparers, independent auditors, academics, and other finance professionals.

Staff was notified in February 2017 that the Village received the award, which reflects the commitment of the Village and staff to prepare comprehensive annual financial reports that evidence the spirit of transparency and full disclosure. The award was the 28<sup>th</sup> consecutive CAFR award the Village of Willowbrook has received.

Upon conclusion of the audit of the FY 2016/17, which will occur in early fall, the Village will submit those audited financial statements to GFOA for consideration of the award program as well.

The Committee accepted the report.

**5. APPROVAL - Supplemental Appropriation**

Director Dittman noted that the Village follows the Illinois Appropriation Act and each year is required to adopt an appropriation ordinance within the first quarter of the fiscal year. The ordinance does not replace the previously adopted Administrative Budget that serves as the management tool to monitor expenditures/expenses against approved budgeted line items. The ordinance provides expenditure/expense amounts by fund that the Village cannot exceed in the fiscal year 2016-17. Generally, administrative budget amounts are doubled to form the appropriation amounts.

The original appropriation for FY 2016-17 was approved on June 13, 2016, however, at that time the Village had not yet established the Rt. 83/Plainfield Road Business District. Upon establishment of the Business District, which occurred on July 11, 2016, the Village created the Rt. 83/Plainfield Road Business District Tax Fund, which will account for sales taxes generated by the business district and expenditures incurred related

to the creation and administration of the business district. As of January 31, 2017, approximately \$55,000 of expenditures had already been incurred, with more expected through the end of the fiscal year, thus it is necessary to adopt a supplemental appropriation to legally expend these funds. The Village estimates that \$75,000 of expenditures will be incurred through April 30, 2017, and in accordance with practice to double the budget to form the appropriation, \$150,000 is included in the supplemental appropriation. \$150,000 of estimated revenues (business district sales tax) has been added to the amended CFO's Certificate of Estimated Revenues. This item will be presented to the Village Board at this evening's meeting.

Motion to approve made by Chairman Davi, seconded by Trustee Neal. Motion carried.

#### **6. APPROVAL – FY 2016/17 Audit Engagement Letter**

Director Dittman relayed that in FY 2010, the Village approved a three-year contract with the accounting firm of Wolf & Company to provide audit services for the Village. The change in auditors was needed as the prior audit firm of Sikich LLP could not provide both Interim Village Administrator services and audit services in the same audit period. After FY 2012, Wolf (which was merged into another firm called BKD in 2015) continued to conduct the Village's annual audit on a year-to-year basis.

The audit partner and manager from Wolf assigned to the Village's audit stayed with BKD and have continued to serve on the Village's audit team. BKD has submitted a one year engagement letter to perform the Village audit for the year ended April 30, 2017 at a fee of \$30,500. This includes the base audit fee and ongoing work related to GASB Statement No. 68 of \$29,750, plus additional fees of \$750 to implement GASB Statement No. 72, a new accounting pronouncement. This represents an overall increase of \$1,600 or 5.5% over last year's total fee. If the Village needed a separate single audit of its federal funds received (i.e., from the IEPA loan), the auditors would charge an additional \$3,000.

The Village is not bound to remain with BKD and could change auditors at any time. However, the RFP process to select a new auditor can be time consuming and as there have been no issues, staff would recommend at the present time that we accept a one-year audit extension with BKD. The committee concurred with the recommendation. This will be brought forth to the Village Board at a subsequent meeting.

Motion to approve a one year extension to the audit contract for FY 2016/17 made by Chairman Davi, seconded by Trustee Neal. Motion carried.

#### **7. DISCUSSION – Termination of Utility Tax Audit Contract**

Director Dittman explained that in October 2005, the Administrator at the time brought forth a proposal from a company called AZAVAR to perform a utility tax and cable franchise fee audit, whereby AZAVAR would determine if there were past, present and future utility taxes that were not properly being paid to the Village because of improperly coded customer addresses. Any address discrepancies discovered during AZAVAR's audit would be corrected, and if to the benefit to the Village, then AZAVAR would collect 50% of the new utility tax revenue for a period of 60 months going forward.

At that time, the Village Board did not approve the agreement with AZAVAR. However, in September 2006, the Administrator at the time again proposed the service to the Village board, and a professional services agreement (included in packet) was passed via resolution on September 25, 2006. At that time, staff had believed and indicated to the Village board that the services would last for a period of 60 months, which was the revenue sharing period with AZAVAR as indicated in their contract.

However, upon conclusion of the initial audits of telecommunication and cable franchise providers and the related revenue sharing period, in 2013 AZAVAR began new audits of ComEd and Nicor. AZAVAR calculated a



Notice of Tax Liability to be sent to Nicor indicating underpayments, interest and penalties due to the Village of \$113,840.40. Nicor disputed this amount and after numerous meetings, conference calls, etc., Nicor settled with the Village for \$11.00 and the Village was invoiced 50% of it (\$5.50) by Azavar.

Also in 2013, AZAVAR calculated a Notice of Tax Liability to send to ComEd of \$134,440.68. To date, ComEd has contested the audit findings and continues to refuse to respond to AZAVAR and/or to pay anything. Additionally, of the new revenue that AZAVAR claims it has discovered for the Village, there is no way to verify what that revenue is and thus to determine if the sharing amount is correct. AZAVAR also has informed the Village recently that they believe the service contract runs in perpetuity, which is in contradiction to Illinois Law that mandates that any contracts must expire upon the end of the then current Mayor's term.

Current staff does not believe the AZAVAR contract should continue for the following reasons:

- In accordance with Illinois law, the term of the agreement cannot exceed the term of the Mayor at execution, and the contract was executed approximately 11 years (3 Mayoral terms) ago;
- The results of the services performed to date by AZAVAR have not been what was originally expected and what the Village was led to believe.

The Committee discussed the contract and agreed that the termination of the contract was appropriate and that it should be brought forth to the Village Board.

#### **8. REPORT – Monthly Disbursement Reports – February 2017**

The Committee reviewed and accepted the disbursement reports for the month of February and key items are highlighted below:

- Total cash outlay for all Village funds – \$1,180,244. Fiscal Year to Date is \$13,483,829.
- Payroll for active employees including all funds - \$274,528 (2 payrolls). The average payroll for the year was \$149,261, which is a 13.59% decrease from the prior fiscal year.
- Average daily outlay of cash for all Village funds – \$42,152. Fiscal year to date daily average is \$44,390.
- Average daily expenditures for the General Fund only - \$19,649. Fiscal year to date average is \$24,679.

**9. REPORT – Sales Tax, Income Tax, Utility Tax, Places of Eating Tax, Fines, Red Light Fines, Building Permits, Water Revenues, Hotel/Motel Tax and Motor Fuel Tax**

All revenues are fiscal year to date collections through February 28, 2017 (unaudited):

- Sales tax receipts - \$3,131,265 up 0.10% from the prior year. Trending 5.3% over budget.
- Income Tax receipts - \$677,062 down 12.53% compared to the prior year, 7.5% over budget. IDOR has communicated to DMMC that this is due to “an accounting change” and it affects all municipalities, but IDOR has not given further details about the accounting change or if it will be ongoing.
- Utility tax receipts - \$804,323 down 0.74% from the prior year, 2.1% under budget, consisting of:
  - Telecomm tax - \$330,304, down 6.04%.
  - Northern IL gas - \$100,832, up 17.36%
  - ComEd - \$376,571, up 3.63%
- Places of Eating Tax receipts - \$416,171 down 4.72% compared to the prior year, trending 4.0% over budget.
- Fines - \$134,303 up 21.68% compared with the prior year, 24.48% over budget. Fines come from County distributions and also local fine tickets written by Village police officers.
- Red Light Fines – \$640,094 up 134.43% from the prior year receipts (in the prior year the cameras were down due to road construction and camera maintenance), trending 71.1% above budget. The budget for the first 4 months of FY 2016/17 was reduced due to the Rt. 83/63<sup>rd</sup> St. intersection cameras being out of service due to the road construction project. Those cameras are still down with no anticipated “go live” date yet given by ATS or IDOT.
- Building Permit receipts - \$456,112 up 46.26% from the prior year, 139.61% above budget.
- Water sales receipts - \$3,032,303 up 8.95% from the prior year, 1.40% above budget.
- Hotel/Motel Tax receipts - \$209,786 up 14.76% compared with the prior year. May & June 2015 collections (from April & May 2015 tax receipts) were still taxed at 1%. The hotel/motel tax rate increased to 5% effective June 1, 2015. Three of the four hotels are open and active. The revenue is trending at 0.3% higher than budget.
- Motor Fuel Tax receipts - \$183,178 down 0.43% compared with the prior year, 1.5% below budget.

The reports above were approved by Chairman Davi and Trustee Neal.

**10. VISITOR’S BUSINESS**

There were no visitors present at the meeting.

**11. COMMUNICATIONS**

There were no communications at the meeting.

**12. ADJOURNMENT**

Motion to adjourn at 6:03 p.m. was made by Trustee Neal, seconded by Chairman Davi. Motion carried.

(Minutes transcribed by: Carrie Dittman, 3/21/2017)

MINUTES OF THE REGULAR MEETING OF THE MUNICIPAL SERVICES  
COMMITTEE OF THE VILLAGE OF WILLOWBROOK HELD ON MONDAY,  
MARCH 13, 2017 AT THE VILLAGE HALL, 835 MIDWAY DRIVE, IN THE  
VILLAGE OF WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

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1. CALL TO ORDER

Trustee Paul Oggerino called the meeting to order at 5:30 PM.

2. ROLL CALL

Those present at roll call were Trustee Paul Oggerino, and Village Administrator Tim Halik.  
Absent: Chairman Michael Mistele.

3. APPROVAL OF MINUTES

- a) After review of the draft minutes from the February 13, 2017 regular meeting of the Municipal Services Committee, Trustee Paul Oggerino made a motion to approve the minutes as presented. Motion Carried

4. DISCUSSION – Small Cell Antennas

Administrator Halik advised the Committee that as the personal wireless industry continues to try to satisfy consumer demands for improved reliability and faster speeds, there is now a need for wireless carriers to install additional small cell antenna systems in order to obtain the bandwidth required to achieve the advertised 5G service capability. These small cell antennas are designed to serve only a portion of the area served by the original macrocell sites, in other words, high-power antennas installed on towers, water tanks, tall buildings, etc. As a result, more are needed. Halik advised that some estimate that each of the main wireless carriers may need up to install up to twenty small cell sites in a community. While communities understand the consumer need for faster service and reliability, these small cell antenna sites can be unsightly, can negatively affect the character of a neighborhood which can negatively affect property values, and in some cases, pose a threat to public safety. These small cell antennas, and associated operational equipment, can be mounted on existing utility poles or municipal owned streetlights and other facilities, and can range in height. Halik advised that in some cases, vendors working on behalf of wireless carriers have requested authorization to install new poles on the right-of-way in excess of 60 feet in height in order to install a small cell antenna. Although contrary to some of their claims, these vendors are not a regulated utility in accordance with the Telecommunications Act and cannot claim to have standing under current federal laws or FCC rules. They are not exempt from local authority. Therefore, Halik advised that there is a need to regulate this growing field. Several municipal Councils of Government including the DuPage Mayors and Managers Conference and the Illinois Municipal League are currently working to address this issue. Proposed legislation has also been introduced in the Illinois General Assembly which, if passed, would be severely detrimental to municipalities attempting to regulate and control the proliferation of these antenna facilities within their communities. Halik advised that staff is tracking Senate Bill 1451, sponsored by Illinois Senator Terry Link, which would severely limit municipal authority to regulate small wireless facilities. In addition, the FCC has recently closed a public comment period intended to seek feedback

on the issue. In response to these concerns, Halik advised that the IML has drafted a model Small Cell Antenna/Tower Right-of-Way Sitting Ordinance for municipal use. This model ordinance was forwarded to the Village Attorney to review against the current Village right-of-way ordinance, to determine if changes are needed. However, if several proposed bills relating to this issue, such as SB-1451, are signed into law, our ability to regulate these facilities may be greatly diminished. At the present time, the staff recommendation is to continue to track the proposed legislation and current meetings that are being held between Senator Link, IML attorneys, and the wireless industry. If required, the Village Attorney can finalize a draft ordinance for the Board's consideration relatively quickly. Trustee Oggerino agreed that this is an important topic and that staff should continue to monitor the issue to determine whether the Village Board should consider a local ordinance addressing the installation of small cell antennas within town.

5. DISCUSSION – Cherry Tree Lane: Proposed Sump Pump Drainage Project

Administrator Halik reminded the Committee that on February 8, 2016, several residents of the Village's Farmingdale Subdivision attended the regular Village Board meeting to report areas of pedestrian sidewalk within the subdivision that tend to become hazardous to pedestrians due to the discharge of residential sump pumps. Halik advised that in these areas, active residential sump pumps tend to discharge onto or near the public walks and cause icing hazards during the winter season. The residents provided pictures taken of ten individual locations in which this condition was occurring. In response to these reports, public works crews were dispatched the following morning to inspect the areas and confirm the conditions. At that time, protective barricades were placed at all locations in which a pedestrian hazard due to icing was identified.

Public works crews also inspected the remainder of the subdivision and identified additional locations where sidewalk hazards existed due to sump pump discharges. In total, twenty-one locations were identified with two located within the City of Darien, which were reported to the Darien Municipal Services Department. A letter was sent to all affected property owners advising that alterations to the manner in which their sump pumps discharged would be needed in order to eliminate the sidewalk hazards. The letter also offered the services of the Village engineering consultant to inspect the individual areas and make recommendations as to how those sump pump discharges could be re-routed, to eliminate the sidewalk hazard. Throughout 2016, public works and building dept. staff, along with the Village engineer, worked with the property owners to ensure the necessary alterations were made. Of the original twenty-one locations identified, only one remains. Unfortunately, that owner was issued a ticket, and will proceed to court. As part of this exercise, the PW crews also identified several residential sump pumps that are causing icing conditions on Cherry Tree Lane, which could cause a problem for vehicular traffic and is detrimental to pavement maintenance. Halik advised that the conditions were reviewed by the Village consulting engineer and a plan to eliminate the potential hazard was developed. This drainage improvement would be located entirely on Village right-of-way.

Halik shared that the total cost of this project would be \$11,330.63 which includes installation labor and equipment, and materials. Halik stated that the current PW budget is largely exhausted as far as funds to complete drainage improvement projects, so he recommends this project be completed after May 1, 2017 in the FY 2017/18 budget. At that time, Halik would bring the proposal to the Village Board for approval. Trustee Oggerino agreed with the recommendation.

6. REPORT – Police Building Expansion/Renovation, Progress Update

Administrator Halik shared with the Committee a two-page progress report on the police station construction that was prepared by Christine Keltner of Integrated Project Management, Burr Ridge. Halik highlighted areas of the report containing key accomplishments, budget tracking, schedule updates, upcoming activities, and current issues/risks for the period in which the particular report covers.

7. REPORT – Municipal Services Department

- a. Administrator Halik reviewed the monthly permit activity reports for the month of February 2017. Halik advised that the Village received about \$25,500 in permit revenue for the month. The total amount collected to date represents about 200% of the total budgeted amount of revenue for fiscal year 2016/17, indicating that it has been a very busy construction year.
- b. Administrator Halik shared the water system pumpage report for January 2017. The report indicates that the Village pumped 26,165,000 gallons of water in the month. The total amount of water pumped so far this fiscal year is slightly below the amount that was pumped in the same time period of FY 2015/16. However, we are still on-track to reach the FY2016/17 pumpage projection of 350,000,000 gallons.
- c. Administrator Halik shared the February 2017 scavenger report, and advised that the report was for informational purposes only.

8. VISITOR'S BUSINESS

(None)

9. COMMUNICATIONS

Administrator Halik reviewed the details of three project change orders pertaining to the police building renovation – change order no.'s 27, 28, and 29 that were on the Village Board agenda this evening for approval. He also advised that a partial payment – payout #5, to the general contractor for the police building project was also on the Board agenda for approval.

10. ADJOURNMENT

Motion to adjourn was made by Trustee Oggerino. The meeting was adjourned at 6:00 PM.

(Minutes transcribed by: Tim Halik, 4/5/17)

MINUTES OF THE REGULAR MEETING OF THE PARKS AND RECREATION COMMISSION  
HELD ON TUESDAY, MARCH 7, 2017, AT THE VILLAGE HALL, 835 MIDWAY DRIVE,  
WILLOWBROOK, DUPAGE COUNTY, ILLINOIS

1. CALL TO ORDER

Chairman Cobb called the meeting to order at the hour of 7:02 p.m.

2. ROLL CALL

Those present at roll call were Chairman Richard Cobb, Commissioners Lorraine Grimsby, Catherine Kaczmarek, Ronald Kanaverskis, Carol Lazarski, Robert Pionke, and Doug Stetina.

ABSENT: Commissioners Laurie Landsman and Rene Schuurman

Also present was Temporary Interim Superintendent of Parks and Recreation John Fenske.

A QUORUM WAS DECLARED

3. APPROVAL OF MINUTES – FEBRUARY 7, 2017

The Commission reviewed the February 7, 2017 minutes. There was an error in the person calling the meeting to order. Minutes were updated to reflect Chairman Cobb opened the meeting.

MOTION: A Motion was made by Commissioner Grimsby and seconded by Commissioner Stetina to approve the February 7, 2017 minutes as amended.

ROLL CALL VOTE: AYES: Chairman Cobb, Commissioners Grimsby, Kaczmarek, Kanaverskis, Lazarski, Pionke, and Stetina. NAYS: None. ABSENT: Commissioners Landsman and Schuurman.

MOTION DECLARED CARRIED

4. DISCUSSION – SPECIAL EVENT UPDATES/PLANNING:

a. Easter Egg Hunt – Saturday, April 15, 2017

Interim Superintendent Fenske advised that he had ordered eggs for the event. Costco is donating the candy to be placed inside the eggs. Kiwanis and Chicken Basket were sponsors for last year's event. Letters were sent for interest in this year's hunt. Interim Superintendent Fenske related that he has not yet heard from them. Interim Superintendent Fenske stated that he will be contacting Walgreens about taking pictures.

Interim Superintendent Fenske also advised that there will be at least three students from Hinsdale South that will be assisting.



b. 2017 Spring Fling – May 7, 2017

Interim Superintendent Fenske related that all of the Community Event activities have been booked; including the petting zoo, bounce houses, face painter, and DJ. At this time, sponsorships are down compared to last year. To date, \$3,300 has been received from eight (8) sponsors.

Interim Superintendent Fenske advised that Costco wants to be a sponsor, however, they cannot donate cash. Costco will be donating bottled water and cereal bars for the finish line.

Interim Superintendent Fenske stated that postcards will be printed and sent to residents in the next couple of weeks.

5. VISITORS' BUSINESS

None presented.

6. COMMUNICATIONS

Commissioner Stetina questioned what the status is for Willow Pond. Interim Superintendent Fenske advised construction is set to begin in April.

Commissioner Stetina advised that he had spoken to Mayor Trilla about a 40<sup>th</sup> Year Celebration for the Parks Department. Mayor Trilla suggested to combine the celebration with the dedication of the renovated police facility.

Interim Superintendent Fenske stated that last year, he spoke with a woman from Clorox/Glad Bags/RND Center on Adams Street about a community service project at Willow Pond. She recently contacted the Village to inquire if this project is still available. Interim Superintendent Fenske informed her that the park will soon be renovated. She inquired if there were any other parks that needed clean up. Interim Superintendent Fenske related that her company will be forming a volunteer group in May to clean up Community Park.

Interim Superintendent Fenske advised that he has been in contact with the Burr Ridge/Willowbrook Girls Softball league. They would like to meet with Village staff to discuss projects for the ball fields. One project involves installing lights on the third field. The league is willing pay for partial costs of the lighting. Interim Superintendent Fenske advised them that with current projects already in the budget, this funding would not be available for at least two (2) years.

Interim Superintendent Fenske related that he has done research about purchasing a PA system. He has spoken to a representative from the company that conducts the Movie Nights for his advice. The representative advised that he is looking to sell his current PA system and will get back to the Village with a price.

7. ADJOURNMENT

MOTION: Made by Commissioner Stetina, seconded by Commissioner Grimsby to adjourn the meeting at the hour of 7:32 p.m.

ROLL CALL VOTE: AYES: Chairman Cobb, Commissioners Grimsby, Kaczmarek, Kanaverskis, Lazarski, Pionke, and Stetina. NAYS: None. ABSENT: Commissioners Landsman and Schuurman.

MOTION DECLARED CARRIED

PRESENTED, READ and APPROVED,

April 4, 2017

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Chairman

Minutes transcribed by Executive Secretary Cindy Stuchl.

**MINUTES OF THE SPECIAL MEETING OF THE PLAN COMMISSION HELD ON  
WEDNESDAY, FEBRUARY 22, 2017, AT THE LITTLE THEATER AT HINSDALE  
SOUTH HIGH SCHOOL, 7401 CLARENDON HILLS ROAD, DARIEN, ILLINOIS**

**1. CALL TO ORDER**

**Chairman Kopp called the meeting to order at the hour of 7:00 p.m.**

**2. ROLL CALL**

**Those present at roll call were Commissioners Lacayo, Remkus, Soukup, Kaucky, Ruffolo, Vice-Chairman Wagner and Chairman Kopp. Also present were Village Planner Anna Franco, Building Inspector Roy Giuntoli, Plan Commission Secretary Joanne Prible and Administrative Intern Tiffany Kolodziej.**

**3. OMNIBUS VOTE AGENDA**

**The items on the Omnibus Vote Agenda were as follows:**

- A. Waive Reading of Minutes (APPROVE)**
- B. Minutes – January 11, 2017**

**MOTION: Made by Vice-Chairman Wagner, seconded by Commissioner Remkus, to waive the reading of the minutes.**

**UNANIMOUS VOICE VOTE**

**MOTION DECLARED CARRIED**

- 4. PLAN COMMISSION CONSIDERATION: Zoning Hearing Case 17-01: (Northeast corner of Route 83 Frontage Road and 79<sup>th</sup> Street, Willowbrook, Illinois – Chicago Gun Club LLC, 4825 Lee Avenue, Downers Grove, Illinois) Petition requesting approval to rezone the subject property from the B-3 General Business Zoning District to the B-4 Highway and Service Business Zoning District, approval of a Special Use Permit for an "Indoor Firing Range", approval of a Plat of Subdivision, and approval of associated variations on the property.**

- A. PUBLIC HEARING**
- B. DISCUSSION/RECOMMENDATION**

**SEE COURT REPORTER MINUTES**

**MOTION: Made by Vice-Chairman Wagner, seconded by Commissioner Soukup, to continue the hearing on April 5, 2017 at Hinsdale South High School Little Theater.**

**UNANIMOUS VOICE VOTE**

**MOTION DECLARED CARRIED**

5. VISITOR'S BUSINESS

None.

6. COMMUNICATIONS

None.

7. ADJOURNMENT

MOTION: Made by Commissioner Soukup, seconded by Commissioner Remkus, to adjourn the regular meeting of the Plan Commission at the hour of 8:30 p.m.

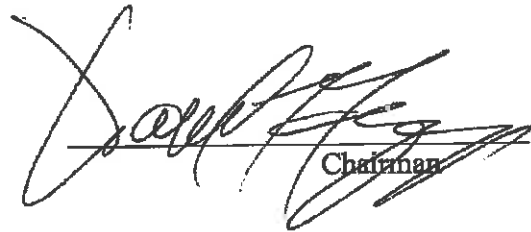
UNANIMOUS VOICE VOTE

MOTION DECLARED CARRIED

PRESENTED, READ AND APPROVED,

April 5, 2017

Minutes transcribed by Joanne Prible.

  
Chairman

**WITNESS:**

**Date: February 22, 2017**

**WILLOWBROOK PLAN COMMISSION - HEARING 17-01  
17-01**

**MARY WOOSLY, C.S.R.**



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VILLAGE OF WILLOWBROOK  
PUBLIC HEARING  
ZONING HEARING CASE NO. 17-01

REPORT OF PROCEEDINGS had at the  
Public Hearing of the above-entitled case before  
The Planning Commission at Hinsdale South High  
School, Little Theater, 7401 Clarendon Hills Road,  
City of Darien, Illinois, on the 22nd day of  
February, 2017, at the hour of 7:00 p.m.

PRESENT:

Daniel Kopp, Chairman  
John Wagner  
James Soukup  
Leonard Kaucky  
Bernardo Lacayo  
Gregory Ruffolo  
William Remkus  
Roy Giuntoli, Building Inspector  
Anna Franco, Planning Consultant  
Joanne Prible  
Tiffany Kolodziej, Intern

1 (Whereupon the hearing started  
2 at 7:00 p.m.)  
3  
4

5 MR. KOPP: The next item on the  
6 agenda is public hearing for zoning hearing Case  
7 No. 17-01. The purpose of this public hearing  
8 shall be to consider a petition requesting  
9 approval to rezone the subject property from the  
10 B-3 General Business Zoning District to the B-4  
11 Highway and Service Business Zoning District,  
12 approval of a special use permit for an indoor  
13 firing range, approval of a plat of subdivision,  
14 and approval of associated variations on the  
15 property commonly known as Route 83 and 79th  
16 Street.

17 The applicant for this  
18 petition is the Chicago Gun Club, LLC of Downers  
19 Grove, Illinois. Notice -- where does it say  
20 where the notice was? Oh, I'm sorry. Notice of  
21 this public hearing was published in the February  
22 3, 2017 edition of the Sun-Times newspaper.

23 Is there a representative for  
24 the applicant present?



1 MR. NEVERIL: Right here.

2 MR. KOPP: Can everyone who is  
3 speaking be sworn in by the court reporter.

4 (Joe Neveril, Ken Love, and Ryan  
5 Christensen were sworn.)

6 MR. KOPP: Go ahead, sir.

7 MR. NEVERIL: Good evening. And  
8 thank you for having us. If you recall, we were  
9 here last on an informal basis back in April of  
10 this past year, and we really have appreciated  
11 working with Anna and her team at the Village to  
12 get to this point today.

13 My name is Joe Neveril. I'm a  
14 local lawyer and the managing partner of the  
15 Chicago Gun Club, LLC. I'm joined by Ken Love  
16 from Texas, who has most recently been the general  
17 manager of the Frisco Gun Club in Frisco, Texas.  
18 And what's great about having Ken now on board  
19 with our team is that Ken -- our template for all  
20 the pictures that we showed you, the photographs  
21 of the concept that we showed you back in April,  
22 were pictures of photographs of the Frisco Gun  
23 Club. So we really saw that as the representative  
24 model of what we're trying to achieve, you know,

1 extrapolating to our site with improvements, of  
2 course.

3 Ryan Christensen is the  
4 manager of an affiliated entity TCGC Property, LLC  
5 which acquired the property in October of 2016.  
6 So it's really a co-application, both TCGC  
7 Property plus the Chicago Gun Club are  
8 co-applicants for this petition.

9 So in terms of an agenda, I  
10 want to just briefly go over the design concept  
11 and the project overview, give you an update as to  
12 site and floorplan details, talk a little bit  
13 about operations, some of the operational elements  
14 that were raised in Anna's report, and finally  
15 field any questions that you may have.

16 Big picture we are doing a  
17 guntry club and that's a term that is coming --  
18 picking up steam across the country as we  
19 mentioned. It's an upscale luxury shooting range  
20 that is a destination. It's not your everyday gun  
21 range. Even the new gun ranges that have come on  
22 board -- most recently in Hodgkins there's a new  
23 Point Blank. Don't know if you've been to the  
24 range at 355 in Bolingbrook. Our concept is

1 similar in that it's a brand new range, but it's  
2 much, much nicer. If those place -- those places  
3 are basic compared to what we're trying to achieve  
4 in terms of luxury and ambience and amenities. We  
5 propose to build a 31,000-foot brand new structure  
6 with luxurious high-end finishes throughout, the  
7 highest grade HVAC system, ballistic equipment,  
8 lighting, and air flow quality. 32 total shooting  
9 lanes, including a tactical shooting bay with  
10 computerized targeting systems. 4,370 square feet  
11 of retail area plus 1,620 square feet of warehouse  
12 and storage space, a unique 1,260-square-foot  
13 showroom for customized 4X4 vehicle sales, and I  
14 know on the documents that you've seen it says  
15 Jeep showroom. Jeeps are just a generic term for  
16 4X4s, but it could be a Range Rover. It could be  
17 a Ford Raptor. It could be any kind of offroad  
18 vehicle that is customized for the outdoor  
19 enthusiast. It's really you're taking the idea of  
20 retail, everything from a pair of luxury polarized  
21 sunglasses all the way to, you know, a machine  
22 that can ford a river and go anywhere in the case  
23 of a disaster. So that front area is really  
24 hitting on a theme that we want to have throughout

1 our business plan, which is to appeal to that  
2 survivalist, the preparedness theme that is, I  
3 think, picking up steam in our culture. Being  
4 ready for the unexpected, and it might be a  
5 Polaris machine. It might be a snowmobile. It's  
6 something mechanized that can get you someplace  
7 safe when, you know -- when it's needed.

8 We are, of course, talking  
9 about a guntry club which has memberships, and we  
10 have varying -- we envision varying levels of  
11 membership with different economics and a varying  
12 level of amenities, and we can talk more about  
13 that when we get into the details of the  
14 floorplan. But basically 3,907 square feet of  
15 dedicated space for the members at the higher  
16 levels of amenities, if you will. We are also  
17 proposing a 30-seat classroom and a separate  
18 396-square-foot laser training studio dedicated to  
19 education and safety. We feel that Ken can talk  
20 about that at length. There is a lot of different  
21 high tech laser training simulators out there in  
22 the marketplace that are being used to train  
23 policemen, especially in today's world where on  
24 the video screen, much like indoor golf, if you

1 ever go to the computerized indoor golf  
2 simulators. They have situations playing out on a  
3 screen real life, and the laser feels and weighs  
4 like a firearm, and it will, you know -- if you do  
5 the wrong thing, it trains you. So as well as  
6 training but also, you know, entertainment.

7 The site -- that's incredibly  
8 hard to see. I recognize that. If you have  
9 questions about the site plan, we can address  
10 them.

11 129 total parking spaces, I  
12 think is one of the highlights. Two separate  
13 large retention areas for water. Some various  
14 elevations of our structure. The Damian Farrell  
15 Design Group we feel did a fabulous job in  
16 creating a structure -- designing a structure that  
17 has a variety of materials and a pleasant  
18 aesthetic that will blend in well with the  
19 surrounding community, and it will stand out as a  
20 beautiful structure and, I think, we believe will  
21 add much to the area. The sign, tasteful monument  
22 sign. Basic lettering on the front of the  
23 structure. The floorplan that the Damian Farrell  
24 Design Group came up with we feel is really -- has

1 a lot of interesting things going for it.  
2 Everybody enters in the lower left. The entry  
3 vestibule you can see in the lower left corner.  
4 And they will be -- they will work their way  
5 through the retail floor as they approach the  
6 rental desk which is in the center of that red  
7 area that's at the top. But private -- the  
8 members who are -- have access to the luxury  
9 areas, both the lower level and the upper level,  
10 would make their way to the member check-in desk,  
11 which is a members concierge who can then assist  
12 them one on one with whatever their desires are at  
13 that particular visit.

14                               There is ample storage.  
15 Obviously, you never really have enough storage.  
16 You're always balancing that. Ken can certainly  
17 talk much about that and will.

18                               Once the customers make their  
19 way to the rental desk, they have their choice of  
20 shooting both rifles and handguns in the lower  
21 three bays, the bottom three bays. The light blue  
22 one, the tactical range, is reserved for law  
23 enforcement training as well as classes and the  
24 private higher levels of membership. So there is

1 something for everybody at every -- at every price  
2 point.

3 Upstairs we have the VIP  
4 lounge with bar. The center aisle area is really  
5 the administrative desk. That's the back office  
6 for the actual business. And, of course, the  
7 classroom space for training purposes. There is  
8 an exiting out of the VIP lounge. Towards the  
9 ranges is access to a sky lounge open to the  
10 outside with a fireplace that goes both directions  
11 so you can have a heated fire as you're sitting  
12 outside having a cigar or having a cocktail, what  
13 have you.

14 Now, talking about alcohol in  
15 the context of a gun range might -- and  
16 understandably upset some people -- get them a  
17 little uneasy. But, it's a practice that has been  
18 employed at different guntry clubs, including  
19 Frisco Gun Club down in Frisco, Texas, and over  
20 the course of time, we feel and feel very  
21 confident that standards and procedures have been  
22 and can be put in place that really defuse any  
23 concerns about mixing alcohol and firearms, and  
24 that really starts with a physical separation

1 between firearms and anyone who has ever had a  
2 drink or ever will have a drink on the premises.  
3 Before they actually enter the upstairs level,  
4 which is the only area of the facility that will  
5 serve alcohol, they will have to pass the member  
6 concierge. And if they've been shooting, they  
7 check their weapon either for the rest of the day  
8 overnight in one of the lockers or before they go,  
9 they take their weapon to their trunk of their car  
10 just like they would if they were leaving the  
11 building, and they can come back then.  
12 Furthermore, once anybody has been -- any member  
13 has been served alcohol in the upstairs level, the  
14 point of sale system flags that member so now  
15 their member card is no longer usable to reserve  
16 space or enter any of the shooting areas of the  
17 club. So there is really both a physical  
18 separation of the firearm as well as a  
19 technological way of flagging the individual to  
20 prevent them from having a drink then coming back  
21 to the trunk of their car, then reentering the  
22 building and trying to shoot. Their member number  
23 will not work.

24 Ken, do you have any more to



1 add on that?

2 MR. LOVE: We do a couple of things  
3 in Frisco Gun Club. A couple of things we do is  
4 when a member enters the VIP area, the lounge that  
5 serves alcohol, they get a wristband. When they  
6 go in there with that wristband, they are allowed  
7 access to the range. Without that wristband,  
8 they're not. So any time they make a purchase  
9 from the bar area, the wristband is removed for  
10 the rest of the day. Their account is flagged and  
11 they're not able to access the range. In the past  
12 three years, we have had zero instances where an  
13 intoxicated person has gained access to the range.  
14 It just doesn't happen. Most firearm owners are  
15 responsible and know when they've had something to  
16 drink they should not be on the range shooting,  
17 but we do our part on our site to make sure that  
18 does not happen. It's a pretty simple separation.  
19 I know it's kind of an uncanny relationship, but  
20 it's easily handled and we don't have any issues  
21 there at all.

22 MR. NEVERIL: Our proposed hours of  
23 operations are actually the same as Frisco. They  
24 were closed on Monday. So Ken is familiar with

1 certainly these hours. Monday through Thursday  
2 10:00 a.m. to 9:00 p.m. Friday and Saturdays 9:00  
3 to 9:00. Sunday 10:00 to 8:00. We are  
4 anticipating 15 employees per shift, extensive  
5 background and drug testing will be conducted.  
6 They all will be trained in firearms and be  
7 experts in their fields. We are going to be  
8 looking to hire veterans for sure, ex-police,  
9 competent people certainly. And at all times any  
10 person is on the range or when the range is open  
11 to the public, there will be a range officer on  
12 duty at all those times.

13 MR. LOVE: We will always have a  
14 range officer rotating from the sales floor to the  
15 range on a continuous basis.

16 MR. NEVERIL: We are committed to  
17 drafting a detailed security plan, and the ATF has  
18 issued guidance on best practices for, you know,  
19 protecting -- physically protecting, doing  
20 inventory counts, what are best practices for the  
21 physical separation of guns at night, how do you  
22 store them properly, how do you display them in a  
23 way that there aren't going to be a handgun that's  
24 walking out the door because there's six different

1 people in the retail area that are all looking at  
2 guns. I mean, there is -- the ATF has given  
3 guidance on that, so certainly the basic ATF plan  
4 if you go -- we'll look at it at the very end if  
5 there is a question on it. We intend to follow  
6 the ATF guidance on security. And in addition to  
7 that, we have contracted with the cofounder of a  
8 very successful guntry club in Oklahoma City,  
9 Wilshire Gun Club, which is a very successful new  
10 guntry club that was cofounded by a lawyer who  
11 then had learned so much and is an entrepreneurial  
12 guy, he formed an entity called NexGen Range  
13 Consulting that now has been endorsed by the  
14 National Shooting Sports Foundation as their  
15 range -- startup range service vendor of choice.  
16 So they actually come in and provide consulting  
17 services to get new ranges like what we would be  
18 up and running with the best procedures all put in  
19 place. So they actually provide that as a  
20 service. So that's -- we've already engaged Jeff  
21 Swanson and his group for help with our business  
22 plan as well as vetting our proforma. So we find  
23 a very powerful ally in Jeff Swanson and his  
24 group.

1           MR. LOVE: And without a doubt, Jeff  
2 brings a lot to the table. When he was originally  
3 conceptualizing the Wilshire Gun Club, he came to  
4 Frisco Gun Club to get advice from us. Because  
5 what happened to us, there is about 15 of these  
6 facilities in the United States. Really exploded  
7 in the past three or four years. Every new club  
8 that opens relies on experience from the previous  
9 clubs that are already open, and it's a fairly  
10 tight knit group of people that communicate  
11 regularly. We talk about best practices, what  
12 worked, what didn't work, what we wish we would  
13 have done in designing the facility.

14                   What we bring to this is we  
15 got Jeff with his experience with Wilshire, plus  
16 five years of my experience getting Frisco Gun  
17 Club off the ground, seeing it through  
18 construction, and then working into general  
19 manager position. We have a situation where we  
20 have lots of leadership, and we just don't think  
21 we are going to have any issues putting it  
22 together and making it run. We have a lot of  
23 people on our side that really bring a lot to the  
24 table in the industry. So I think it's an easily

1     successful project.

2                   MR. NEVERIL: I went through liquor  
3     and we did talk about -- we talked about the 4X4s  
4     or cars, any kind of motorized vehicle in that  
5     front display space. I know there was a question  
6     raised in the packet regarding will there be any  
7     test drives of any kind of motorized vehicle there  
8     on premises and the answer is no. Everything  
9     there is going to be defueled, and it's going to  
10    be inside without any fuel in it. So if there is  
11    a -- we have a dealer partner -- a new car dealer  
12    partner that would effectively be a subtenant in  
13    the space and would hold the title to whatever  
14    vehicle is being sold. So we don't envision the  
15    Chicago Gun Club becoming a licensed car dealer  
16    with the State of Illinois. What we would like is  
17    our strategic partner, a new car dealer, a  
18    franchise Lincoln dealer being a subtenant for  
19    that small little space of the building where we  
20    might have a vehicle. And then if a customer says  
21    I really want to test drive that Jeep, he always  
22    has the same model equipped similarly back at his  
23    dealership in Westmont. So that's kind of the way  
24    I am envisioning it and I think it works best that

1 way. You still -- you would still be able to as a  
2 Village participate in the sales tax revenue from  
3 the vehicle sale because of the way the State of  
4 Illinois allows dealers to actually have sales tax  
5 source, a single dealer, legal dealer, sourcing  
6 sales tax to multiple districts. It's a form you  
7 get from the Secretary of State that puts that  
8 dealer license and a location in Willowbrook so  
9 it's tracked properly -- the sales tax is tracked  
10 properly. And, of course, no vehicles will ever  
11 be stored -- anything will be stored outside.

12 That's all I have -- we have  
13 for you today. Tonight. Unless you have, of  
14 course, any questions at this time or perhaps,  
15 Anna, you want to go next and then we will deal  
16 with questions?

17 MR. KOPP: I have a question for you  
18 about what you just talked about sales tax.  
19 Because you hit on exactly what I was going to  
20 ask. When you said that that they're going to go  
21 to an outside dealer. Can we -- and I don't know  
22 the answer to this -- can we have some sort of  
23 understanding upfront that X percent of the sales  
24 tax for sales of any of these vehicles is going to

1 go to Willowbrook as opposed to Westmont?

2 MR. NEVERIL: Yes. That's what I'm  
3 saying is there's a process. You can set it up  
4 with the Secretary of State.

5 MR. KOPP: No. Right. I understand  
6 that. But, can you get these dealers to agree  
7 upfront that -- I don't know what percentage would  
8 be, the X percent for the sales of these vehicles  
9 or 100 percent.

10 MR. NEVERIL: It's 100 percent. So  
11 no portion of the sales tax of a Jeep sale that  
12 began -- the customer came from the Chicago Gun  
13 Club site. The goal is to source that sales tax  
14 to Willowbrook.

15 MR. KOPP: Okay.

16 MR. NEVERIL: Okay. Because, you  
17 know, that sale was referred -- it occurred in  
18 Willowbrook, even though the dealer, okay, maybe  
19 did the paperwork in Westmont.

20 MR. KOPP: Are they going to actually  
21 have staff at this facility to talk about the  
22 cars?

23 MR. NEVERIL: You know, if you're not  
24 opposed to it, potentially yes. Because the car

1 dealer -- a car salesman knows more about cars  
2 than a gun salesman, and so having the right  
3 expertise about that. Maybe it's by appointment  
4 and then we'll get one of the dealer sales reps to  
5 drive over to the facility and then show the car.  
6 Okay. Is that the right way to handle it? We  
7 want to do it tastefully. We don't want it to be  
8 overbearing. We want it to go very, very smoothly  
9 but we want the opportunity for people who -- we  
10 want customers to be able to, you know, point  
11 to -- see something they like and then eventually  
12 be able to buy it, you know, and display it. And  
13 as long as it's in keeping with the theme of  
14 survivalist and preparedness and safety. We're  
15 not just going to have a standard Lincoln or a  
16 standard anything sitting in there. It always has  
17 to be, you know, of the theme.

18 MR. KOPP: No. I understand.  
19 Anybody else have any questions for the applicant?

20 MR. LACAYO: Should we ask him now or  
21 wait until we close?

22 MR. KOPP: It's up to you.

23 MR. LACAYO: I have three questions.  
24 I didn't see anything on the noise level. Maybe



1 talk to us at Frisco because there's three hotels  
2 in the vicinity.

3 MR. LOVE: Absolutely. Now, what  
4 we've done in Frisco to take care of the noise  
5 situation, we're in a similar location  
6 demographically as Chicago Gun Club is going to  
7 be. There are building methods that are going to  
8 be done to all buildings. We're going to have  
9 approximately 8-inch-thick concrete walls and  
10 that's a significant sound barrier. But inside  
11 the ranges, on the tactical ranges, we are going  
12 to have a material called PEP, which is basically  
13 a rubber insulation panel on the range walls. And  
14 also above the baffle system, we will have  
15 insulation there to help combat and control noise,  
16 keep it on the range.

17 The shooting areas where the  
18 people are actually standing and shooting, all of  
19 those walls on all the ranges will be insulated  
20 against noise to keep that noise in the building.  
21 Typical noise outside of Frisco Gun Club in the  
22 middle of Saturday when it's really busy is  
23 probably going to be somewhere in the 60 decibel,  
24 65 decibel range. It's pretty insignificant.

1 When you're in the classroom, you're sitting in  
2 the classroom at the Frisco Gun Club, which is  
3 adjacent to -- across the showroom from the range,  
4 you cannot hear gun fire on the range. So there  
5 are construction methods that help us keep that  
6 noise in the building and keep it from being a  
7 nuisance to the neighbors.

8 And also our hours of  
9 operation. We're not going to be, you know,  
10 running deep into the night so when 9:00 o'clock  
11 comes, we shut it down.

12 MR. LACAYO: I got lost. Going to  
13 the lounge and the alcohol. How about reverse:  
14 If they're coming from the lounge to shoot their  
15 gun. I didn't follow it.

16 MR. LOVE: It's real simple. When  
17 they as a member go into the member area and buy  
18 an alcoholic beverage, their account is flagged in  
19 our computer system immediately. So if they  
20 decided to show up in the middle of the afternoon  
21 and have a drink and then think well, I'll going  
22 to go down to the range, by the time they get to  
23 the range counter, the range counter personnel  
24 pulls them up in the system and their account is

1   flagged alcohol served. They won't be allowed  
2   access to the range.

3               MR. LACAYO: Got it. And my last one  
4   is more a comment. I have been part of a golf  
5   country club. They try to keep gentlemen from  
6   smoking in the lounge. We have a pretty tight  
7   handle when it comes to that, so kind of a heads  
8   up.

9               MR. LOVE: Absolutely. What we're  
10   going to do, this will be a nonsmoking facility  
11   indoors. And all the deck that is off the VIP  
12   lounge on the second floor will be outdoors, and  
13   we will allow smoking out there. But, no smoking  
14   in the building at all.

15              MR. LACAYO: Got it. Thank you.

16              MR. LOVE: Anybody else have any  
17   questions?

18              MR. REMKUS: Will you be serving food  
19   at all?

20              MR. LOVE: Yes.

21              MR. NEVERIL: Limited. You know,  
22   it's where exactly -- we are not planning any  
23   black iron so no restaurant per se. But if we  
24   can, you know, through feedback from the

1 membership, what would you like to have available  
2 if it's -- I think that's something to be  
3 determined exactly what we have available, but it,  
4 obviously, can't be too complex or needs to be  
5 prepared. It must be able to be prepared offsite.

6 MR. LOVE: Be prepared, purchased  
7 offsite, brought in prepacked, and then sold, you  
8 know, individually. You know, best case scenario  
9 probably a heat-and-eat type. Prepackaged portion  
10 that we heat and then serve. We won't be doing  
11 any construction of food like a kitchen from  
12 ingredients onsite at all.

13 MR. NEVERIL: There was -- tell them  
14 about Liberty, though, and the way they did that  
15 because that's not necessarily out of the question  
16 yet at this stage.

17 MR. LOVE: There is another gun range  
18 in Colorado, northern Colorado called Liberty  
19 Firearms Institute, and they have actually brought  
20 into their gun range a local coffee -- locally  
21 sourced coffee bar, and they have a coffee bar  
22 inside their facility. That's, you know, small  
23 snacks, chips, candy bars, just easy stuff, no  
24 real food to speak of, but they do have a

1 Starbucks-type coffee shop inside their range.

2 MR. NEVERIL: They also have a  
3 kitchen in their member lounge like -- there is a  
4 kitchen like a home would have. A sink and a  
5 double oven and microwave and refrigerator and  
6 freezer. So if you were to --

7 MR. LOVE: Say you were going to have  
8 a birthday party there. You know, several friends  
9 could get together. You could bring pizzas, heat  
10 them up in the oven, have places for warming trays  
11 to be set up to serve preprepared food that was  
12 prepared offsite brought in at that level.

13 MR. REMKUS: Okay.

14 MR. KAUCKY: Are you able to discuss  
15 the membership level that you said you are going  
16 to offer? I know you brought that up last time we  
17 met, but you didn't have any figures.

18 MR. LOVE: Do you have a slide?

19 MR. NEVERIL: Yeah.

20 A MALE: Is this a done deal? You  
21 are talking about this as though this is a done  
22 deal with, you know, like are we going to get a  
23 discount on our membership and things like that.  
24 We're totally opposed to this even before hearing

1 about the alcohol.

2 MR. KOPP: Sir, you'll have your  
3 chance.

4 A MALE: I just want to know you're  
5 not sitting up there and all have the same idea  
6 that this thing is going to pass, you know,  
7 without any opposition. Okay. Sorry.

8 MR. NEVERIL: This is just  
9 preliminary and it's based on -- again, based on  
10 practices what we feel works economically in this  
11 demographic. By no means is this -- the  
12 membership agreement would spell out all this  
13 stuff in detail. But, roughly corporate VIP is I  
14 think -- set that aside. The VIP or we will start  
15 at silver. Silver is a person who walks in off  
16 the street. Okay. Just when you go to Top Golf,  
17 you are a member of Top Golf. You get a little  
18 card that says your name and it's what you swipe  
19 at the stall where you're hitting each hitting  
20 bank. And what's important about the silver level  
21 is there aren't any initiation fees. There aren't  
22 any monthly dues. There's nothing but there is an  
23 annual range waiver fee of \$10. So, in effect,  
24 the first time you go, you waive liability. It's

1 a waiver of liability so that if that person does  
2 something dumb, they can't sue us, okay, for their  
3 own negligence. That is -- a recognition of the  
4 inherent dangers of firearms is part of the waiver  
5 of liability form.

6 MR. LOVE: Part of that waiver will  
7 be a complete set of range rules that they will  
8 have to acknowledge our policy regarding conduct  
9 in the facility, they'll have to acknowledge, and  
10 then the penalties for not following the process.  
11 Somebody does something wrong, if somebody comes  
12 off of the range and breaks a rule, we will have  
13 the opportunity to remove them from the facility.  
14 We don't want to have a facility where people are  
15 acting recklessly. That's not what this is all  
16 about. This is about safety and doing it right.

17 So part of that waiver process  
18 is an acknowledgment of all our policies from  
19 beginning to end, and also an ability for us to  
20 capture their information to find out who they  
21 are. We will get a copy of their FOID card  
22 because they will have to have one of those to  
23 shoot with. We will get a copy of their driver's  
24 license. We will know who that customer is.

1 MR. CHRISTENSEN: To add, I don't  
2 know if everybody is aware but in the State of  
3 Illinois, you have to have what they call a  
4 firearms owner identification card, a FOID card.  
5 So these people have all been background checked  
6 by the State Police, and so somebody who is just  
7 -- on an impulse that would want to come fire a  
8 gun would not be able to do that because they do  
9 not have a FOID card.

10 So, number one, everybody is  
11 going to have a FOID card. Number two, we're  
12 going to register everybody so we know who is  
13 there.

14 MR. LOVE: Absolutely.

15 MR. REMKUS: Now, at some ranges you  
16 can shoot without a FOID card if you're  
17 accompanying somebody who has a FOID card. Are  
18 you going to restrict this to only FOID -- where  
19 you have to have a FOID card to shoot?

20 MR. LOVE: We haven't fully looked at  
21 that. We went to a couple of ranges here locally  
22 because I am from Texas. I do not have a FOID  
23 card. We don't have those in the State of Texas.  
24 At the range we went to today, I can't go to the



1 range and rent range space. But if I was with  
2 somebody who had a FOID card, they could. That's  
3 a practice we will take a look at.

4 MR. NEVERIL: Another option is if  
5 they're with a certified instructor and don't have  
6 a FOID card, that would be an acceptable trade-off  
7 for not having the card. But absent an  
8 experienced instructor with them at their side, a  
9 trainer, if you will, probably not.

10 MR. KAUCKY: Could you go back, then,  
11 to explaining the various levels and the costs?

12 MR. NEVERIL: Again, this is just  
13 preliminary.

14 MR. KAUCKY: I know. I know there  
15 has been a lot of interest in this.

16 MR. NEVERIL: So the silver is the  
17 individual with no initiation fee other than the  
18 waiver fee, but they do give us their name and  
19 address and email address and we know exactly  
20 their FOID card, we know who they are. The next  
21 level up is gold with a \$50 initiation fee. It  
22 can be paid for an annual \$99, so that would be  
23 the annual -- or you can choose like a tryout of  
24 just paying monthly. So you can pay \$99 upfront

1 and last a year because you know you want to be  
2 this kind of member, or you can say okay, I'm  
3 going to try it out. I'm going to become a gold  
4 member and pay \$20 a month. That 50 and 30 is the  
5 addition for upgrading to family. So if you  
6 wanted your wife and your children under age 21 to  
7 be, you know -- to be able to participate, then  
8 you're going to pay I guess \$149 upfront if you're  
9 going to do it for a year out or \$30 a month.  
10 Okay. If you go down, then, do you have that --  
11 this level does not provide access to the lounge  
12 areas. This is -- what you do get, though, if you  
13 know you're a shooter, you know you're going to  
14 want to be there, you know you're going to want to  
15 use the facility, you do get 50 percent off all  
16 charges, all rental at the time. So it will pay  
17 for itself over time.

18                   You also receive, again,  
19 that's two complimentary day passes to the lower  
20 level lounge area, so you can get a feel for, you  
21 know, that next step up, the platinum level. You  
22 know, spend a day as a platinum member, see if you  
23 like it. So see if you like the lounge area and  
24 the amenities that would be provided there. This

1 is really -- I wish I memorized this, but that's  
2 better. That's much better.

3 MR. CHRISTENSEN: We will let  
4 somebody else sell the membership.

5 MR. KAUCKY: How much is the  
6 platinum?

7 MR. NEVERIL: The platinum does  
8 provide access to the lower lounge area, so the  
9 first floor. It's \$750 one time initiation fee  
10 and monthly dues of \$75. So you're -- once you  
11 pay the 750, you are platinum member for life  
12 until you stop paying your dues -- you either quit  
13 or stop paying \$75 a month.

14 MR. KAUCKY: Is there one more?

15 MR. NEVERIL: Yeah. The VIP.

16 MR. KAUCKY: What is that?

17 MR. NEVERIL: That's a \$5,000  
18 initiation fee and monthly dues of \$250. It's  
19 very similar to the way private clubs work in the  
20 golf industry.

21 MR. KAUCKY: Thank you.

22 MR. NEVERIL: And the benefits for  
23 the VIP members are in terms of complimentary  
24 machine gun rental, handgun rentals, guest range

1 passes. There are all sorts of details that we  
2 can provide, you know, at the appropriate time.

3 MR. KAUCKY: Are you going to -- I'm  
4 sorry. I need to find this out, too. Are you  
5 going to be selling ammo there, too?

6 MR. NEVERIL: Yes.

7 MR. KAUCKY: Is it required that the  
8 shooters buy the ammo from you or not?

9 MR. LOVE: It is not.

10 MR. NEVERIL: But, it would be  
11 required if you rent a gun that you use --

12 MR. KAUCKY: Got you.

13 MR. LOVE: If you're in a position  
14 where you're going to be shooting our firearms,  
15 you obviously have to buy the ammo. But, if  
16 somebody wants to bring in ammo, all the ammo that  
17 goes on the range, one of the practices we use at  
18 both Frisco Gun Club and Bullet Craft, which are  
19 both ranges in Texas. We actually inspect that  
20 ammo before it goes out on the range so that  
21 nobody brings any tracers, incendiaries, anything  
22 that can do damage to the facility and potentially  
23 hurt somebody. We eliminate that before it goes  
24 on the range. We don't allow it out there. We do

1 have that process in place.

2 MR. WAGNER: Could you walk me  
3 through the physical ingress and egress to the  
4 second floor club room.

5 MR. NEVERIL: The VIP lounge?

6 MR. WAGNER: Yes.

7 MR. LOVE: Two different ways to get  
8 in that lounge. One, there will be an elevator  
9 just at the very bottom of the blue area. Scroll  
10 down a little bit -- or up, I guess. We will have  
11 an elevator plus a staircase, both available, to  
12 get to the area on the first floor if you can go  
13 to the first floor side. You have to pass the  
14 member check-in area, so to be in that area of the  
15 facility whether you're on the bottom floor or the  
16 second floor, you have to go through the members  
17 concierge and then upstairs to the VIP lounge or  
18 downstairs to the platinum member lounge. So  
19 that's controlled at the member check-in point  
20 there.

21 MR. NEVERIL: The doorway that you  
22 see there is egress only. So that would be

23 MR. WAGNER: Could you expand on that  
24 again, please.

1           MR. LOVE: If there is an emergency  
2 in the staircase, the stairwell there.

3           MR. GIUNTOLI: Anybody have a laser  
4 pointer?

5           MS. FRANCO: No.

6           MR. CHRISTENSEN: That horizontal  
7 orange box, there is a doorway here on the  
8 left-hand side. That is egress only.

9           MR. WAGNER: So if I come out of the  
10 lounge upstairs either through the elevator or  
11 down the stairway, I can't enter the retail sales  
12 floor? I have to leave through the back of the  
13 building?

14           MR. CHRISTENSEN: No, no.

15           MR. WAGNER: I'm sorry. That's the  
16 front of the building.

17           MR. LOVE: Not at all. You can exit  
18 back through the retail floor and out of the  
19 building the same way you came in. Those are  
20 exits for emergency exit in the staircase.

21           MR. WAGNER: Then how do I -- so if I  
22 leave the range, I walk by the members' check-in  
23 desk, and I go to the elevator and I go upstairs  
24 and I decide to come back downstairs, and I can

1 walk back into the retail area or the member  
2 check-in?

3 MR. NEVERIL: Correct.

4 MR. WAGNER: And at that point that's  
5 when if someone wanted to shoot again, this is  
6 where they have to swipe a card before they're  
7 allowed to go anywhere, and this is when you are  
8 detected that you've been served a drink?

9 MR. LOVE: Correct. If that person  
10 comes out of the lounge area and wants to go back  
11 onto the range, they'll check in at the members'  
12 check-in to get a lane assignment basically. And  
13 if they've been served alcohol, then it will show  
14 in the system and they won't be allowed on the  
15 range.

16 MR. WAGNER: Okay. And then I don't  
17 know specifically how Willowbrook works with their  
18 liquor licenses. I don't know that one is even  
19 available. Is this an assumption that you've made  
20 or is this part of this process?

21 MR. LOVE: The fact that we're  
22 actually going to get a liquor license?

23 MR. WAGNER: Yes.

24 MR. LOVE: If a liquor license is

1     unavailable in Willowbrook, we wouldn't serve  
2     alcohol in the facility. That's, you know --

3             MR. NEVERIL: Yeah. This is -- we  
4     thought that the first step was getting the  
5     Planning Commission approval on even the concept  
6     of serving alcohol and then with your, you know,  
7     endorsement, then go through the channels of  
8     actually acquiring, seeing if a license is  
9     available.

10            MR. WAGNER: Okay. The only other  
11     question I have then is on the second floor  
12     lounge, how do you get out of that lounge?

13            MR. LOVE: Through the --

14            MR. WAGNER: How do you get out of  
15     the lounge in a fire situation? Is there a  
16     secondary egress out of that section of the  
17     building?

18            MR. LOVE: There is not currently,  
19     no.

20            MR. NEVERIL: You exit the lounge.

21            MR. WAGNER: I understand where the  
22     stairway is and the exit out the door. I'm  
23     wondering if that's blocked and people are in that  
24     section of the building how would you get out?



1 And so that's my question. It seems like since  
2 it's a limited access area, it would seem to me  
3 that there should be secondary access egress out  
4 of that.

5 MR. LOVE: Once we get final  
6 architectural on the property, that's something  
7 if that's an issue we need to overcome especially  
8 for the safety issue, we can take a look at that.

9 MS. FRANCO: I think Roy had  
10 something to add.

11 MR. GIUNTOLI: There will be.

12 MR. WAGNER: There you go.

13 MS. FRANCO: That's the guy right  
14 there.

15 MR. WAGNER: You explained a lot  
16 about the vehicles. Are these all new car sales,  
17 or are these used customs, or is it limited to new  
18 car sales?

19 MR. LOVE: I believe they are all  
20 going to be new vehicles; correct?

21 MR. NEVERIL: Correct. New vehicles.

22 MR. WAGNER: And what are the  
23 standards for the ventilation system? And you  
24 haven't shown us any information about it or where

1 it is or is it roof mounted. And what standards  
2 does one have to meet?

3 MR. LOVE: We are currently looking  
4 at mounting the equipment on the roof. I have  
5 been talking to Carey's Small Arms Range  
6 Ventilation. They're probably the industry leader  
7 in ventilating gun ranges. The air in the range  
8 area before it ever leaves the building or is  
9 recirculated back to the shooters is going to run  
10 through a three-stage HEPA ventilation system and  
11 it's cleaner than the air outside the facility.  
12 We will maintain a 75-foot-per-minute volume  
13 across the firing line, which is required by OSHA,  
14 to keep the lead down the range where it belongs  
15 and out of the air, and we have definite plans to  
16 put in a ventilation system to accommodate that.

17 MR. WAGNER: Okay. And I believe you  
18 mentioned the first time you were here gun size as  
19 far as rifle would be limited to .308?

20 MR. LOVE: The traps that I'm  
21 currently looking at for the range will handle any  
22 rifle caliber up to .50 Browning machine gun,  
23 which is the largest rifle caliber commercially  
24 available. The limit we put on the range, we will

1 probably maintain a limit of no more than .30  
2 caliber. So it can be a .30-06, a .308, a .30-30.  
3 Anything in that general neighborhood we'll allow  
4 on the range, that's probable. We're going to  
5 draw the line, keep out some of the super heavy  
6 Magnum cartridges because with those cartridges  
7 come noise, so we don't want to exceed any noise  
8 requirements.

9 MR. WAGNER: Cleaning areas or  
10 cleaning services: Are members going to be  
11 allowed to clean weapons there, or is there an  
12 area for it?

13 MR. LOVE: We do have on the first  
14 floor -- if you go back to that slide. We have a  
15 room designated in the very center section right  
16 there, that is going to be an area where we as  
17 employees will clean firearms. We'll clean our  
18 own rental guns, and then based on your membership  
19 level, you will have available to you to have us  
20 clean your firearms for you. We will not have  
21 customers disassembling and cleaning their  
22 firearms onsite, though.

23 MR. WAGNER: Okay. Thank you.

24 MR. RUFFOLO: Mr. Chairman. Just

1 another follow-up on this issue, which is more  
2 sensitive to me and I suspect all the other  
3 Commissioners here, and this is the separation  
4 between alcohol and shooters.

5 And I want to just replay that  
6 one more time. You talked about access cards.  
7 Access to the bar, is that the door -- a key  
8 entry?

9 MR. LOVE: The access to the bar area  
10 to the second floor lounge will be through the  
11 member concierge desk downstairs. So to gain  
12 access to there, you will have to go through that  
13 desk.

14 MR. RUFFOLO: So it's not physically  
15 on the door. It's giving it to a person and  
16 checking you in?

17 MR. LOVE: Correct.

18 MR. RUFFOLO: My concern is whether  
19 they go in, have a drink or whether they go in and  
20 somebody else gives them a drink, the point you're  
21 making is that for them to be in that space, they  
22 will have been checked in. Is that a correct  
23 statement?

24 MR. LOVE: Correct.

1 MR. RUFFOLO: And, likewise, when  
2 they go down to the shooting range, they will have  
3 been checked in through a checkpoint?

4 MR. LOVE: Correct.

5 MR. RUFFOLO: Okay. That answers my  
6 question. Thank you.

7 MR. KOPP: All right. What we  
8 typically do, and I would like to do it tonight,  
9 we let the staff give the report and then open it  
10 up to the public to ask questions and make  
11 statements.

12 So go ahead, Anna.

13 MS. FRANCO: So the Plan Commission  
14 last saw concepts on the gun club in April, 2016  
15 -- last year. So tonight we are reviewing their  
16 preliminary plans, but there is no vote planned  
17 for forwarding to the Village Board tonight on the  
18 agenda, just a motion to continue the public  
19 hearing to another Plan Commission meeting.

20 So prior to the next meeting,  
21 the petitioner will submit more finalized plans,  
22 including a final plat of subdivision, and the  
23 Plan Commission will make a motion at that meeting  
24 on those revised plans and final plans.

1                   So just to recap. The subject  
2 property is located at the northwest corner of  
3 Frontage Road and 79th Street, and it's just south  
4 of Willowbrook Inn and west of the Econolodge.  
5 The property is currently located in the B-3  
6 General Business Zoning District, but is adjacent  
7 on all sides by property located in the B-4  
8 Highway and Service District. The property has  
9 also been vacant and on the market for a long  
10 time. So the Chicago Gun Club, the petitioner,  
11 wishes to rezone the property from the B-3 Zoning  
12 District to the B-4 Zoning District which permits  
13 a firearm store -- that's a permitted use -- and  
14 also allows an indoor firing range as a special  
15 use. The indoor firing range as the petitioner  
16 said would be a 31,000-square-foot facility, would  
17 include the 32 tactical shooting bays as its main  
18 use. And from the materials provided by the  
19 petitioner, they project an average of 250 members  
20 to visit the gun club on a typical day. Is that  
21 correct, or have those projections changed? 250.

22                   MR. NEVERIL: I mean --

23                   MR. LOVE: That's going to be fairly  
24 accurate.

1 MS. FRANCO: Okay.

2 MR. LOVE: That's going to be pretty  
3 accurate as an average.

4 MS. FRANCO: So the petitioner,  
5 they've gone over the floorplans in some detail,  
6 so I won't go over that. As for building  
7 elevations, the building itself features a very  
8 impressive facade on the west side of the  
9 building, and you can see that on the attachments.  
10 The western facade includes the proposed vehicle  
11 retail display, large windows on the second floor  
12 and, of course, the entrance which would be  
13 proposed to be covered by a steel pergola.  
14 Specific building materials for the elevations are  
15 included in the attachments in Attachment 2, I  
16 believe. And then the gun range would be at the  
17 back of the building and the exterior would be  
18 constructed of mainly precast concrete panels.

19 The petitioner will be  
20 requesting a variance to allow metal as an  
21 architectural accent for the west facade. So for  
22 building signage, as the petitioner showed, there  
23 will be one wall sign on the west side of the  
24 facility, and it will include the name of the

1 club, the Chicago Gun Club, in all caps. This  
2 sign will be illuminated from behind with white  
3 LED light, and staff has reviewed the proposed  
4 signage, and it is in conformance with the Village  
5 code.

6 They are also proposing one  
7 monument sign seen at the top there, and that is  
8 to be located at the south side of the driveway.  
9 It will be approximately 11 and a half feet tall  
10 and 14 feet wide, and the petitioner still needs  
11 to verify sign materials, but it generally seems  
12 to be constructed of a cedar or wood-type plank  
13 for the top and some sort of masonry stone for the  
14 base. This is also in compliance, but staff does  
15 need to verify the sign location so it's not  
16 within five feet of the property line or in any  
17 utility easement.

18 So in terms of zoning bulk  
19 requirements, since the petitioner is proposing to  
20 rezone the property from B-3 to B-4, we compared  
21 the proposal with the B-4 zoning standards. And  
22 those are outlined on Page 8 of the staff report  
23 in Exhibit 7. So this table shows that the  
24 development is in compliance with minimum lot



1 depth, possibly minimum lot width, although that  
2 wouldn't matter because it would be an existing  
3 platted lot, minimum lot area, minimum building  
4 height, minimum FAR, minimum lot and minimum lot  
5 coverage. All building setbacks also seem to be  
6 in compliance with the B-4 standards; but, again,  
7 we need confirmation and mainly we just need  
8 dimensions on those plans to confirm that.

9                   So for parking, parking  
10 setbacks and parking, of course, are outlined in  
11 the parking section of the code. They are  
12 requesting two variances to reduce the minimum  
13 parking pavement setback on the interior side  
14 yards and in the rear -- and in the rear yard.  
15 These are very minimal variations and neither  
16 really should have a significant impact on the  
17 adjacent properties. Additionally, there will be  
18 sufficient landscaping in those green setback  
19 areas, so staff recommends approval of these  
20 variations.

21                   So the petitioner's site plan  
22 in regards to parking count has a total of 129  
23 parking spaces. Parking is located on the north,  
24 west, and south sides of the building; and parking

1 was calculated by using the parking formulas that  
2 are outlined in the zoning code. These formulas  
3 and these calculations are outlined on Page 9 in  
4 Exhibit 9. So staff has concluded that exactly  
5 129 parking spaces are required of the applicant.  
6 So any changes to land use and the building will  
7 be very closely monitored.

8 The petitioner is also  
9 proposing one loading berth at the north side of  
10 the building which will be recessed into the  
11 building. As opposed to what I had stated in the  
12 staff report, upon further investigation, their  
13 loading area is in compliance with clearance  
14 standards for loading areas, so no change or  
15 variation is needed for that.

16 In terms of landscaping, the  
17 petitioner is proposing quite abundant landscaping  
18 for the site, and it exceeds the requirements for  
19 landscaping in the Village code. The landscaping  
20 should effectively frame the property with both  
21 deciduous and evergreen trees and shrubs. It will  
22 establish nine new street trees along the  
23 property's frontage and generally add greenery to  
24 the parking areas and the facility.

1                   For stormwater management, the  
2     petitioner already said that there are two  
3     naturalized detention areas onsite. One is just  
4     east of the building and one south of the parking  
5     area that's a little bit larger. The petitioner's  
6     plans do show that underdrains and low flow pipes  
7     are provided through the detention basins;  
8     however, the Village's engineer would like these  
9     eliminated from their plans as the purpose of  
10    naturalized detention basins is to filter  
11    pollutants from stormwater as they flow through  
12    those native vegetations. So it kind of defeats  
13    the purpose.

14                   In terms of subdivision  
15    regulations, the petitioner's plans do not include  
16    the addition of a public walkway, curb and gutter,  
17    and street lighting along the frontage of -- Route  
18    83 Frontage Road. These items were specifically  
19    requested at the April Plan Commission meeting  
20    last year and are required by the subdivision  
21    requirements of the code, so the applicant does  
22    know that these items are required and staff  
23    expects to see those additions to the plans in  
24    their revised plans.

1                   Also to add, you had said that  
2     the screening for the equipment -- or the  
3     equipment will be on the roof of the building, so  
4     staff does expect to see some sort of screening  
5     when we get more details on that.

6                   Additionally, a traffic impact  
7     study was specifically requested by staff at the  
8     Plan Commission meeting back in April last year.  
9     So the purpose of the traffic impact study was to  
10    examine background traffic conditions in the  
11    proposed development area, assess the impact that  
12    the proposed development will have on traffic  
13    conditions, and, finally, to determine if roadway  
14    or access improvements are necessary to  
15    accommodate traffic generated by the proposed  
16    development.

17                   The traffic impact study  
18     concluded that the gun club is projected to  
19     generate low volumes of traffic, will control  
20     movements in and out of the site with stop sign  
21     control. And other than the stop sign, no other  
22     roadway improvements are required.

23                   So if the Plan Commission  
24     does -- in regards to the liquor license, if the

1 Plan Commission does decide to go forward with  
2 allowing alcohol on the premises, staff recommends  
3 that the Plan Commission include a condition in  
4 their motion, not tonight but at the next Plan  
5 Commission meeting, to restrict the sale and  
6 consumption of alcohol to those designated areas.  
7 So member-only lounge -- so member-only lounge and  
8 the sky deck area.

9 Further conditions are listed  
10 on Page 14 of the staff report. I do want to go  
11 over some of those.

12 MR. LACAYO: If we're not talking a  
13 vote, that might change. That's just a  
14 recommendation, Mr. Chairman, if it's okay with  
15 you.

16 MR. KOPP: What's that?

17 MR. LACAYO: I was not aware we were  
18 not taking a vote tonight. I figured you called a  
19 special meeting because there was a vote. So if  
20 we're not taking a vote, your recommendations may  
21 change.

22 MS. FRANCO: Well, these are  
23 recommended for the next vote. So I want to point  
24 your attention to them.

1 MR. KOPP: Because then the next  
2 meeting can be more productive so that --

3 MR. LACAYO: I hope so. I mean I  
4 didn't realize we're not taking a vote.

5 MS. FRANCO: Well, these recommended  
6 conditions are here to review for the motion that  
7 will be held. I recommend reviewing them to make  
8 sure we're all on board with them and it's not a  
9 surprise at the next meeting.

10 So in summary, the Plan  
11 Commission is generally supported of the concept  
12 plan back in April; but, you know, minor changes  
13 are expected from the petitioner still, and we  
14 would like to see some revisions to their plans  
15 before going forward. Chief among those revisions  
16 are the addition of curb and gutter, sidewalk and  
17 street lighting to their plans.

18 But otherwise, I recommend  
19 that we forward this public hearing to April 5 for  
20 the April 5 regular scheduled Plan Commission  
21 meeting.

22 MR. KOPP: Did you folks see the list  
23 of recommended conditions?

24 MR. NEVERIL: We did. We talked

1 about them and do not have a problem or see any  
2 significant -- we don't have any significant  
3 problem with any of the proposed conditions. The  
4 last one, could you read that one to me, please.

5 MS. FRANCO: The special use --  
6 excuse me. The special use shall become null and  
7 void if the gun club facility ceases to operate  
8 for any 90-day period.

9 MR. NEVERIL: Right. So if it were  
10 to cease because of a failure of the business, I  
11 can understand the special use expiring. But if  
12 it were to be an act of God, a natural disaster,  
13 some sort of insurable risk that had taken place  
14 that put the business, you know, out of business  
15 for 90 days, but as insurance proceeds are  
16 repairing it, I feel that that would be a  
17 condition that shouldn't necessarily forfeit the  
18 special use permit. That's why you have  
19 insurance.

20 MS. FRANCO: I added that in there  
21 because that is a standard condition for a special  
22 use petition as outlined in our code. So that  
23 would be something if we were to add a caveat for  
24 natural disasters, that's something that I would

1 need to check with our attorney on since it is  
2 specifically listed.

3 MR. NEVERIL: Or is it that the  
4 enforcement of -- is it an automatic if you've  
5 been out 90 days, is there no deference provided  
6 to the Planning Commission for retraction of the  
7 special use permit? In other words, I would  
8 understand people to be -- you can check with the  
9 attorney.

10 MS. FRANCO: I'll check to see if  
11 there's any instance where that won't apply, like  
12 you said natural disasters or some other cause;  
13 but that is word for word what is in our code, but  
14 I will check on that just in case.

15 MR. KOPP: We were just saying that  
16 excluding casualty does seem like a reasonable --  
17 something that you didn't cause, you shouldn't  
18 have to come through this process again to get a  
19 special use.

20 MS. FRANCO: I agree with that.

21 MR. NEVERIL: Thank you.

22 MR. KOPP: All right. Unless anyone  
23 has questions for Anna, we will now open it up for  
24 people in the audience that want to speak. And



1 anyone that speaks will have to be sworn in.

2 I saw you were sworn in. You  
3 can either ask questions of the applicants or you  
4 can make a statement. We ask if you ask questions  
5 of the applicant that you ask the question and  
6 allow them to respond so that it becomes -- so  
7 it's not a conversation but it's more productive  
8 for all of us to hear the question and hear an  
9 answer.

10 MR. BAKSAY: My name is Zoltan  
11 Baksay. I live at 7806 Eleanor Place, and I have  
12 been a resident of Willowbrook for about 14 years.

13 I would like to thank the men  
14 and women of the Plan Commission for hearing my  
15 comments, and I do have a couple of questions to  
16 throw in there, and I would also like to thank the  
17 Chicago Gun Club and TCGC property for listening  
18 to my comments and, hopefully, answering my  
19 questions.

20 I would like to first begin by  
21 saying I am vehemently opposed to having a firing  
22 range within 500 or so feet of residential houses.  
23 My neighbors across the street on Eleanor Place --  
24 using Google Maps as kind of a rough estimation I

1 didn't know the exact location of the property,  
2 but somewhere kind of to the middle of the plat of  
3 survey I estimate to be about 570 feet to my  
4 neighbor's backyard.

5 I've got concerns about noise  
6 pollution. I understand the typical day of 60 to  
7 65 decibel, but I did not hear anything about peak  
8 decibel count. That's not a question but I am  
9 interested, and I will see all of you again on  
10 April 5. I promise you that. I would like to  
11 hear on April 5 or sooner information about the  
12 peak decibels during peak operating times and what  
13 happens when somebody is going in and out of the  
14 door. Is it a double-door system? Is it a  
15 revolving door? Is there any sound mitigation for  
16 people entering and/or leaving while the range is  
17 in operation?

18 I do have some concerns with  
19 the hours that the esteemed gentleman behind me  
20 mentioned was 9:00 p.m. on weekdays as well as  
21 Fridays and Saturdays. I have two small children.  
22 I start putting them to bed at 7:00 o'clock, and I  
23 do have east facing windows. I am on the west  
24 side of Eleanor Place. And in summer, especially

1 should windows be open to enjoy sounds of crickets  
2 or, you know, nightlife wildlife -- not people  
3 coming out of bars -- that I would be concerned  
4 with the average noise level of 65 not knowing the  
5 peak decibel level.

6                   As an avid gardener, and my  
7 wife has much more of a green thumb than I do, but  
8 as an avid gardener, I am very concerned about  
9 lead contamination, lead dust and particles from  
10 unjacketed bullets. I know that ventilation  
11 filtration can reduce lead dust, but it cannot  
12 eliminate it. So I would be interested in whether  
13 the planning -- the Plan Commission deemed it  
14 necessary to have an environmental impact study.  
15 As we all know, lead is very toxic and poisonous,  
16 especially so to young children. And if I'm going  
17 to be consuming vegetables out of my vegetable  
18 garden, I sure as heck would like to know if it's  
19 contaminated with lead dust. And if it would be,  
20 I would very strongly consider moving out of  
21 Willowbrook. I love my house. I love my  
22 neighbors, but I feel very passionate and very  
23 strongly in my opposition to this firing range.

24                   I'm also concerned about toxic

1 and noxious fumes from propellant gases. I would  
2 hope this would also be considered in a, you know,  
3 possible environmental impact study.

4 I'm concerned about the chance  
5 of a misfired weapon. I'm concerned about  
6 irresponsible conduct of shooters that can negate  
7 any safety built into the design of such facility.

8 I appreciate the questions  
9 about alcohol that the Plan Commission put forth.  
10 One thing that was not covered is what about if  
11 somebody walks into the gun range inebriated? We  
12 have a couple places of entertainment very close  
13 by. You can purchase alcohol at Target. You can  
14 visit the Kerry Piper, the Chicken Basket, and I'm  
15 sure there is some other fine establishments in  
16 very close proximity. What, if anything, can be  
17 done to mitigate any risks associated with that?

18 I was very concerned in the  
19 appendix when I saw 24/7 biometric access to the  
20 gun range. What does that mean? And I guess that  
21 would be my first question to the gentleman behind  
22 me.

23 MR. LOVE: And I can answer that.  
24 That is an option that we are considering. What

1 we have at Frisco Gun Club, the VIP range is  
2 accessible from the outside of the building 24/7  
3 for members. They can thumb print in, they can  
4 come in the building and shoot.

5 During normal business hours,  
6 everybody comes through the front doors to get  
7 checked in. But, after hours they are allowed to  
8 come and shoot at the gun range. That's an option  
9 we are considering for this facility.

10 MR. BAKSAY: I certainly understand  
11 what biometric access is. So my understanding of  
12 that reply is that anybody 24/7 can be using this  
13 gun range if they paid the \$5,000 initiation fee  
14 or whatever it was or corporate \$10,000. Forgive  
15 me if I misquoted some of the financials on that.  
16 But, really this is at 3:00 o'clock in the  
17 morning: I could be subjected to listening to  
18 machine gunfire out of my bedroom. Very, very  
19 concerned about that.

20 MR. LOVE: There is no way that could  
21 happen in the State of Illinois. It couldn't  
22 happen.

23 MR. BAKSAY: How about a rifle or  
24 handgun?

1                   MR. LOVE: Rifles and handguns would  
2 be permitted.

3                   MR. BAKSAY: Potentially a .50  
4 caliber? Because you're designing it for .50  
5 caliber, but you're considering limiting it to .30  
6 caliber? I certainly would not want to listen to  
7 a 30-06 at 3:00 o'clock in the morning as I'm  
8 trying to sleep. And I especially wouldn't want  
9 to consider listening to a .50 caliber rifle.

10                               In the last 53 days or so -- I  
11 might be off by one -- there have been two  
12 break-ins. One, my immediate neighbor on Eleanor  
13 Place. I think the address is 7812 from the  
14 police report filed, and then the neighbors  
15 directly across the street, a little bit  
16 kitty-corner, one house over from the neighbor  
17 directly across the street also suffered a  
18 break-in. That was just several weeks ago. And  
19 with -- I'm very concerned as citizen of  
20 Willowbrook just with the break-ins in the  
21 proximity of my residence, and the reason why I'm  
22 bringing this up to the Plan Commission this  
23 evening is if these individuals knew -- and they  
24 will know -- that there's a gun range, and if

1 people choose to have an alcoholic beverage or an  
2 adult beverage that they can go to the trunk of  
3 any number of cars of the 129 or 169 -- again,  
4 pardon me for not remembering the specific number  
5 of parking places, but there's a high probability  
6 that they can find a weapon in the trunk of a  
7 vehicle. I understand, you know, proper gun  
8 practices. Those would be locked and, you know,  
9 probably even locked in a case inside of a trunk.  
10 Nevertheless, if people are going to break into a  
11 house, they have had no trouble in my opinion  
12 breaking into a trunk of a car, getting a deadly  
13 weapon, and then coming to Eleanor Place or any  
14 other residential street in the Village of  
15 Willowbrook and committing an armed break-in  
16 crime. I think the probability of that increases  
17 with having a shooting range, again, 500 or so  
18 feet from residential houses.

19 And I am also very  
20 concerned -- I'm very glad that Ms. Franco pointed  
21 it out, but before zoning would allow, as I  
22 understand the code of Willowbrook, would allow  
23 for the sale of firearms. Very much opposed to  
24 the sale of firearms within 500 and some odd feet

1 of residential houses.

2 And I understand the Plan  
3 Commission is very professional. I dealt with Mr.  
4 Giuntoli extensively when I remodeled my home a  
5 number of years back, and I have full confidence  
6 in the professionalism of this Commission with  
7 regard to all the building codes and things of  
8 that nature. So forgive me if I misquote Village  
9 code, but I believe Section 5-3-19, unlawful use  
10 of weapons, Section 8 specifies carries or  
11 possesses any firearms, stun gun, or laser or  
12 other deadly weapon in any place which is licensed  
13 to sell intoxicating beverages is not allowed.

14 And with that, I believe  
15 that's all of my questions and comments for this  
16 evening. And, again, I will see you on April 5th.  
17 And thank you for hearing my comments.

18 MR. KOPP: Okay.

19 (Susan Kamuda was sworn.)

20 MS. KAMUDA: Mine is going to be  
21 brief. Zoltan did a fantastic job. We've lived  
22 in Willowbrook for almost 40 years. I don't have  
23 kids that go to Gower anymore, but I hope that you  
24 contact Gower. Our community, I think, is unique



1 because even though it is industrial park, the  
2 kids at Gower East, if they miss the bus or the  
3 bus has to go through that area, the cars go  
4 through that area, and if not, you know, they're  
5 junior high kids. They're going to walk through  
6 that area. And if these people are having drinks  
7 and then -- nothing is stopping them from getting  
8 in their car. I just think it's a bad mix, and I  
9 hope you've talked to the school about it.

10 Thank you.

11 (Edward Kamuda was sworn.)

12 MR. KAMUDA: Edward Kamuda. I live  
13 at 7802 Eleanor in Willowbrook. I lived there for  
14 40 years with my wife. I've had a gun for more  
15 than 50 years. I believe that everyone is  
16 entitled to own a gun and have a gun in his house  
17 if he'd like. I've gone to gun ranges over 50  
18 years, and I am here to talk about my experiences  
19 with gun ranges. They weren't called guntry  
20 clubs. They were called gun ranges.

21 The one I went to was called  
22 Peppers in Carol Stream. When it first was  
23 built -- I wasn't there when it was first built,  
24 but for the first few years I went there, it was

1 great. They had ammunition there. If there was a  
2 gun I was interested in, I could buy it there.  
3 Slowly but surely I started seeing in the parking  
4 lot people hanging out in the parking lot, guns  
5 that were exposed out there. It came to the point  
6 where my friends and I who used to go to Peppers  
7 didn't go there anymore. And over the last five  
8 years, they tore it down. It doesn't exist  
9 anymore.

10 I think that the number one  
11 thing the Plan Commission should do is call Carol  
12 Stream and ask them about Peppers and the history  
13 and what happened over there because I know there  
14 was some incidents -- because I worked for the  
15 courthouse -- where people were in the parking lot  
16 shooting guns in the parking lots.

17 Before that when I was a  
18 younger man, I used to go to the rifle range they  
19 called it out in Palos Park. That was more than  
20 30 years ago. The same thing pretty much happened  
21 to that. I don't think in the last 30 years that  
22 Palos -- after they got rid of that gun club that  
23 they ever had one there since.

24 My experience is the only

1 place that you can safely go to shoot guns is in  
2 an area away from, you know, children and  
3 neighborhoods. You have go out into the country  
4 where they have gun clubs and things like that  
5 because it's not safe to be bringing people --  
6 having people driving in from all over bringing  
7 their guns, bringing their ammunition, buying  
8 their ammunition here.

9                   And today -- I never knew that  
10 they were going to have alcohol. That just makes  
11 it even a worse scenario. And to think that this  
12 is being geared for survivalists I think in this  
13 day and age, I think having any facility in any  
14 town for survivalists is going to bring the town  
15 down. I think it may be a boom for a short period  
16 of time where people are going to be coming in and  
17 they're going to be selling their Confederate  
18 flags, and they're going to be selling their 4X4s,  
19 and they're going to be selling their guns and  
20 things like that. But, I think that Willowbrook  
21 is going to get a bad reputation, and I think that  
22 before long most of us that have been here for 30  
23 or 40 years are going to want to move out because  
24 we have children and grandchildren who are going

1 to be afraid to have them here.

2 And, last, I want to say I  
3 love Willowbrook. I wish I would have gotten more  
4 involved with the -- I wish I was on the board  
5 right now because I would be looking at each and  
6 every one of you and say how could we even be  
7 considering having these guys coming here and  
8 telling us that this is going to be advantageous  
9 for the community. It's not. I don't know how  
10 much money we would be making on this, but it's  
11 not enough. It's not enough to put the children  
12 at Gower in danger. It's not enough for some guy  
13 to come out of the gun club having a few drinks,  
14 maybe he's angry about something, maybe he's not  
15 but he's going to take his gun and make sure  
16 it's -- make sure that it's still in his trunk,  
17 and maybe he's going to put it in his front seat  
18 and maybe see just going to do something that he  
19 shouldn't be doing. But we have one incident like  
20 that, all the money in the world that we can  
21 possibly have made over this gun club is just not  
22 worth it. I think that it's the worst decision we  
23 could make.

24 Thank you.

1 MR. KOPP: Okay. Anyone else in the  
2 audience want to speak to this?

3 All right. So the way this  
4 works is the applicant -- normally the applicant  
5 gets the last word. So I leave it up to you if  
6 you want to respond to these people or you want to  
7 at the next meeting, if you want to respond to the  
8 questions that --

9 MR. LOVE: Save it to the next  
10 meeting?

11 MR. NEVERIL: Yeah. I don't see any  
12 purpose is responding at this time.

13 MR. KOPP: Okay. They did ask some  
14 very good questions.

15 MR. NEVERIL: Unless you feel it  
16 would be beneficial for the Planning Commission to  
17 hear a response at this time.

18 MR. KOPP: I mean we are not making  
19 our decision until the next meeting anyway, so I  
20 didn't want to cut you off if you were --

21 MR. NEVERIL: Chomping at the bit?

22 MR. KOPP: Exactly.

23 MR. NEVERIL: No. Nothing was said  
24 that was not at some point expected to be heard.

1 It's been said in every jurisdiction.

2 MR. LOVE: In regards to the gun  
3 club, this is something we can probably speak  
4 about right now in regards to the gun club's  
5 proximity to a school.

6 Frisco Gun Club was approved  
7 and built knowing full well that in the future a  
8 high school was going to be built across the  
9 street, and that high school is under construction  
10 right now.

11 Issues in the parking lot, the  
12 way we manage our members, stuff like that has  
13 never happened at the Frisco Gun Club. We don't  
14 have members in the parking lot displaying  
15 firearms. That's just not something that happens.  
16 Even with the gun club in Texas, I don't foresee  
17 that being an issue with this project either. It  
18 is not something that happened.

19 MR. LACAYO: What I would recommend  
20 when we come for the vote to talk about security.  
21 It would be a good idea. I didn't hear that  
22 today, and also it would be helpful for the  
23 audience to talk about how -- what the standards  
24 are in the State of Illinois. It's allowed. It's

1 a business that's allowed in the State of  
2 Illinois. I think that will be useful for the  
3 record.

4 MR. REMKUS: They did bring up a lot  
5 of good questions and everything, and I hope the  
6 next meeting that you will have the answers for  
7 those questions, especially when it comes to the  
8 different lead questions and that that he had, you  
9 know, and some of the stuff that we read, you  
10 know. These are things that we expect to have  
11 answers to also.

12 MR. LOVE: Absolutely.

13 MR. KOPP: Has anybody spoken to -- I  
14 guess this is a question of staff -- to the police  
15 department? Do they have any concerns?

16 MS. FRANCO: We have not yet. I  
17 think maybe Tim has spoken briefly about it, but  
18 nothing on record and nothing in depth yet.

19 MR. KOPP: I'm sure we would all be  
20 interested to hear about that, too, especially  
21 what this gentleman said about Carol Stream.

22 MR. KAMUDA: I was going to suggest  
23 that someone from the Board would call the Carol  
24 Stream Police Department, and I think they can

1 give you background of all the incidents that they  
2 had over at the Peppers Gun Club.

3 MS. FRANCO: We will call Carol  
4 Stream, and then staff can get a report from our  
5 police chief as well.

6 MR. LACAYO: It would also be  
7 helpful, Anna, if we can find out if Target -- I  
8 am trying to remember. I don't know if Target  
9 sells firearms. I know at one point --

10 MR. BAKSAY: They do not.

11 MR. LOVE: They do not.

12 MR. WAGNER: Nor does the Wal-Mart in  
13 this area.

14 MR. LACAYO: In this area. Got it.  
15 Thank you.

16 MR. REMKUS: Once you get out of this  
17 area they do.

18 MR. WAGNER: I guess I would follow  
19 up and make the suggestion that maybe you could  
20 briefly educate members of the audience or any  
21 member of the Commission here what the general  
22 laws are for carrying a weapon in your vehicle,  
23 coming to and from a facility like this, what  
24 rights does that person have, and how does that



1 person carry that weapon generally into the  
2 facility. I am aware of how that happens, but I  
3 feel as though there is some question here from  
4 the audience as to how a person conducts himself  
5 once he's left the building but is still on your  
6 property and accessing his vehicle, if you will.

7 MR. NEVERIL: Would you like that to  
8 be addressed now or in the future?

9 MR. WAGNER: No. You don't have to  
10 do it this evening. I thought maybe it would  
11 clarify some of the things that were asked this  
12 evening.

13 MR. NEVERIL: Okay. Because on the  
14 zip drive that's in that computer is a file with  
15 those regs and some of those issues. If you feel  
16 we should just do that when the larger meeting or  
17 more --

18 MR. WAGNER: I think at the next  
19 meeting would be very adequate.

20 MR. NEVERIL: Inventory all these  
21 great points raised and we will do a very focused  
22 presentation to address them.

23 MR. WAGNER: Thank you.

24 MS. FRANCO: Could you send a copy of

1 those regulations to staff, to me, and then I can  
2 include it as an exhibit to the next staff report?

3 MR. NEVERIL: Yes.

4 MS. FRANCO: Thank you.

5 MR. WAGNER: I think our police  
6 department would also have that information.

7 MS. FRANCO: Okay.

8 MR. KOPP: All right. Because the  
9 applicant is -- it was announced at the beginning  
10 of this meeting the applicant didn't have all his  
11 materials lined up so this is -- we weren't going  
12 to be able to vote on this matter tonight anyway.

13 So will someone make a motion  
14 to continue this public hearing until the regular  
15 Plan Commission hearing on April 5.

16 MR. WAGNER: So moved.

17 MR. REMKUS: Second.

18 MR. KOPP: I ask the secretary to  
19 call the vote.

20 MS. PRIBLE: Commissioner Lacayo.

21 MR LACAYO: Yes.

22 MS. PRIBLE: Commissioner Remkus.

23 MR. REMKUS: Yes.

24 MS. PRIBLE: Commissioner Soukup.

1 MR. SOUKUP: Yes.

2 MS. PRIBLE: Vice Chairman Wagner.

3 MR. WAGNER: Yes.

4 MS. PRIBLE: Commissioner Kaucky.

5 MR. KAUCKY: Yes.

6 MS. PRIBLE: Commissioner Ruffolo.

7 MR. RUFFOLO: Yes.

8 MS. PRIBLE: Chairman Kopp.

9 MR. KOPP: Yes.

10 MS. Kamuda: Will it be in the same

11 location?

12 MS. FRANCO: Yes.

13 MR BAKSAY: One more question. Will

14 there be another mailing notice of the public

15 hearing for the April 5?

16 MR. KOPP: I don't think so because

17 we did it for this meeting and it's continued.

18 Tell your neighbors.

19 MR. REMKUS: It will be advertised in

20 the newspapers.

21 MR. KOPP: I don't think so.

22 MR. BAKSAY: I will take out a full

23 page ad.

24 MS. FRANCO: If it's a continuation,

1 then no, I don't think so. That's why we want to  
2 make sure people know the time and location of the  
3 next meeting here.

4 (The hearing of the  
5 afore-mentioned cause was  
6 recessed at 8:26 p.m. and  
7 scheduled to continue at 7:00  
8 o'clock p.m., April 5, 2017.)  
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## **A G E N D A**

Minutes of the Public Safety Committee of the Village of Willowbrook that was held on March 13<sup>th</sup>, 2017 at 5:30 p.m. at the Willowbrook Village Hall, 835 Midway Drive, in the Village of Willowbrook, DuPage County, Illinois.

### **CALL TO ORDER**

*The meeting was called to order at 5:30 p.m.*

### **ROLL CALL**

*Those present at roll call were Chief Mark Shelton, Chairman of the Public Safety Committee Terrence Kelly, and Trustee Sue Berglund.*

1. Reviewed the February 13<sup>th</sup>, 2017 Public Safety Committee Meeting Minutes.  
*The Committee approved the February 13<sup>th</sup>, 2017 Public Safety Committee Meeting Minutes.*
2. Reviewed the Weekly Press Releases – Information.
3. Reviewed the Overtime Report for 01/29/2017 – 02/26/2017 - Information.
4. Reviewed the Monthly Expenditure Report for February 2017 – Information.
5. Reviewed the Monthly Offense Summary Report for February 2017 - Information.
6. Discussion Items
  - New DuComm Facility  
*Chief Shelton discussed the new DuComm facility. He advised the facility will be with the DuPage County OEM located on the County campus in Wheaton, Illinois. DuComm will make lease payments over the 25-year term agreement of the lease. The new ECC layout design is modified for potential growth allowing for 40 total dispatch consoles which is up from the current 32 consoles.*
7. \* VISITOR'S BUSINESS (Public comment is limited to three minutes per person).  
*None*
8. ADJOURNMENT  
*The meeting was adjourned at 5:51 p.m.*

Next Meeting Scheduled April 10<sup>th</sup>, 2017, at 5:30 P.M.